

DRAWING LIST	
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## ZONING NOTES

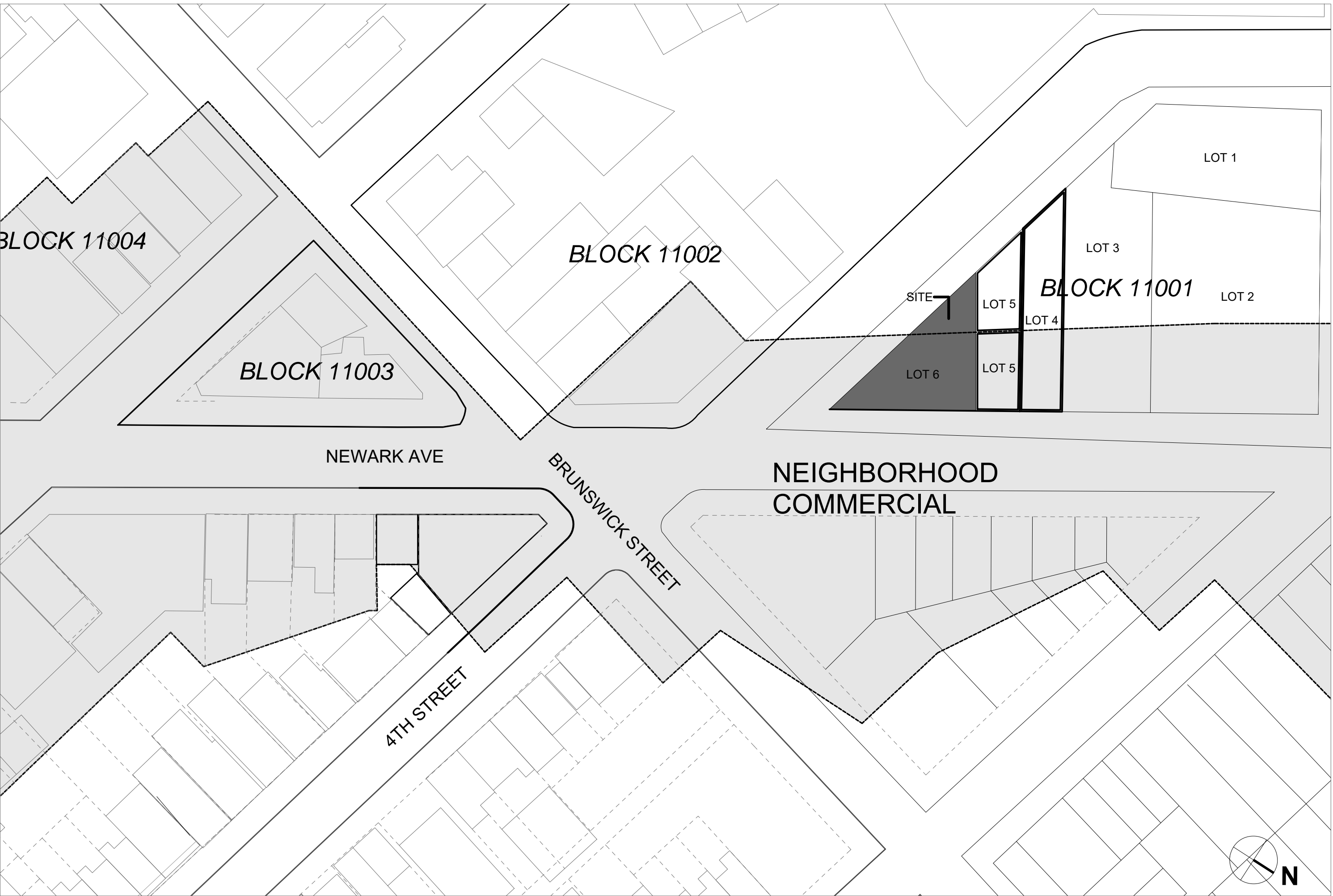
ZONING DISTRICT	NC-NIGHBORHOOD COMMERCIAL
BLOCK	11101
LOT	6

NEIGHBORHOOD COMMERCIAL DISTRICT					
		ORDINANCE	PROPOSED	VARIACE REQUIRED	BUILDING AREA:
345-45 B(1)	PERMITTED USE	RETAIL, OFFICES	1 RETAIL UNIT	NO	1ST - 5TH FLOOR: FOOTPRINT = 3,446 SF LOT COVERAGE = 93%
345-45 B(B)		RESIDENTIAL ABOVE GROUND FLOOR	16 RESIDENTIAL UNIT	NO	
345-45 E(2)	LOT AREA (MIN.)	2,500 SF	3,698 SF	NO	* = PRE-EXISTING NON-CONFORMING LOT CONDITION
345-45 E(3)	LOT WIDTH (MIN.)	25.00'	87.71' ON NEWARK 121.52' ON FOURTH	NO	
345-45 E(4)	LOT DEPTH (MIN.)	100.00'	84.23'	NO*	NOTE A - BICYCLE PARKING .5 BICYCLE SPACES PER RESIDENTIAL UNIT 8 REQUIRED INTERIOR
345-45 E(5)	FRONT YARD SETBACK	NONE	0'-0" ON NEWARK 0'-0" ON FOURTH	NO	NOTE B - ROOF APPURTENANCES COVERAGE CALCULATION:
345-45 E(6)	SIDE YARD SETBACK MIN.	NONE	3'-8"	NO	ROOF AREA = 3,446 SF ROOF COVERAGE = STAIR & ELEVATOR BULKHEADS =223 SF LOBBY + TOILET =437 SF ROOF MOUNTED MECHANICALS = 20 SF TOTAL=680 SF =19.7% LESS THAN 20% 19.7% LESS THAN 20%
345-45 E(7)	REAR YARD SETBACK MIN.	15'-0" MIN.	N/A	YES	
345-45 E(8)	BUILDING HEIGHT (MIN.)	3 STORIES	5 STORIES, 55'-0" ABOVE BFF	NO	
345-45 E(9)	BUILDING HEIGHT (MAX.)	3 STORIES			
345-45 E(9a)	MIN. FLOOR TO CEILING HGT. (ALL EXCEPT PARKING)	9'-0"	1ST FLOOR, 11'-0" (12'-0" FLR-TO-FLR) 2ND-4TH FLRS, 9'-8" (10'-8" FLR-TO-FLR) 2ND-5TH FLRS, 10'-0" (11'-0" FLR-TO-FLR)	NO	
345-45 E(9b)	MAX. FLOOR TO CEILING HGT. (ESIDENTIAL ONLY)	12'-0"			
345-45 F(1)	OFF-STREET PARKING	NOT PERMITTED ON NEWARK AVE.	0 OFF-STREET PARKING PROVIDED	NO	
345-45 F(2)		0 REQUIRED LESS THAN 5 SPACES			
345-45 F(2c)	PARKING SPACES (MIN.)	0	0	NO	
345-45 F(2g)					
345-60 G(2)	ROOF APPURTENANCES	SETBACK FROM FACADE BY 1'-1"	9'-1.5" SETBACK FROM 4TH ST  22'-6" SETBACK FROM NEWARK AVE	NO	
345-60 G(4)		20% MAX (SEE NOTE B)	19.6%	NO	
345-70 C	BICYCLE PARKING (MIN.)	0 (SEE NOTE A)	8	NO	

\*THIS PROPERTY SITES WITHIN THE AE FLOOD ZONE. ALL MATERIALS BELLOW BFE 11.0' SHALL BE MOLD RESISTANT (WET FLOOD PROOFING)

