



A TRADITION OF LEGAL EXCELLENCE SINCE 1938

Connell Foley LLP
Harborside 5
185 Hudson Street, Suite 2510
Jersey City, NJ 07311
P 201.521.1000 F 201.521.0100

Thomas P. Leane
Associate

July 30, 2020

VIA FEDERAL EXPRESS

Attn: Cameron Black, Principal Planner
Jersey City Division of Planning
City of Jersey City, City Hall Annex
1 Jackson Square a/k/a 360 MLK Drive
Jersey City, NJ 07305-3717

Re: Application for Minor Site Plan
Applicant: 145 Bergen LLC
Property: 145 Bergen Avenue (Block 23001, Lot 36)
Jersey City, New Jersey 07305

Dear Mr. Black:

As you are aware, this office represents 145 Bergen Avenue (the "Applicant"). Applicant is currently the owner of 145 Bergen Avenue also known as Block 23001, Lot 36 on the Official Tax Map of the City of Jersey City (the "Property"). The Property is a vacant oversized lot of approximately 34' x' 141' (4,696 sq. ft.). The Property is located within the R-3 Multi-Family Mid Rise District (the "R-3 Zone") and its zoning is governed by the Jersey City Land Development Ordinance (the "JC-LDO").

The R-3 Zone permits the following principal uses:

1. Mid-rise apartment buildings, (see 345-6 for definition).
2. Townhouses.
3. Three and four family detached dwellings.
4. Houses of worship.
5. Parks and playgrounds.
6. Essential services.
7. Schools.
8. Governmental uses.
9. Office uses, including medical offices for no more than two practitioners, as part of the ground floor of mid-rise apartment buildings along John F. Kennedy Boulevard.
10. Assisted living residences.
11. Nursing homes.

Roseland	Jersey City	Newark	New York	Cherry Hill	Philadelphia
			www.connellfoley.com		

5528359-1

12. Senior housing.
13. Public utilities, except that natural gas transmission lines shall be prohibited.
14. Ground floor retail, limited to new construction on corner lots.

The R-3 Zone is unique in that the proposed use dictates the required size of the lot included the required dimensions. Three and Four Family Dwellings are permitted on isolated lots with an area from 2,500 sq. ft. to 6,000 sq. ft. where existing houses on either or both adjacent lots are not built to the side lot line(s). Those conditions exist on the Property. Accordingly, Applicant proposes a four (4) story, Four Family Dwelling. The internal gross floor area is proposed at 9,804 sq. ft. and therefore will require Minor Site Plan approval.

Please review the attached site plans prepared by Hampton Hill Architecture (Min W. Kil) dated July 13, 2020 containing 13 pages (the "Site Plans"). Upon review of the applicable zoning and the zoning chart it appears that the proposal will not require any variances, waivers of exceptions from the JC-LDO.

As a supplement to the above, please find enclosed the following:

1. Executed General Development Application;
2. One (1) copy of the Site Plans;
3. Affidavits of Ownership and Performance;
4. 10% Disclosure;
5. 200' property owners list;
6. Taxes paid certificates;
7. Draft notice pursuant to NJSA 40:55D-12;
8. A check in the amount of \$150.00 payable to the City of Jersey City; and
9. A check in the amount of \$250.00 payable to Precision Reporting.

Please note that the following will be submitted under separate cover: a copy of proposed notice pursuant to N.J.S.A. 40:55D-12; zoning letter of rejection; an affidavit evidencing legal notice; additional Site Plans to comply with the requirements of the General Development Application Checklist; updated certified 200' list of property owners; updated Certificate of Taxes Paid; and the remaining application balance.

Applicant humbly requests waivers from the following: Certificates of Water Bills Paid.

If you have any questions regarding this application, please do not hesitate to contact the undersigned.

Respectfully,

Thomas P. Leane/cr

Thomas P. Leane

TPL/cr
Attachment

5528359-1

FedEx® Shipment Receipt

Address Information

Ship to:	Ship from:
CAMERON BLACK,	Thomas P. Leane, Esq.
PRINCIPAL PLANNER	
JERSEY CITY DIVISION	Connell Foley LLP
OF PLANNING	
CITY OF J.C., CITY HALL	Harborside 5
ANNEX	
1 JACKSON SQUARE,a/k/a	185 Hudson Street - Suite
360 MLK DR.	2510
JERSEY CITY, NJ	JERSEY CITY, NJ
07305	07311
US	US
201-547-5010	2015211000

Shipment Information:

Tracking no.: 771135975767
Ship date: 07/30/2020
Estimated shipping charges:

Package Information

Pricing option: FedEx Standard Rate
Service type: Standard Overnight
Package type: FedEx Box
Number of packages: 1
Total weight: 2 LBS
Declared Value: 0.00 USD
Special Services:
Pickup/Drop-off: Drop off package at FedEx location

Billing Information:

Bill transportation to: CFJC-142
Your reference: 127695
P.O. no.:
Invoice no.:
Department no.:

Thank you for shipping online with FedEx ShipManager at [fedex.com](https://www.fedex.com/shipping/html/en/PrintIframe.html).

Please Note

FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1000, e.g., jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits; Consult the applicable FedEx Service Guide for details.
The estimated shipping charge may be different than the actual charges for your shipment. Differences may occur based on actual weight, dimensions, and other factors. Consult the applicable FedEx Service Guide or the FedEx Rate Sheets for details on how shipping charges are calculated.

INVOICE NO.	DUE DATE	AMOUNT	DISCOUNT	DATE	07-30-20	VENUE NO.	6142	VENUE NO.	6142	PRECISION
127695	07-30-20	250.00	0.00			428600				250.00
TOTAL		250.00	0.00							250.00

CONNELL FOLEY LLP
ATTORNEY BUSINESS ACCOUNT - JERSEY CITY
HARBORSIDE 5
185 HUDSON STREET SUITE 2510, JERSEY CITY, NJ 07311

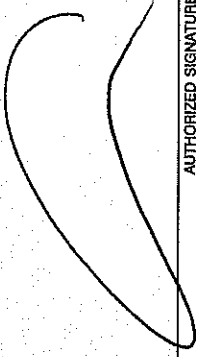
Fraud Protected
by Positive Pay

JPMORGAN CHASE BANK, N.A.
WWW.CHASE.COM
1-2-210

6142

PAY TO THE
ORDER OF
TWO HUNDRED FIFTY AND 00/100 Dollars
PRECISION REPORTING

DATE 07/30/20 CHECK NO. 6142 AMOUNT *****250.00



AUTHORIZED SIGNATURE

⑈006142⑈ ⑈021000021⑈ 587571071⑈

CONNELL FOLEY LLP - ATTORNEY BUSINESS ACCOUNT - JERSEY CITY

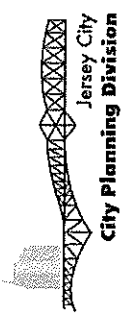
127695	07-30-20	250.00	0.00	07-30-20	6142	PRECISION
						250.00

250.00 0.00

250.00



CITY OF JERSEY CITY GENERAL DEVELOPMENT APPLICATION ("GDA")



1 Jackson Square, 2nd floor, Jersey City NJ 07305 | P-201-547-5010 | cityplanning@jcnj.org

THIS SECTION TO BE COMPLETED BY CITY STAFF ONLY

Intake Date:

Application No.