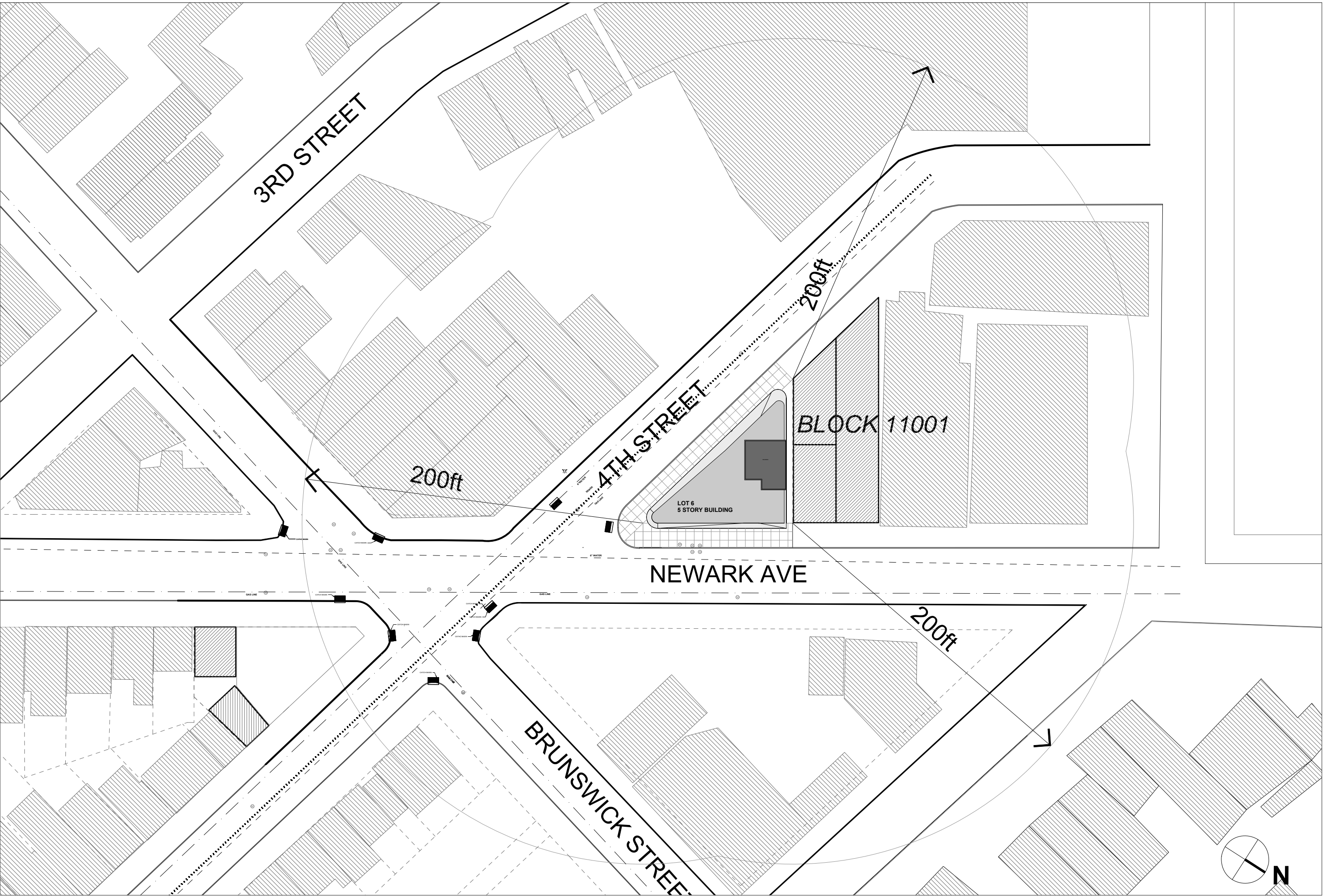
LEVEL:	STUDIO	1BED ROOM	2BED ROOM	TOTAL
LEVEL 1	0	0	0	0
LEVEL 2	0	3	1	4
LEVEL 3	0	3	1	4
LEVEL 4	0	3	1	4
LEVEL 5	0	3	1	4
SUB TOTAL	0	12	4	
	TOTAL UNITS			16

LEVEL:	USE	GROSS FLOOR AREA	RESIDENTIAL SELLABLE FLOOR AREA	COMMERCIAL FLOOR AREA	NON-SELLABLE FLOOR AREA
LEVEL 1	RETAIL OR RESTAURANT USE LOBBY, BIKE ROOM	3,269SF	0 SF	1,976 SF	1293 SF
LEVEL 2	4 APARTMENTS	3,637 SF	3,005 SF	0 SF	632 SF
LEVEL 3	4 APARTMENTS	3,875 SF	3,243 SF	0 SF	632 SF
LEVEL 4	4 APARTMENTS	3,637 SF	3,005 SF	0 SF	632 SF
LEVEL 5	4 APARTMENTS	3,875 SF	3,243 SF	0 SF	632 SF
TOTAL	16 APARTMENTS 10 BIKE SPACES	18,293 SF	12,496 SF	1,976 SF	3,821SF



## ZONING MAP

SCALE: 1" = 50'-0"



## PROPERTIES WITHIN 200

SCALE: 1" = 50'-0"

PROJECT NAME:

# JC325

OWNER NAME:  
 GT Enterprises  
 89 BRUNSWICK STREET,  
 ERSEY CITY NJ 07302  
 201-656-7200



PROJECT ADDRESS

325 NEWARK AVE  
JERSEY CITY  
HUDSON COUNTY, NEW JERSEY 07302

ARCHITECT OF RECORD

**MURAT MUTLU, AIA**

25 West 36th Street #506, New York NY 10018  
T: 212 564 0094

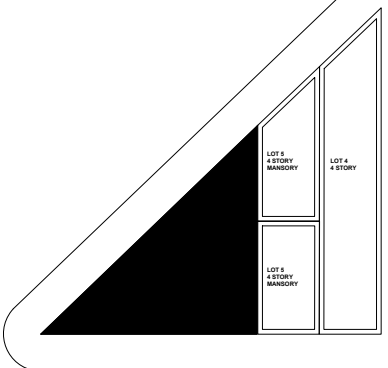
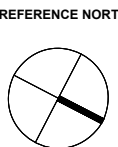
DESIGNER.

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2 Fayette Street, Cambridge MA 02138  
Tel: 607-262-0368  
Email: [info@in-oa.com](mailto:info@in-oa.com)

ENGINEERS.

[illegible]

**KEY PLAN:**



## APPROVAL

DWG TITLE

COVER PAGE

SEAL &amp; SIGNATURE



DATE: 06/25/2021

SCALE

DRAWING NO.