Date Validated as an Application for Development:

Date Deemed Complete:

1. SUBJECT PROPERTY

Address: 145 Bergen Avenue

Block & Lots: Block 23001, Lot 36

Ward: B

2. BOARD DESIGNATION

☒ Planning Board

☐ Zoning Board of Adjustment

3. APPROVALS BEING SOUGHT

☐ Conceptual Plan/Informal Review	☐ "c" variance(s)/Deviation	☐ "A" appeal
☒ Minor Site Plan	☐ (d) variance(s): use, density, etc.	☐ Waiver of Site Plan Requirements
☐ Preliminary Major Site Plan	☐ Minor Subdivision	☐ Interpretation ("B" appeal)
☐ Final Major Site Plan	☐ Prelim. Major Subdivision	☐ Site Plan Amendment
☐ Conditional Use	☐ Final Major Subdivision	☐ Other (fill in)

4. PROPOSED DEVELOPMENT

Name & Nature of Use (describe project)

145 Bergen Avenue. Minor site plan approval for a permitted four (4) family home of approximately 9,804 sq. ft. of gross floor area.

5. VARIANCE/ DEVIATION NOTES

Sections of the Land Development Ordinance or Redevelopment Plan from which relief is requested (List Variances/Deviations):

N/A

Applicant's reasons for the Planning Board or Board of Adjustment to grant relief:

N/A

6. APPLICANT

145 Bergen LLC

555 Secaucus Road

Applicant's Name

Street Address

Secaucus NJ 07094

City State Zip

Phone Fax

pgurnani@gmail.com

e-Mail address

7. OWNER

145 Bergen LLC
 Owner's Name
 Phone Fax

555 Secaucus Road
 Street Address
 Secaucus NJ 07094
 City State Zip

e-mail address

8. APPLICANT'S ATTORNEY

Thomas P. Leane, Esq.
 Attorney's Name
 Connell Foley LLP
 Firm's Name
 201-521-1000 201-521-0100
 Phone Fax

Harborside 5, 185 Hudson Street, Suite 2501
 Street Address
 Jersey City NJ 07311
 City State Zip
 tleane@connellfoley.com
 e-mail address

9. PLAN PREPARERS

Engineer's Name & License Number
 Firm's Name
 Phone Fax
 Surveyor's Name & License Number
 Firm's Name
 Phone Fax

Street Address
 City State Zip
 e-mail address
 Street Address
 City State Zip
 e-mail address

Charles Heydt

Planner's Name & License Number
 Dresdner Robin
 Firm's Name
 973-384-1071
 Phone Fax

One Evertrust Plaza, Suite 901

Street Address
 Jersey City NJ 07302
 City State Zip
 cheydt@dresdnerrobin.com
 e-mail address

Min W. Kil 101985300

Architect's Name & License Number

109 Liberty View Dr., #1Ga

Street Address

Hampton Hill Architecture

Firm's Name

Jersey City NJ 07302

City State Zip

201-516-2133

Phone Fax

mwkil@msn.com

e-mail address

10.
SUBJECT
PROPERTY
DESCRIPTION

Site Acreage (square footage and dimensions):

4,696 sf **34** x **141** (dimensions)

Zone District(s): **R-3 Multi-Family Mid-Rise**

Present use: **Vacant**

Redevelopment Area:

Historic District: **N/A**

Check all that apply for present conditions:

☐ Conforming Use
☐ Conforming Structure
☒ Vacant Lot

☐ Non-Conforming Use
☐ Non-Conforming Structure

What is your FEMA flood zone and base flood elevation (BFE)?:

Area of Minimal Flood Hazard

Check all that Apply:

☒ Application for a new building on undeveloped tract

☐ Application for new use of existing building

☐ Application for use of a portion of a building

Is the subject building or property on the list of properties eligible for the Historic Register?

☐ yes ☒ no

Is demolition proposed? ☐ yes ☒ no If yes, is building 150+ years old? ☐ yes age: _____ ☐ no

Number of New Buildings: **1**

Height table:		Existing		Proposed	
		Stories	Feet	Stories	Feet
Building		0	0'	4	35'-3"
Addition/Extension					
Rooftop Appurtenances					
Accessory Structures					

Square Footage of applicable building(s) for this project by use:

Residential	9,804	sf
Retail	0	sf
Office	0	sf
Industrial	0	sf
Parking Garage	0	sf
Other	0	sf
TOTAL:	9,804	sf

Number of dwelling units (if applicable):

Studio	0	units
1 bedroom	0	units
2 bedroom	0	units
3 bedroom	4	units
4+ bedroom	0	units
TOTAL:	4	units

Number of lots before subdivision: **1**

Number of lots after subdivision: **N/A**

% of lot to be covered by buildings:	52.59	%
% of lot to be covered by buildings & pavement:	79.93	%
Gross floor area (GFA):	9,804	sf
Floor Area Ratio (FAR):	2.09:1	

Number of parking spaces & dimensions: number: 0 / Dimensions: 0
 Number of loading spaces & dimensions: number: 0 / Dimensions: 0

11. PARKING & SIGNAGE

Number of Signs: 0
 Height of monument and/or pylon signs: 0

12. INFRA-STRUCTURE

WATER		
Is public water being extended to the tract and/or reused? If yes, specify size and material.	☐ Yes	☒ No
Size Material		
Does the existing water service have a curb stop?	☐ Yes	☒ No
Is there existing combined fire/domestic service?	☐ Yes	☒ No
Is there existing domestic service only?	☐ Yes	☒ No
Is new water service being proposed?	☒ Yes	☐ No
Is there new combined fire/domestic service?	☒ Yes	☐ No
Is there new domestic service only?	☐ Yes	☒ No
SEWER		
Is existing sewer service proposed to be reused? If yes, specify size and material.	☐ Yes	☒ No
Size Material		
Will there be sewer curb cleanout?	☒ Yes	☐ No
Are minimum slope requirements satisfied as per National Standard Plumbing Code?	☒ Yes	☐ No
Is new sewer service proposed?	☒ Yes	☐ No
Are storm drains proposed?	☒ Yes	☐ No
Are any new streets or utility extensions proposed?	☐ Yes	☒ No
MISC		
Are existing streets being widened	☐ Yes	☒ No
Are utilities underground	☒ Yes	☐ No
Is site in a flood plain?	☐ Yes	☒ No
Is soil removal or fill proposed? If yes, specify total in cubic yards.	☒ Yes	☐ No 200 cy
Are any structures being removed?	☐ Yes	☒ No
Is the application for additional buildings and/or improvements to a tract having existing buildings and/or improvements?	☐ Yes	☒ No
Is the property within 200 feet of an adjacent municipality? If yes, which?	☐ Yes	☒ No
Municipalities:		
Is the property on a County Road?	☐ Yes	☒ No
Are there deed restrictions, covenants, and/or easements affecting the tract? If yes, attach 2 copies.	☐ Yes	☒ No
Are there any performance guarantees and/or maintenance agreements with the City Council? If yes, attach 2 copies.	☐ Yes	☒ No