## Z001.01



PROJECT NAME:

JC325

OWNER NAME:  
BGT Enterprises  
189 BRUNSWICK STREET,  
JERSEY CITY NJ 07302  
T: 201-656-7200



PROJECT ADDRESS:

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ARCHITECT OF RECORD:

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T: 212 564 0094

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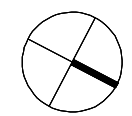
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Tel: 607-262-0368  
email: info@in-oa.com

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△	DATE	REVISION
△	06.04.2021	ROOF PLANTING AND REAR YARD DOOR REVISION
△	06.14.2021	SIDE YARD TABLE REVISION

KEY PLAN:

REFERENCE NORTH:



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SITE SURVEY

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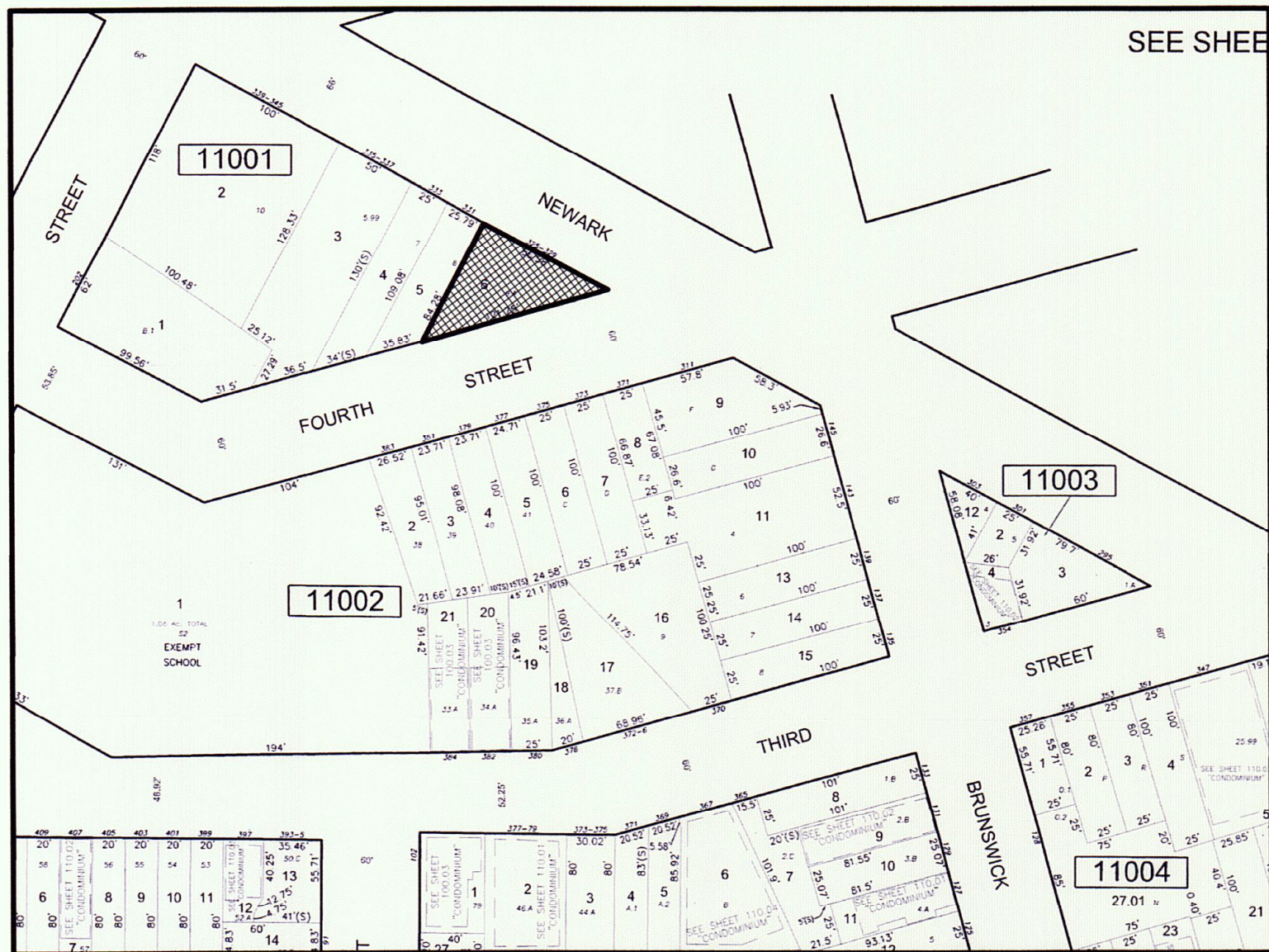
06/25/2021

SCALE:

DRAWING NO:

2002.00

## TAX MAP, SHEET NO. 110



### GENERAL NOTES:

THIS SURVEY WAS MADE AT THE REQUEST OF BGT ENTERPRISES, AND FOLLOWS THE INSTRUCTIONS THEREIN CONTAINED. IT IS NONTRANSFERABLE AND IS SUBJECT TO THE FACTS REVEALED BY AN ACCURATE AND COMPLETE TITLE SEARCH.

THIS SURVEY IS AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, WHICH IS BASED UPON HIS KNOWLEDGE, INFORMATION AND BELIEF, AND AS SUCH IT DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EXPRESSED OR IMPLIED.

THE AREA OF THE ENTIRE SITE IS 3,693.8 SQ. FT. (0.08 ACRE). THE SPOT ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED ON THE 1988 NAVD.

THE SITE IS LOCATED IN THE AE ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP 34017C0106D (COMMUNITY NO. 340223, MAP DATE 08-16-06).

A WRITTEN "WAIVER AND DIRECTION NOT TO SET CORNER MARKERS," HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, c.14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1(d).

THE UTILITIES SHOWN HEREON ARE LOCATED PER OBSERVABLE SURFACE CONDITIONS AND MUNICIPAL RECORDS. THE ACTUAL SIZE, LOCATION AND CONDITION OF THE LINES SHOULD BE CONFIRMED BY THE UTILITY PROVIDERS.

### DESCRIPTION:

BEGINNING AT A POINT FORMED BY THE INTERSECTION OF THE SOUTHWESTERLY LINE OF NEWARK AVENUE AND THE NORTHERLY LINE OF FOURTH STREET, RUNNING THENCE

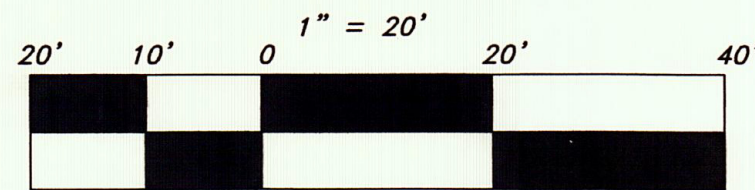
1. N-82°-45'-43"-W, ALONG THE NORTHERLY LINE OF FOURTH STREET, A DISTANCE OF 121.52 FEET TO A POINT, THENCE
2. N-51°-02'-28"-E, PARTIALLY THROUGH A PARTY WALL STANDING PARTLY ON THE PREMISES BEING DESCRIBED AND PARTLY ON THE PREMISES ADJOINING THE NORTHWEST, A DISTANCE OF 84.23 FEET TO A POINT, IN THE SOUTHWESTERLY LINE OF NEWARK AVENUE, THENCE
3. S-38°-53'-E, ALONG THE SOUTHWESTERLY LINE OF NEWARK AVENUE, A DISTANCE OF 87.71 FEET TO A POINT, SAID POINT BEING THE POINT OR PLACE OF BEGINNING.

KNOWN AS LOT 6, IN BLOCK 11001, AS SHOWN ON THE OFFICIAL TAX ASSESSMENT MAP FOR JERSEY CITY, HUDSON COUNTY, NEW JERSEY.