13.
TYPE OF
DEVELOPMENT

REQUIRED FOR ALL DEVELOPMENT
APPLICATIONS

	Total number of new residential units created	Total number of affordable housing units* created	Total number of residential units demolished
New structure containing residential units	4	0	0
Conversion from a non-residential structure to a structure containing residential units	0	0	0
Conversion from market rate housing units to NJ COAH defined affordable housing units	0	0	0

*According to NJ COAH definitions at N.J.A.C. 5:94 et seq.

	Moderate Income	Low Income	Very Low Income	Age Restricted	Rental Units
Number of affordable housing units created*	0	0	0	0	0

*According to NJ COAH definitions at N.J.A.C. 5:94 et seq.

Use Group Description	Gross Floor Area of New Construction	Gross Floor Area of Demolition
(These descriptions are pursuant to NJ Council on Affordable Housing N.J.A.C. 5:94 Appendix E, and are for the sole purpose of calculating affordable housing obligation.)	0	0
B: Office buildings. Places where business transactions of all kinds occur. Includes banks, corporate offices, government offices, professional offices, car showrooms and outpatient clinics.	0	0
M: Mercantile uses. Buildings used to display and sell products. Includes retail stores, strip malls, shops and gas stations.	0	0
F: Factories where people make, process, or assemble products. F use group includes F1 and F2.	0	0
S: Storage uses. Includes warehouses, parking garages, and lumberyards. S group includes S1 and S2.	0	0
H: High Hazard manufacturing, processing, generation and storage uses. H group includes H1, H2, H3, H4 and H5.	0	0
A1: Assembly uses including concert halls and TV studios.	0	0
A2: Assembly uses including casinos, night clubs, restaurants and taverns.	0	0
A3: Assembly uses including libraries, lecture halls, arcades, galleries, bowling alleys, funeral parlors, gymnasiums and museums, but excluding houses of worship	0	0
A4: Assembly uses including arenas, skating rinks and pools.	0	0
A5: Assembly uses including bleachers, grandstands, amusement park structures and stadiums	0	0
E: Schools K – 12	0	0
I: Institutional uses such as hospitals, nursing homes, assisted living facilities and jails. I group includes I1, I2, I3 and I4.	0	0
R1: Hotels, motels and dormitories	0	0
U: Miscellaneous uses. Fences, tanks, sheds, greenhouses, etc.	0	0

14. APPROVAL HISTORY

List all past approvals, denials, appeals, or other activity for the subject property. ☐ Check here if none
If there are previous approvals, attach 2 copies of the approving resolution.

	CITY JOB/CASE NUMBER	APPROVED	DENIED	DATE
Subdivision	P19-076	☐	☒	6/23/2020
Site Plan		☐	☐	
Variance(s)		☐	☐	
Building Permit		☐	☐	

15.

FEES
(see attached fee
schedule)

STAFF CALCULATIONS ONLY

Subdivision	\$
Site Plan	\$
Variance(s)	\$
TOTAL DUE	\$
Amount Paid	\$
BALANCE DUE	\$

16. ATTACHMENTS

Please Attach the required additional forms and information, if applicable (see attached **FORMS** and **CHECKLISTS**)

17. CERTIFICATION

I certify that the foregoing statements and the attached materials submitted are true. I further certify that I am the individual applicant or that I am an Officer of the Corporate Applicant and that I am authorized to sign the application for the Corporation or that I am a General Partner of the Partnership Applicant. I hereby permit authorized City official to inspect my property in conjunction with this application.	
Sworn to and subscribed before me this date 	<u>July 29, 2020</u>
Signature of Applicant's Attorney Thomas P. Leane, Esq. Attorney, State of New Jersey	
Property Owner Authorizing Application if other than Applicant	Notary Public Atty. at Law

18. CONTACT

Jersey City Division of City Planning
 1 Jackson Square, 2nd Floor
 Jersey City NJ 07305
 P:201-547-5010
 cityplanning@jcnj.org

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK)

)ss.

COUNTY OF NEW YORK)

I, Taraprasad Gurnani, Authorized Signatory of 145 Bergen LLC, being of full age, being duly sworn according to the law on his oath deposes and says, that I have the authority to act on behalf of 145 Bergen LLC and that 145 Bergen LLC maintains an office located at 555 Secaucus Road, Town of Secaucus, County of Hudson, State of New Jersey, and that 145 Bergen LLC, is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the City of Jersey City aforesaid, and known and designated as:

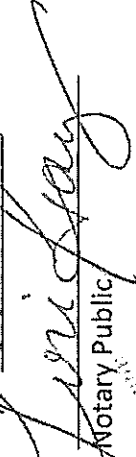
Block 23001, Lot 36 145 Bergen Avenue
Jersey City, New Jersey

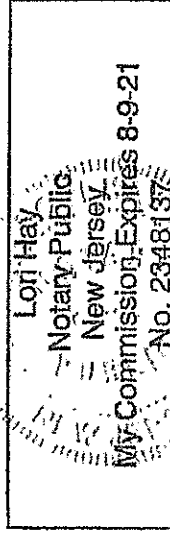
and on behalf of the owner, authorizes:

145 Bergen LLC

to make the annexed subdivision application on its behalf and that the statements of fact contained in said application are true to the best of its knowledge and belief.