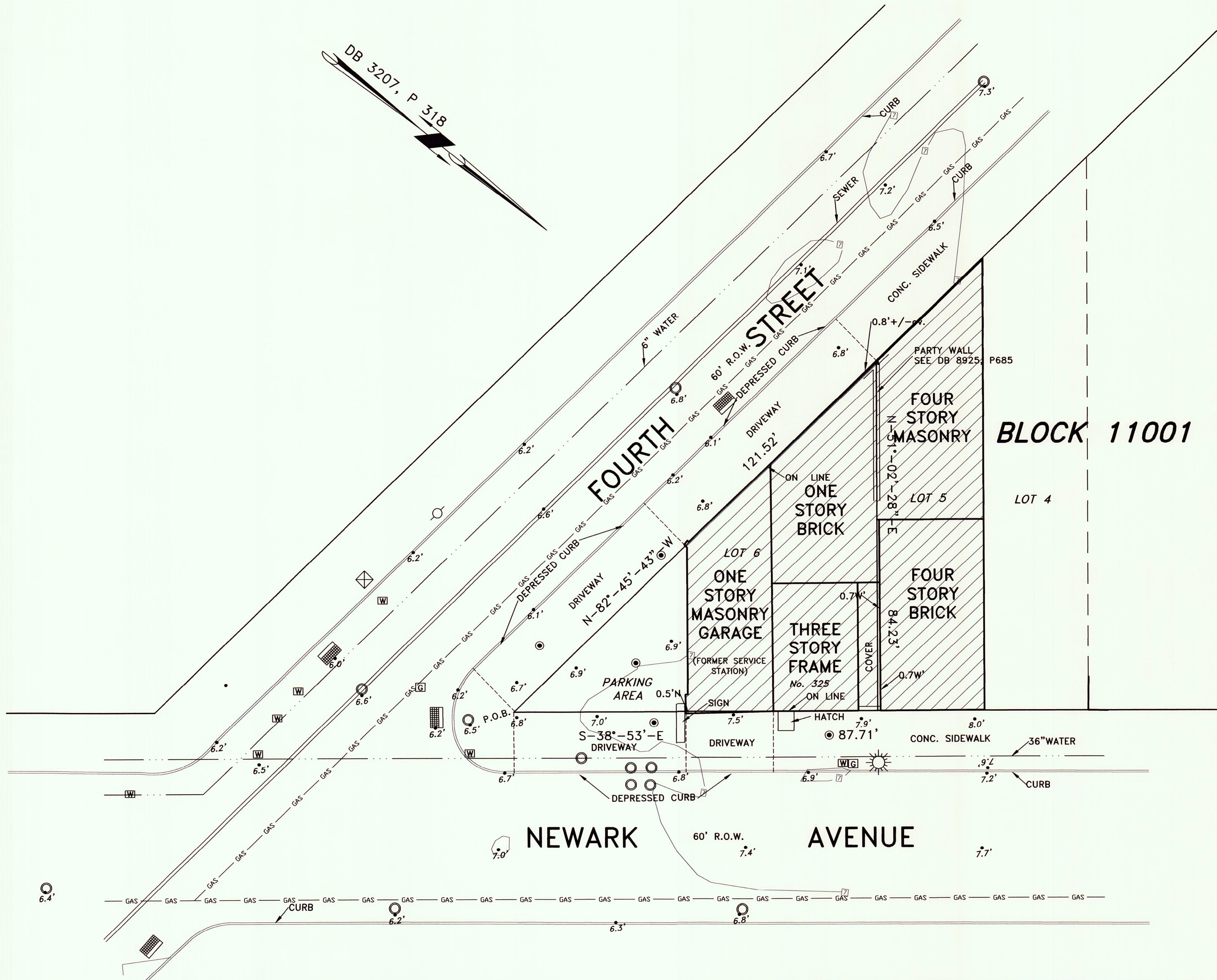
### LEGEND

○	=	Man Hole
W	=	Water Cap
G	=	Gas Cap
100.0'	=	Elevation (Assumed Dat.)
●	=	PK Nail
■	=	Catch Basin
○	=	Util. Pole
⊙	=	Fire Hyd.
⊕	=	Mon. Well
☀	=	Lite

### GRAPHIC SCALE

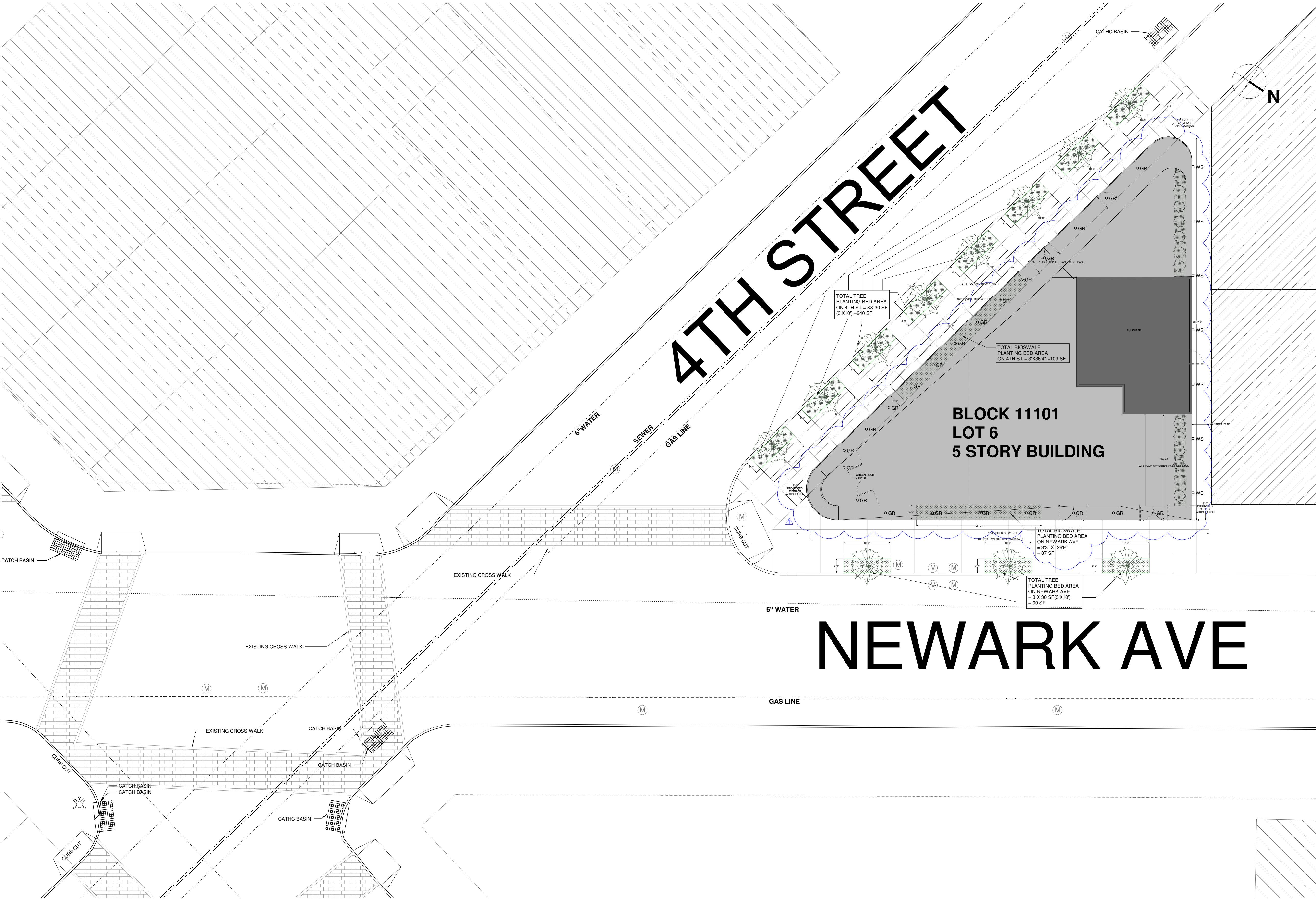


BRUNSWICK ST.  
60' R.O.W.