Sworn to before me this 1st
day of Oct, 2019


Notary Public



145 BERGEN LLC


Taraprasad Gurnani, Authorized Signatory

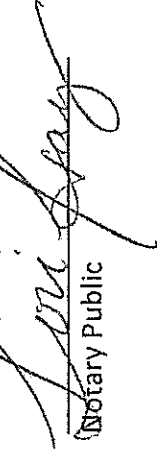
AFFIDAVIT OF PERFORMANCE

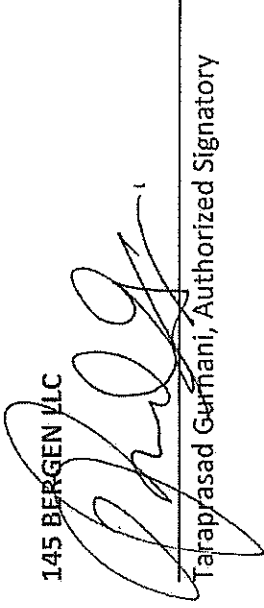
STATE OF NEW JERSEY)
)ss.
COUNTY OF HUDSON)

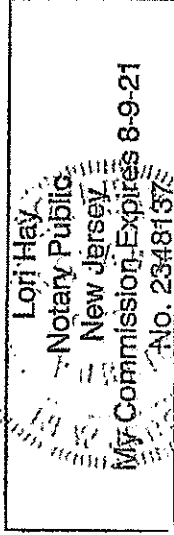
I, Taraprasad Gurnani, Authorized Signatory of 145 Bergen LLC, being of full age, being duly sworn according to the law on his oath deposes and says, that I have the authority to act on behalf of 145 Bergen LLC and certifies that the site plans submitted to the Jersey City Planning Board for the property located at 145 Bergen Avenue, Jersey City, New Jersey, a/k/a and known as Block 23001, Lot 36 on the Jersey City Tax Maps, are a full and complete representation of the Subdivision and that they shall be completed as submitted.

145 BERGEN LLC

Sworn to before me this 16th day of March, 2019


Notary Public


Taraprasad Gurnani, Authorized Signatory



DISCLOSURE STATEMENT PURSUANT TO N.J.S.A. 40:55D-48.1
145 BERGEN LLC

APPLICANT/OWNER:

145 Bergen LLC
555 Secaucus Road
Secaucus, NJ 07094

SUBJECT PROPERTY:

145 Bergen Avenue
Block 23001, Lot 36
Jersey City, NJ 07305

228 Sherman Ave., LLC		
<u>NAME</u>	<u>ADDRESS</u>	<u>PERCENTAGE OWNED</u>
Taraprasad Gurnani	555 Secaucus Road Secaucus, NJ 07094	100%



CITY OF JERSEY CITY
DEPARTMENT OF TAX COLLECTIONS
CITY HALL | 280 GROVE STREET | JERSEY CITY, NJ 07302
P: 201.547.5124 / 5125



STEVEN M. FULOP
MAYOR OF JERSEY CITY

JOANNE SISK CTC
TAX COLLECTOR

MEMORANDUM

TO:

FROM: Jersey City Tax Collector's Office

DATE: 10-18-19

RE: Written Response

This memorandum is to certify that real estate taxes on:

Block # 23001, Lot # 36, Qual #

Property Location: 145 Bergen Ave

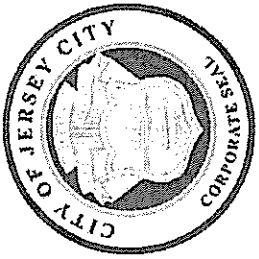
In the City of Jersey City are as follows:

X Paid thru 3rd quarter 2019

 Delinquent for quarter 20

 Tax Exempt

 In Lien Status Certificate #



CITY OF JERSEY CITY

Office of the City Assessor
280 Grove Street, Room 116
Jersey City, New Jersey 07302
Telephone: (201) 547-5131

EDUARDO TOLOZA, CITY ASSESSOR

June 3, 2020

PROPERTY LOCATION OF APPLICATION: 145 Bergen Avenue

BLOCK(S): 23001 LOT(S): 36

**NAME OF APPLICANT: Thomas P. Leane, Esq.
c/o Connell Foley, LLP
Harborside 5
185 Hudson Street, Suite 2510
Jersey City, NJ 07311-4029**

APPLICANT'S TELEPHONE #: (201) 521-1000

Pursuant to your request, attached herewith is a list of properties located within the 200-foot radius of the above-captioned property. This list contains the owner's name, mailing address, block, lot and property location as reflected on the most recent Assessor's Tax List.