REVISIONS		MAP OF SURVEY OF PROPERTY LOCATED AT LOT 6, IN BLOCK 11001, (PRIOR BLOCK 413) JERSEY CITY, HUDSON COUNTY, NEW JERSEY  325 NEWARK AVENUE, JERSEY CITY, NJ			
DATE	COMMENT				
		CAULFIELD ASSOCIATES, LLP. PROFESSIONAL LAND SURVEYORS 132 MADISON STREET HOBOKEN, NEW JERSEY 07030  TEL. (201) 792-0445 FAX (201) 792-7714			
JOSEPH T. CAULFIELD PROFESSIONAL LAND SURVEYOR N.J. LICENSE NO.: 37579		DRAWN BY:  CHECKED BY: JC APPROVED: JC	SCALE: 1"=20'	DATE: 07-28-19	JOB NO.: SHEET NO.: 1 OF 1





SITE PLAN

LANDSCAPING SCHEDULE


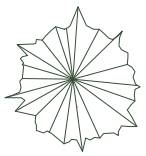
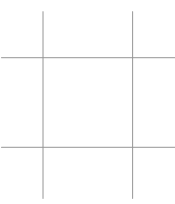




DESCRIPTION	LOCATION	COMMON OR BOTANICAL NAME	SIZE	NUMBER	ID
STREET TREE	SIDEWALK	HONEY LOCUST	35" <	11	T1
BIOSWALE	SIDEWALK	CAREX STIPATA	N/A	N/A	N/A
PLANTING BOX PLANTS	WITHIN PLANTING BOX ON ROOF	EMERALD GREEN ARBORVITAE	60" <	13	P1

\*NOTEN: MAINTENANCE SCHEDULE OF ALL LANDSCAPING SHALL BE PROVIDED BY THE OWNER

SITE LIGHTING SCHEDULE

DESCRIPTION	LOCATION	LIGHTING NAME	SIZE	QUANTITY	MANUFACTOR	MODEL NUMBER
SITE LIGHTING	SIDEWALK	GR - INGROUND RECESSED ROUNG LIGHTING FIXTURE	6 1/8" Dia x 3 1/8 Dep	24	BEGA	77 812
	FACADE	WS-WALL SURFACE MOUNTING	8 1/2" Wx4 3/8" Lx4"D	7	BEGA	22 359

KEY

-  TREE PIT
-  STREET TREE:
-  CONCRETE SIDEWALK JOINT LINES
-  HYDRANT
-  MANHOLE
-  EXISTING BUILDING
-  NEW BUILDING

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ARCHITECT OF RECORD:

MURAT MUTLU, AIA

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DESIGNER:

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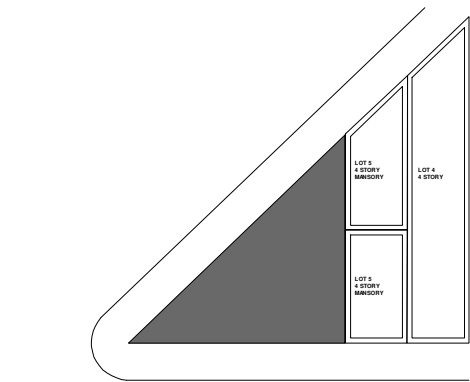
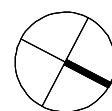
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DATE	REVISION
06.04.2021	ROOF PLANTING AND REAR YARD REVISION
06.14.2021	SIDE YARD TABLE REVISION

KEY PLAN:

REFERENCE NORTH



APPROVAL:

DWG TITLE:

SITE PLAN

SEAL & SIGNATURE:



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SCALE:

DRAWING NO:

2003.01



EXISTING BUILDINGS SHALL BE DEMOLISHED BY THE OWNER AND LOT SHALL BE VACANT PRIOR TO THE PROPOSED NEW BUILDING DEVELOPMENT. CONTRACTOR SHALL HIRE DEMOLITION AND SITE SAFETY ENGINEER TO SAFELY DEMOLISH EXISTING STRUCTURES WITHOUT INTERFERENCE WITH THE PUBLIC RIGHT OF WAY AND ADJACENT PROPERTIES