C E R T I F I E D

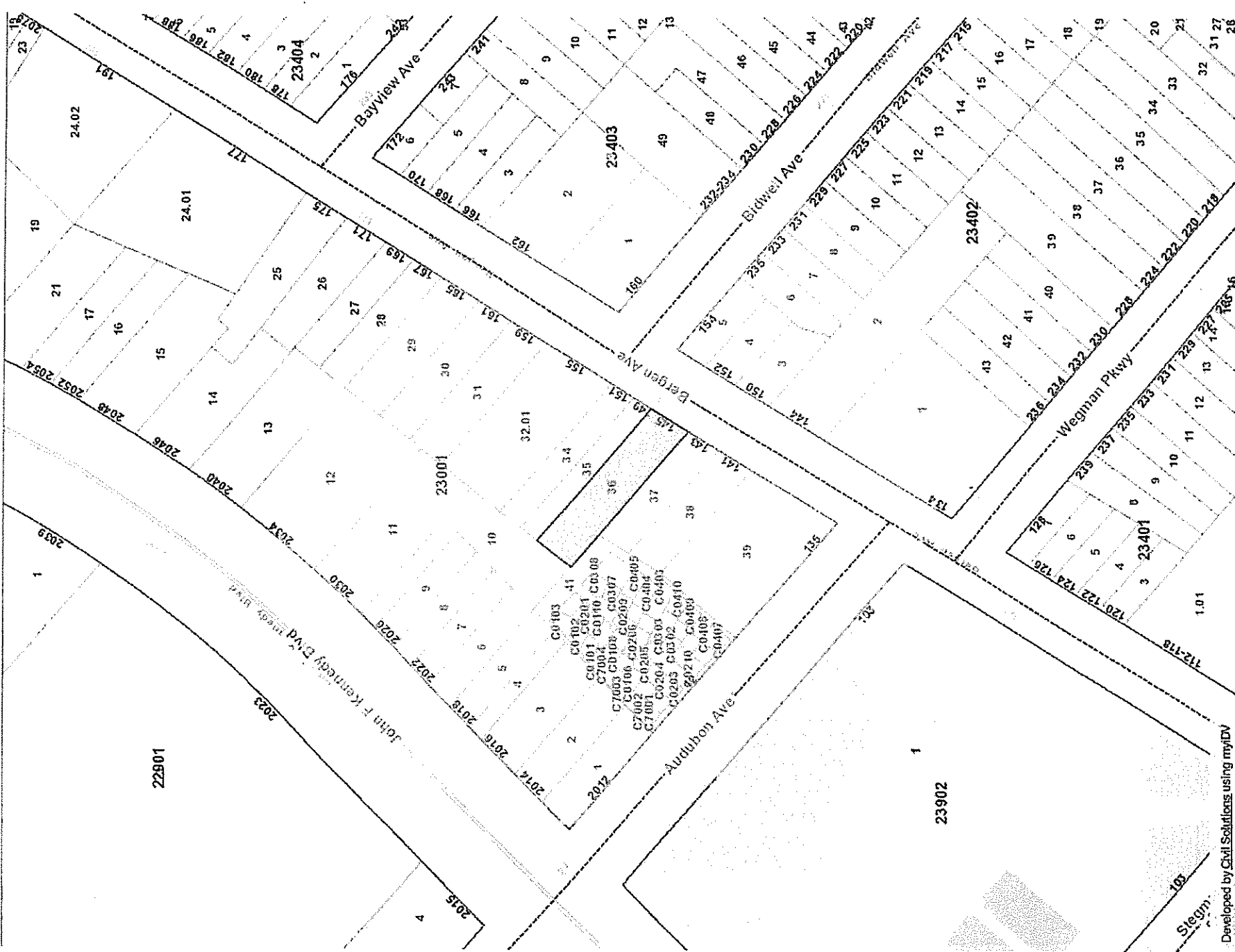
EDUARDO TOLOZA, City Assessor

Also be advised that the following companies must be notified:

P.S.E. & G.	80	PARK PLAZA, NEWARK, NEW JERSEY 07102
COMCAST CABLEVISION	2121	KENNEDY BLVD., JERSEY CITY, NJ 07305
UNITED WATER COMPANY	200	HOOK ROAD, HARRINGTON PARK, NJ 07640
JERSEY CITY M.U.A.	555	ROUTE 440, JERSEY CITY, NEW JERSEY 07305
VERIZON TELEPHONE	540	BROAD STREET, NEWARK, NEW JERSEY 07102

Buffer Report - Map
Jersey City

created on 6/3/2020



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Developed by Civil Solutions, using myIDV



CITY OF JERSEY CITY

Office of the City Assessor

Subject Property: Block 23001 - Lot 36

Block & Lot listing of properties within 200 ft. radius of subject property.

Property Location: 145 Bergen Avenue
Date: June 3, 2020

BLOCK	LOT	QUAL	PROPERTY LOCATION	OWNERS NAME	MAILING ADDRESS	CITY / STATE	ZIP CODE
23001	1		2012 KENNEDY BLVD.	DELACRUZ, VIRGILIO & DIANA	2012 KENNEDY BLVD.	JERSEY CITY, NJ	07305
23001	2		2014 KENNEDY BLVD.	DE LA CRUZ, VIRGILIO & DIANA	1714 70TH ST	BROOKLYN, NY	11204
23001	3		2016 KENNEDY BLVD.	SUAREZ, MICHAEL & JOSEPH	2016 KENNEDY BLVD.	JERSEY CITY, N.J.	07305
23001	4		2016.5 KENNEDY BLVD.	SUAREZ, MICHAEL & JOSEPH	2016 KENNEDY BLVD.	JERSEY CITY, N.J.	07305
23001	5		2018 KENNEDY BLVD.	SUAREZ, DAVID, MICHAEL & JOSEPH	2016 KENNEDY BLVD.	JERSEY CITY, N.J.	07305
23001	6		2020 KENNEDY BLVD.	AMENANOH, JULIETTE	2020 KENNEDY BLVD.	JERSEY CITY, NJ	07305
23001	7		2022 KENNEDY BLVD.	COSTA, ELIZABETH	2022 KENNEDY BLVD	JERSEY CITY, N.J.	07305
23001	8		2024 KENNEDY BLVD.	MC CLAMB, GWENDOLYN	2024 KENNEDY BLVD.	JERSEY CITY, N.J.	07305
23001	9		2026 KENNEDY BLVD.	CHAMBERS, NICOLE	2026 KENNEDY BLVD.	JERSEY CITY, N.J.	07305
23001	10		2028 KENNEDY BLVD.	HAITIAN EVANG. CH. OF JESUS CHRIST	1962 KENNEDY BLVD.	JERSEY CITY, NJ	07305
23001	11		2030 KENNEDY BLVD.	HAITIAN EVANG. CH. OF JESUS CHRIST	1962 KENNEDY BLVD.	JERSEY CITY, NJ	07305
23001	12		2034 KENNEDY BLVD.	MEDINA BUILDING MAINT & RESTORATION	20-24 BRANFORD PL #716	NEWARK, NJ	07102
23001	13		2040 KENNEDY BLVD.	2040 MANAGEMENT LLC	P.O. BOX 18	JERSEY CITY, NJ	07303
23001	28		167 BERGEN AVE.	URREGO, CORINA & SANCHEZ, RANDON LEE	167 BERGEN AVE	JERSEY CITY, NJ	07305
23001	29		165 BERGEN AVE.	MATOS, EDDIE & CAMACHO, JOSE	165 BERGEN AVE.	JERSEY CITY, N.J.	07305
23001	30		161 BERGEN AVE.	161 BERGEN JL LLC;	66 S. CAMP HILL ROAD	POMONA, NY	10970
23001	31		159 BERGEN AVE.	159 BERGEN AVE JC LLC	P.O.BOX 8	SPRING LAKE, N.J.	07762
23001	32.01		155 BERGEN AVENUE	JERSEY CITY EPISCOPAL COMM. DEV. CO	514 NEWARK AVE.	JERSEY CITY, NJ	07306

BLOCK	LOT	QUAL	PROPERTY LOCATION	OWNERS NAME	MAILING ADDRESS	CITY / STATE	ZIP CODE
23001	34		151 BERGEN AVE.	GIBSON, MELVIN T.	151 BERGEN AVE.	JERSEY CITY, N.J.	07305
23001	35		149 BERGEN AVE.	MELVIN, SHIRLEY	149 BERGEN AVE	JERSEY CITY, NJ	07305
23001	36		145 BERGEN AVE.	145 BERGEN, LLC.	1350 TEANECK RD.	TEANECK, NJ	07668
23001	37		143 BERGEN AVE.	143 BERGEN AVE NJC LLC	143 BERGEN AVE.	JERSEY CITY,N.J.	07305
23001	38		141 BERGEN AVE.	DEL FORNO ENTERPRISES	14 BIRKETT CT.	WAYNE, NJ	07470
23001	39		135 BERGEN AVE.	AUDOBON URBAN RENEWAL%SIG MNGT, LLC	135 BERGEN AVE. # 101	JERSEY CITY, NJ	07305
23001	41		12 AUDUBON AVE.	AUDUBON ARMS CONDO ASSOC,%JAS	12 AUDUBON AVE.	JERSEY CITY, NJ	07305
23402	1		134 BERGEN AVE.	CORINTHIAN BAPTIST CHURCH	134 BERGEN AVE.	JERSEY CITY, NJ	07305
23402	2		144 BERGEN AVE.	LN SIGNATURE REALTY LLC	64 EILEEN DRIVE	CEDAR GROVE, NJ	07009
23402	3		150 BERGEN AVE.	KARL, ELLERY F.	150 BERGEN AVE.	JERSEY CITY, NJ	07305
23402	4		152 BERGEN AVE.	POSNER, SAMUEL & KRAUSZ, RAFOEL A.	152 BERGEN AVE.	JERSEY CITY, NJ	07305
23402	5		154 BERGEN AVE.	154 BERGEN AVE, L.L.C.	241 MAIN ST.	HACKENSACK, N.J.	07601
23402	6		235 BIDWELL AVE.	DERNON,STACY-ANN & RICKETTS,SHIRLEY	235 BIDWELL AVE.	JERSEY CITY, N.J.	07305
23402	7		233 BIDWELL AVE.	SHABAAN, ADEL	416 SIXTH ST.	UNION CITY, NJ	07087
23402	8		231 BIDWELL AVE.	LOANCARE,DIV.OF FNF SERV.,INC.	3637 SENTARA WAY	VIRGINIA BEACH, VA	23452
23402	9		229 BIDWELL AVE.	BALLINAS, RAYMUNDO	200 SPRAIN ROAD	SCARDALES, NY	10583
23402	43		236 WEGMAN PKWY.	WRIGHT, KENNETH & LAURIEK	236 WEGMAN PKWY	JERSEY CITY, NJ	07305
23403	1		160 BERGEN AVE.	158 BERGEN AVE JC, LLC.	P.O.BOX 8	SPRING LAKE, N.J.	07762
23403	2		162 BERGEN AVE.	162 BERGEN AVE,JC, LLC.	P.O.BOX 8	SPRING LAKE, N.J.	07762
23403	3		166 BERGEN AVE.	FELDER, COLEEN	166 BERGEN AVE	JERSEY CITY, NJ	07305
23403	48		230 BIDWELL AVE.	JACKSON, BETTY A.	230 BIDWELL AVE.	JERSEY CITY, NJ	07305
23403	49		232-234 BIDWELL AVE.	232-234 BIDWELL AVE,JC LLC.	P.O.BOX 8	SPRING LAKE, N.J.	07762
23902	1		103 BERGEN AVE.	CITY OF JERSEY CITY	280 GROVE ST	JERSEY CITY, N J	07302

DEACRUZ, VIRGILIO & DIANA 2012 KENNEDY BLVD. JERSEY CITY, NJ 07305	DE LA CRUZ,VIRGILIO & DIANA 1714 70TH ST BROOKLYN, NY 11204	SUAREZ, MICHAEL & JOSEPH 2016 KENNEDY BLVD. JERSEY CITY, N.J. 07305
SUAREZ, MICHAEL & JOSEPH 2016 KENNEDY BLVD. JERSEY CITY, N.J. 07305	SUAREZ, DAVID, MICHAEL & JOSEPH 2016 KENNEDY BLVD. JERSEY CITY, N.J. 07305	AMENANOH, JULIETTE 2020 KENNEDY BLVD. JERSEY CITY, NJ 07305
COSTA, ELIZABETH 2022 KENNEDY BLVD JERSEY CITY, N.J. 07305	MC CLAMB, GWENDOLYN 2024 KENNEDY BLVD. JERSEY CITY, N.J. 07305	CHAMBERS, NICOLE 2026 KENNEDY BLVD. JERSEY CITY, N.J. 07305
HAITIAN EVANG. CH. OF JESUS CHRIST 1962 KENNEDY BLVD. JERSEY CITY, NJ 07305	HAITIAN EVANG. CH. OF JESUS CHRIST 1962 KENNEDY BLVD. JERSEY CITY, NJ 07305	MEDINA BUILDING MAINT & RESTORATION 20-24 BRANFORD PL #716 NEWARK, NJ 07102
2040 MANAGEMENT LLC P.O. BOX 18 JERSEY CITY, NJ 07303	URREGO,CORINA & SANCHEZ,BRANDON LEE 167 BERGEN AVE JERSEY CITY, NJ 07305	MATOS, EDDIE & CAMACHO, JOSE 165 BERGEN AVE. JERSEY CITY, N.J. 07305
161 BERGEN JL LLC; 66 S. CAMP HILL ROAD POMONA, NY 10970	159 BERGEN AVE JC LLC P.O.BOX 8 SPRING LAKE, N.J. 07762	JERSEY CITY EPISCOPAL COMM. DEV. CO 514 NEWARK AVE. JERSEY CITY, NJ 07306
GIBSON, MELVIN T. 151 BERGEN AVE. JERSEY CITY, N.J. 07305	MELVIN, SHIRLEY 149 BERGEN AVE JERSEY CITY, NJ 07305	145 BERGEN, LLC. 1350 TEANECK RD. TEANECK, NJ 07668
143 BERGEN AVE NJC LLC 143 BERGEN AVE. JERSEY CITY,N.J. 07305	DEL FORNO ENTERPRISES 14 BIRKETT CT. WAYNE, NJ 07470	AUDOBON URBAN RENEWAL %SIG MNGT, LLC 135 BERGEN AVE. # 101 JERSEY CITY, NJ 07305
AUDUBON ARMS CONDO ASSOC.,%JAS 12 AUDUBON AVE. JERSEY CITY, NJ 07305	CORINTHIAN BAPTIST CHURCH 134 BERGEN AVE. JERSEY CITY, NJ 07305	LN SIGNATURE REALTY LLC 64 EILEEN DRIVE CEDAR GROVE, NJ 07009
KARL, ELLERY F. 150 BERGEN AVE. JERSEY CITY, NJ 07305	POSNER, SAMUEL & KRAUSZ, RAFOEL A. 152 BERGEN AVE. JERSEY CITY, NJ 07305	154 BERGEN AVE., L.L.C. 241 MAIN ST. HACKENSACK, N.J. 07601

DERNON,STACY-ANN & RICKETTS,SHIRLEY 235 BIDWELL AVE. JERSEY CITY, N.J. 07305	SHABAAN, ADEL 416 SIXTH ST. UNION CITY , NJ 07087	LOANCARE,DIV.OF FNF SERV.,INC. 3637 SENTARA WAY VIRGINIA BEACH, VA 23452
BALLINAS, RAYMUNDO 200 SPRAIN ROAD SCARDALES, NY 10583	WRIGHT, KENNETH & LAURIEK 236 WEGMAN PKWY JERSEY CITY, NJ 07305	158 BERGEN AVE JC. LLC. P.O.BOX 8 SPRING LAKE, N.J. 07762
162 BERGEN AVE.,JC. LLC. P.O.BOX 8 SPRING LAKE, N.J. 07762	FELDER, COLEEN 166 BERGEN AVE JERSEY CITY, NJ 07305	JACKSON, BETTY A. 230 BIDWELL AVE. JERSEY CITY, NJ 07305
232-234 BIDWELL AVE.,JC LLC. P.O.BOX 8 SPRING LAKE, N.J. 07762	CITY OF JERSEY CITY 280 GROVE ST JERSEY CITY, N J 07302	