4TH STREET

EXISTING ONE STORY MASONRY GARAGE

EXISTING ONE STORY BRICK

EXISTING BUILDING THREE STORY FRAME

LOT 5 4 STORY MANSORY

LOT #35 3 STORY FRAME BUILDING

LOT 5 4 STORY MANSORY

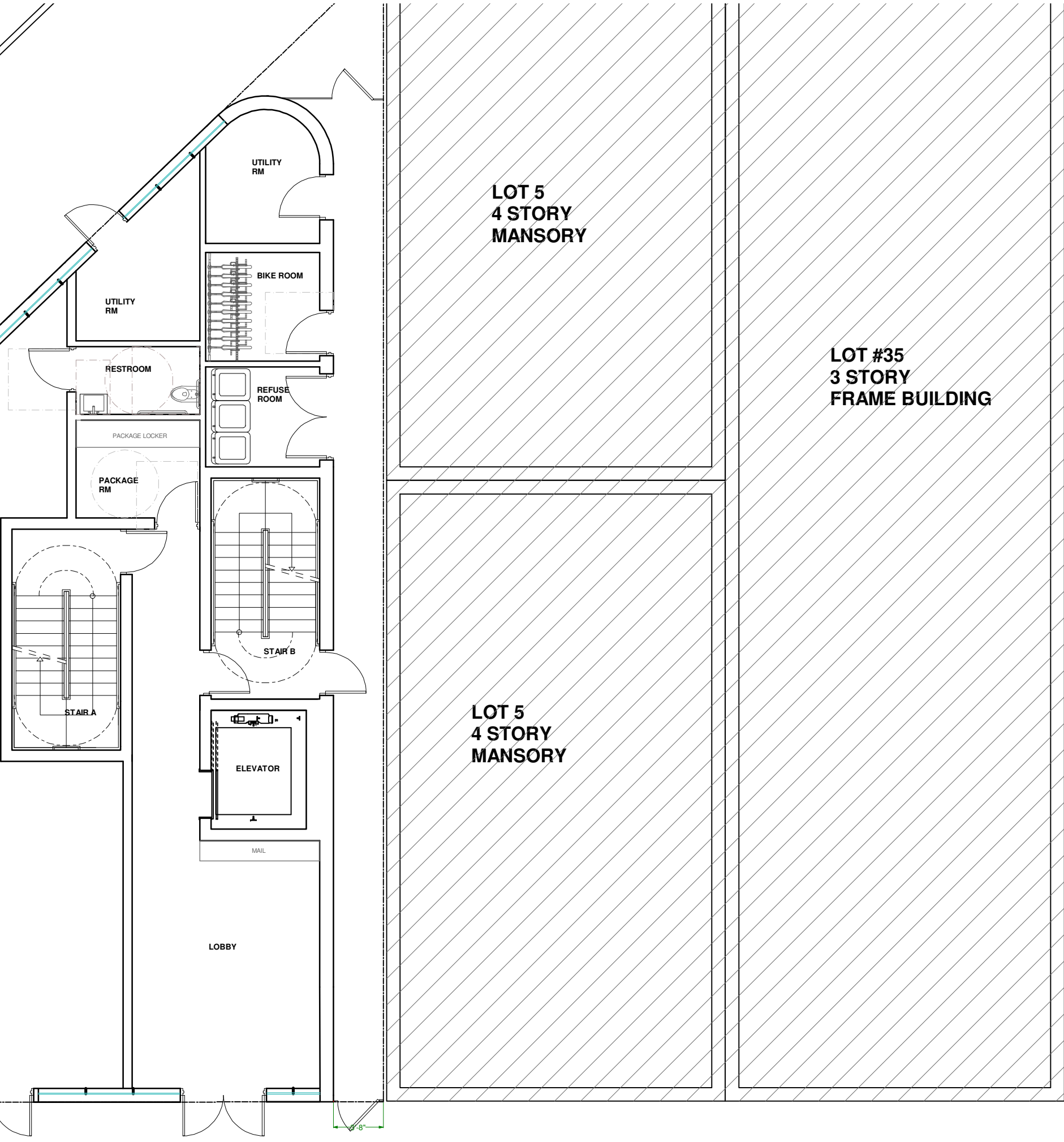
EXISTING CONDITIONS PLAN

4TH STREET

BIOSWALE

RETAIL 1076 SF

BIOSWALE



REFUSE REMOVAL STRATEGY:  
- RESIDENTS WILL STORE THEIR REFUSE INSIDE THE REFUSE ROOM ON THE FIRST FLOOR.  
- BUILDING MAINTENANCE STAFF WILL TAKE OUT THE TRASH TO SIDEWALK AT THE TIME TRASH COLLECTION

\*ALL GROUND FLOOR SPACES SHALL BE PROTECTED BY DRY-FLOODING PROOFING PROTECTION METHODS TO THE DESIGN FLOOD ELEVATION. OWNER SHALL STORE FLOOD GATES ON SITE OR OFF SITE AS REQUIRED BY ASCE, FEMA AND NJ DEP GUIDELINES AND ANY OTHER APPLICABLE BUILDING CODES

LEVEL 1

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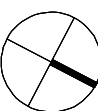
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LEVEL 1, LEVEL 2,  
and LEVEL 4 PLANS

SEAL & SIGNATURE:



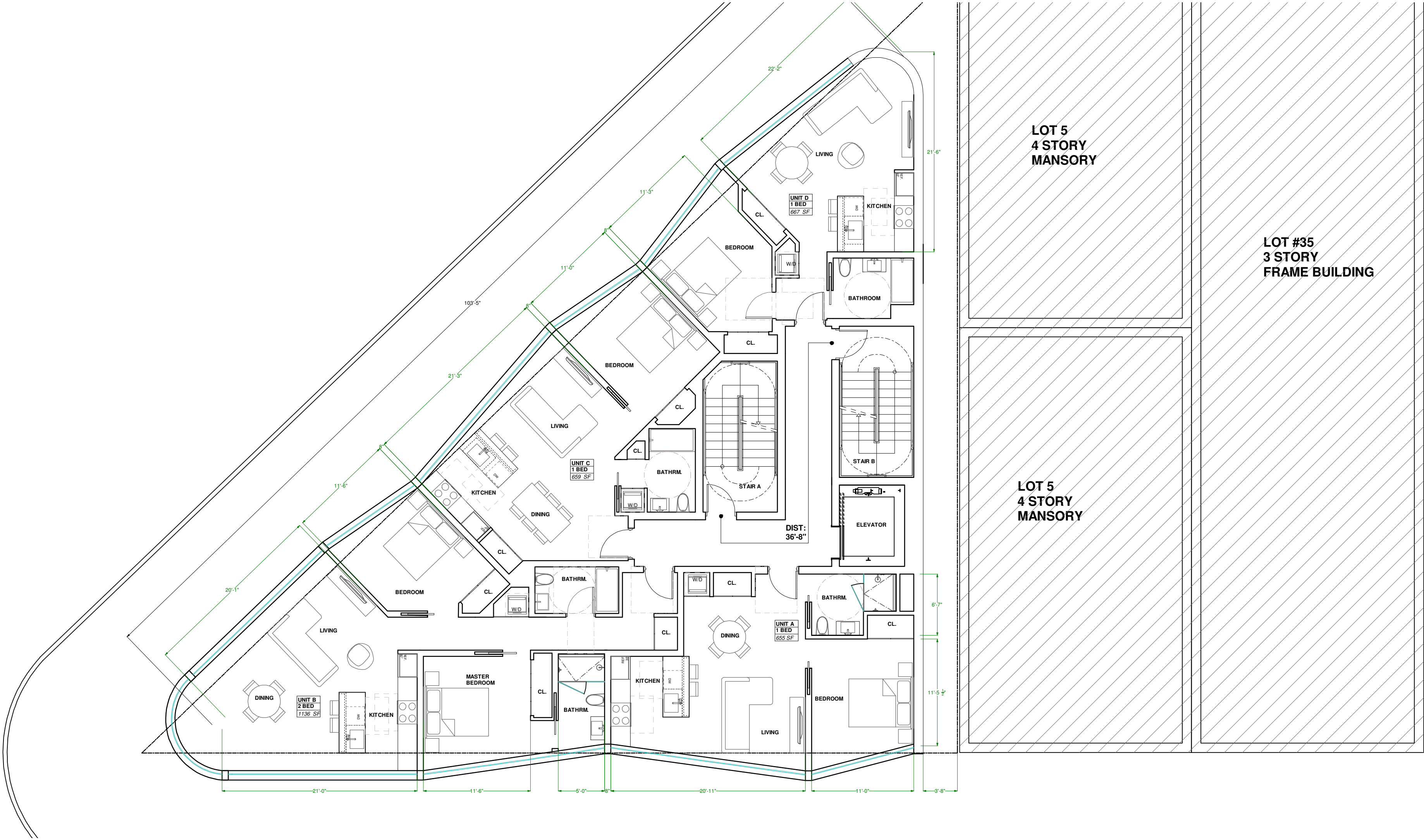
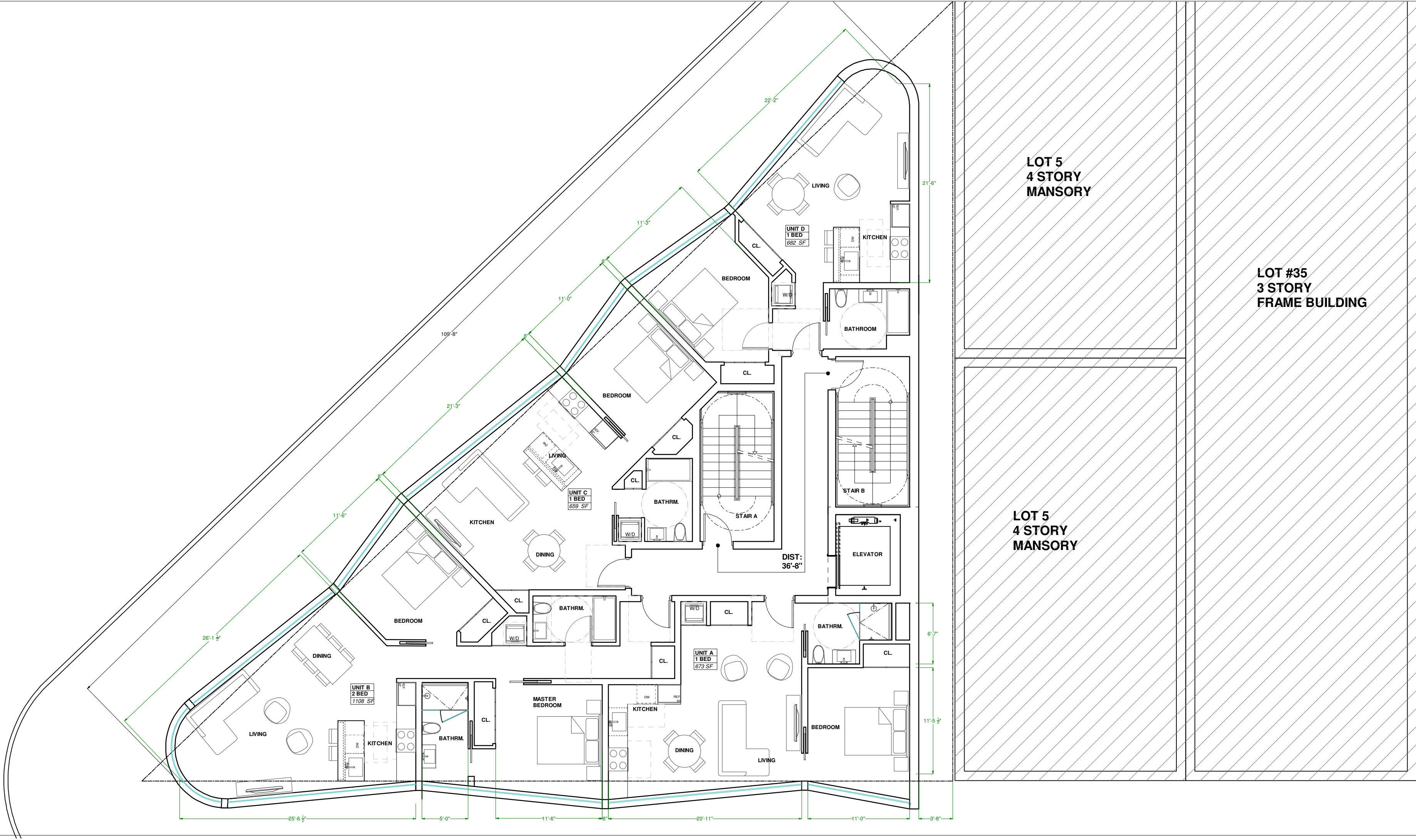
DATE: 06/25/2021