NOTICE OF HEARING
PURSUANT TO N.J.S.A. 40:55D-12
FOR THE PROPERTY LOCATED AT
145 BERGEN AVENUE
ALSO IDENTIFIED AS BLOCK 23001, LOT 36

PLEASE TAKE NOTICE that an application has been filed by 145 Bergen LLC (the “Applicant”) for Minor Site Plan approval for the property located at 145 Bergen Avenue, Jersey City also known as Block 23001, Lot 363 on the Official Tax Map of the City of Jersey City (the “Property”). The Property is located within the R-3 Multi-family Mid-rise zoning district and is subject to the regulations found within the Jersey City Land Development Ordinance (“JC LDO”)

Three and Four Family Dwellings are permitted on isolated lots with an area from 2,500 sq. ft. to 6,000 sq. ft. where existing houses on either or both adjacent lots are not built to the side lot line(s). Those conditions exist on the Property. Accordingly, Applicant proposes a four (4) story, Four Family Dwelling.

Additionally, in conjunction with the Minor Site Plan, the Applicant is requesting that the Board grant any additional approvals, permits, deviations, interpretations, waivers or exceptions reflected in the plans and materials filed (as same may be amended or revised from time to time without further notice) or determined to be necessary by the Planning Board during the review and processing of this application.

Any person interested in this application will have the opportunity to address the Planning Board at the Virtual meeting on Tuesday, _____, 2020 at 5:30 P.M. via Zoom, a web-based video conference application, or by telephone using the following:

Zoom link to join meeting:	
Call-in Number and Webinar ID#:	US: Webinar ID:

PLEASE TAKE FURTHER NOTICE that application materials, including digital plans, are available on the Jersey City Data Portal by searching for the address or case number at data.jerseycitynj.gov. The City of Jersey City is utilizing the Zoom service to conduct virtual meetings in compliance with the New Jersey Open Public Meetings Act.

MORE INFORMATION on how to access virtual meetings, participate, provide public comment, and review agendas and digital plans and applications materials can be found on the Jersey City, Division of City Planning website at jerseycitynj.gov/planning. Any person who requires technical assistance for accessing the meeting or the Applicant’s plans should contact the Planning Board Secretary for assistance at the phone number or e-mail listed below.

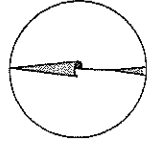
ANY QUESTIONS can be directed to the City Planning main line during business hours at 201-547-5010 or via email at cityplanning@jcnj.org.

By: Thomas P. Leane, Esq.
Connell Foley LLP
Attorney for the Applicant
201-521-1000

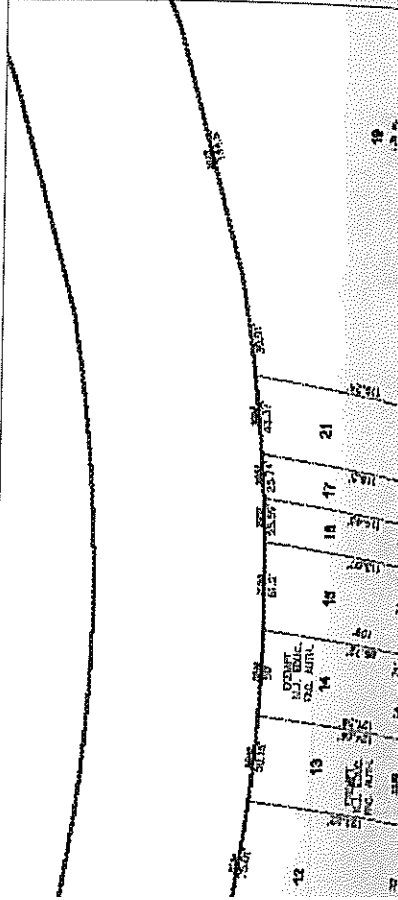
NEW FOUR FAMILY DWELLING

BERGEN AVENUE, JERSEY CITY, NJ BLOCK 18402 LOT 36

ABILITY TO VERIFY ALL EXISTING CONDITIONS AND ALL NECESSARY DIMENSIONS PRIOR TO CONSTRUCTION. ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND ALL APPLICABLE SUB-CODES. FOR OBTAINING ALL NECESSARY PERMITS FOR THE WORK BEFORE COMMENCING CONSTRUCTION. RESPONSIBLE FOR THE WORK OF ALL SUBCONTRACTORS, AND FOR INSURING PROPER COORDINATION BETWEEN ALL TRADES AND PATCHING FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK, INCLUDING ALL ROOF FRAMING TO ACCOMMODATE THE WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION, INCLUDING THE INSTALLATION OF ALL BRACING OF THE EXCAVATIONS AND STRUCTURE DURING CONSTRUCTION. THE G.C. IS ALSO RESPONSIBLE FOR MEASURES TO PROTECT THE WORK, WORKMEN, THE PUBLIC AND ADJACENT PROPERTY DURING CONSTRUCTION. CONTRACT SHALL BE NEW, AND NO SUBSTITUTIONS OF ANY SPECIFIED MATERIALS SHALL BE PERMITTED WITHOUT THE ARCHITECT/OWNER.



1 KEY MAP
SCALE: N.T.S.



HAMPTON HILL ARCHITECTURE

346 Virginia Avenue
Jersey City, NJ 07304
201.401.0954 TEL
mnavala2@comcast.net
bob.a@hamptonhillnj.com
m.kil@hamptonhillnj.com

SEAL:

Handwritten signature of the architect.

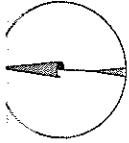
MIN W. KIL
Registered Architect: NJ LIC 21 AI 019885300

THIS DOCUMENT IS THE EXCLUSIVE PROPERTY OF HAMPTON HILL ARCHITECTURE. THE DOCUMENT AND THE INFORMATION IT CONTAINS MAY NOT BE REPRODUCED OR USED FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF HAMPTON HILL ARCHITECTURE.