SCALE: 1/16" = 1'

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Z100.01





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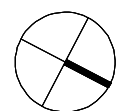
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DWG TITLE:

LEVEL 3, LEVEL 5 and ROOF

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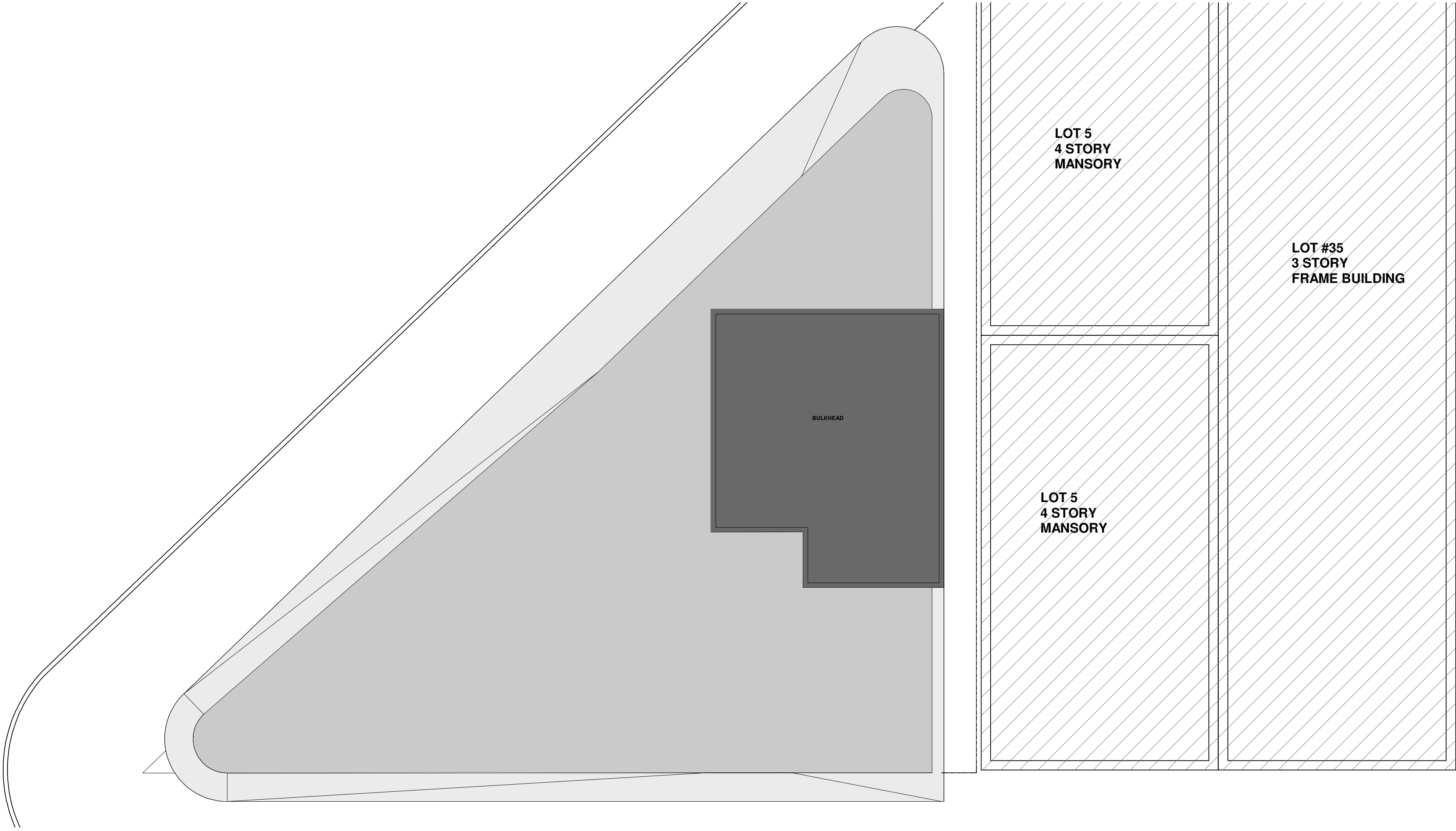
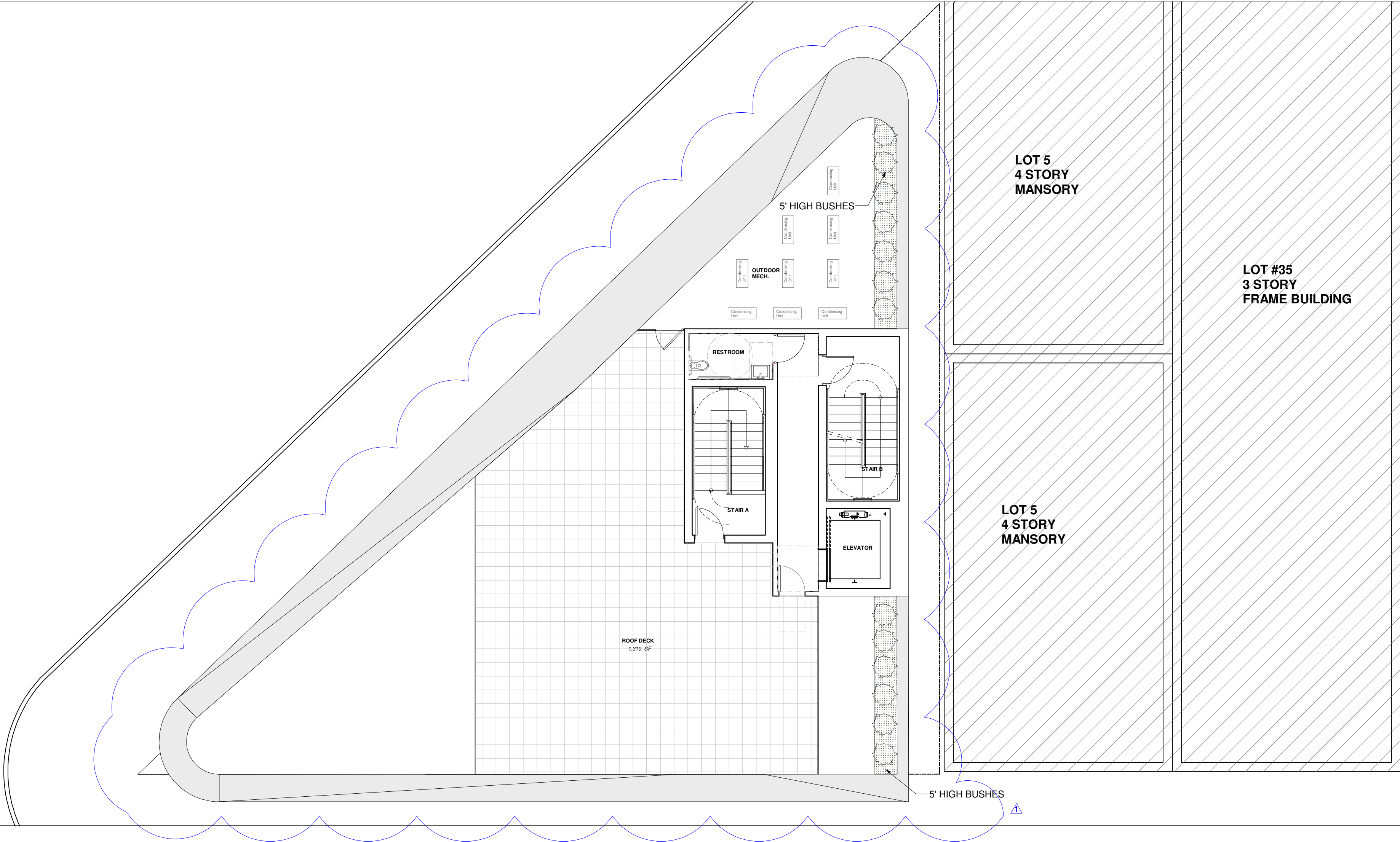