PROPOSED
4 STORY
NEW FOUR
FAMILY
DWELLING

ADDRESS:
145 BERGEN AVENUE
JERSEY CITY,
NEW JERSEY

BLOCK: 18402
LOT: 36

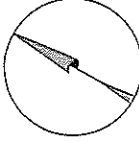
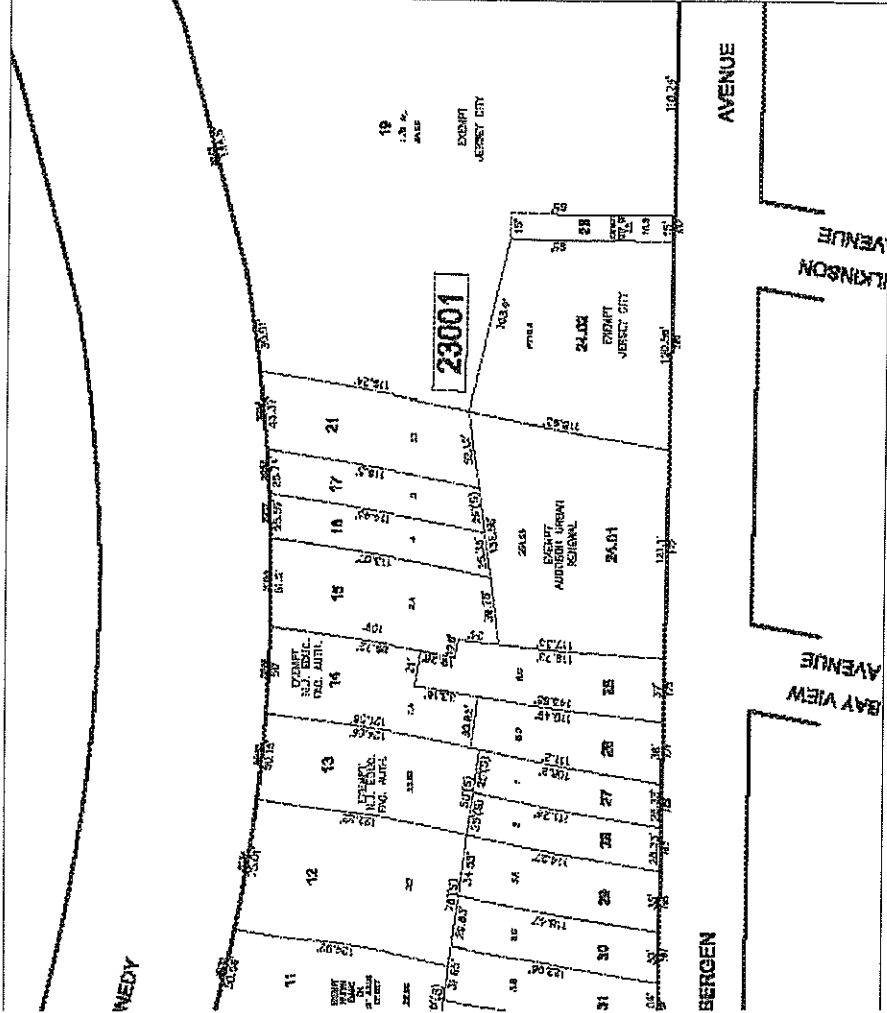


VIEW

KEY MAP

1

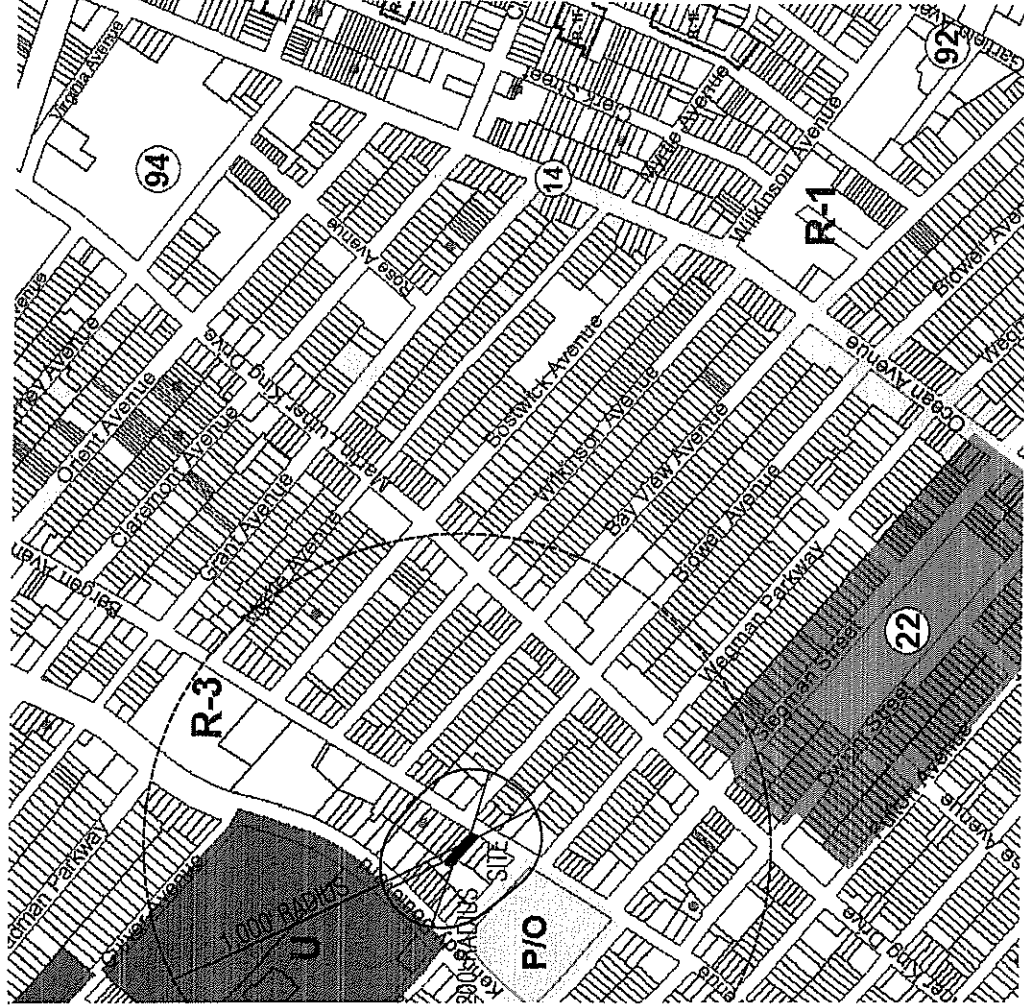
SCALE: M.T.S.



TAX MAP

5

SCALE: N.T.S.



DWELLING

ADDRESS:
145 BERGEN AVENUE
JERSEY CITY,
NEW JERSEY

BLOCK: 18402
LOT: 36

REVISIONS:

DRAWN BY: MK
CHKD BY: MK
ISSUE DATE: 07.13.2020
PROJECT NO: 19059

SHEET TITLE:

EXISTING SITE PLANS ,
ZONING CHART &
BUILDING NOTES

SHEET No.

T-1