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1/16" = 1'

DRAWING NO:  
Z101.00





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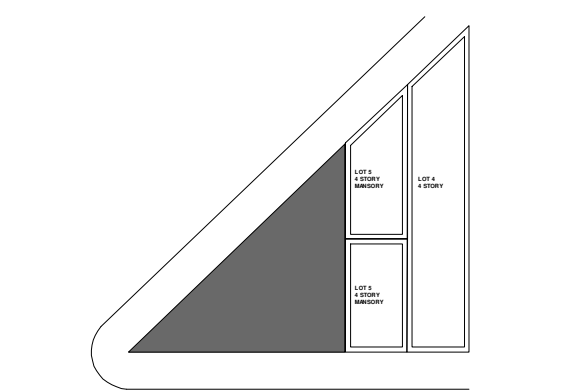
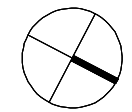
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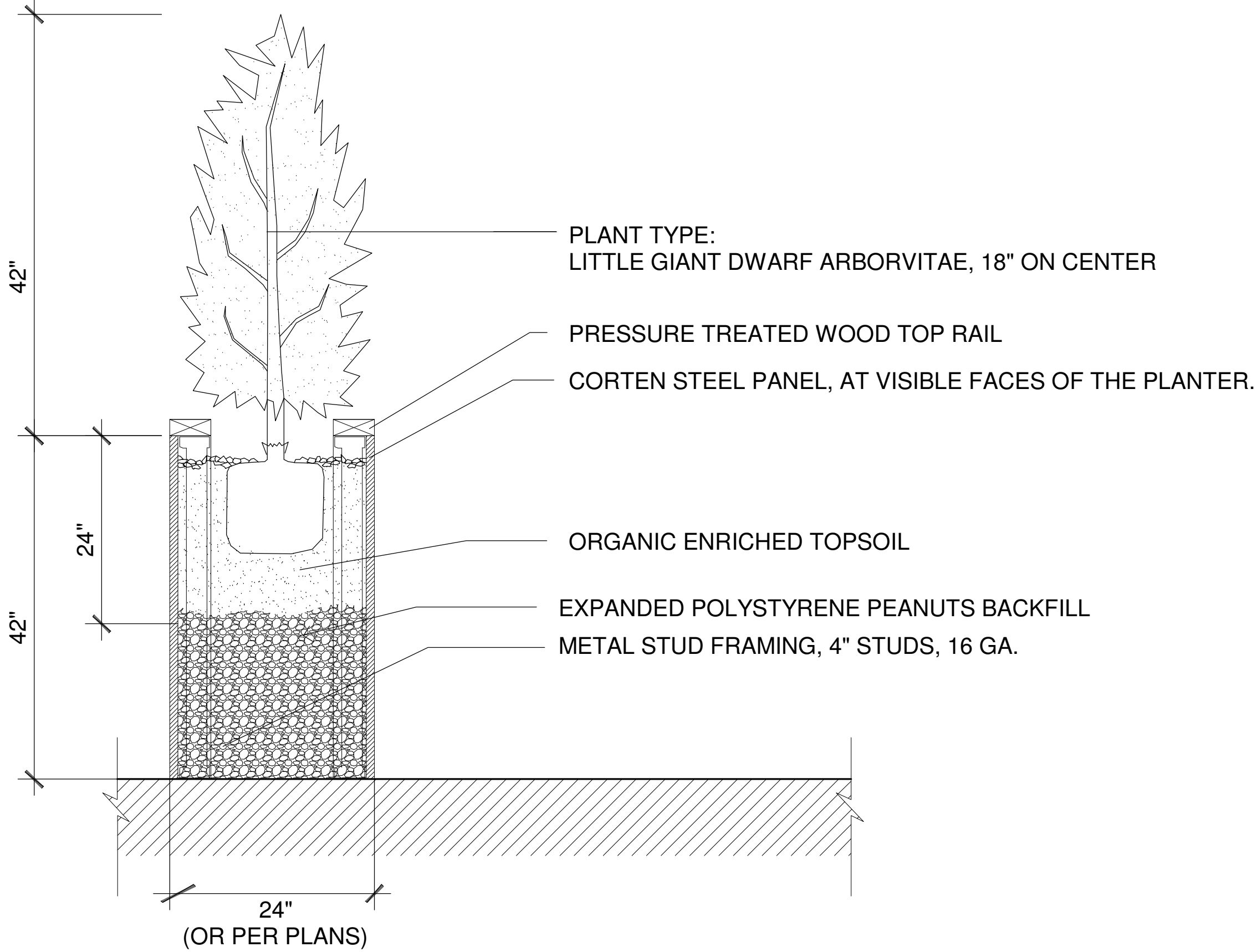


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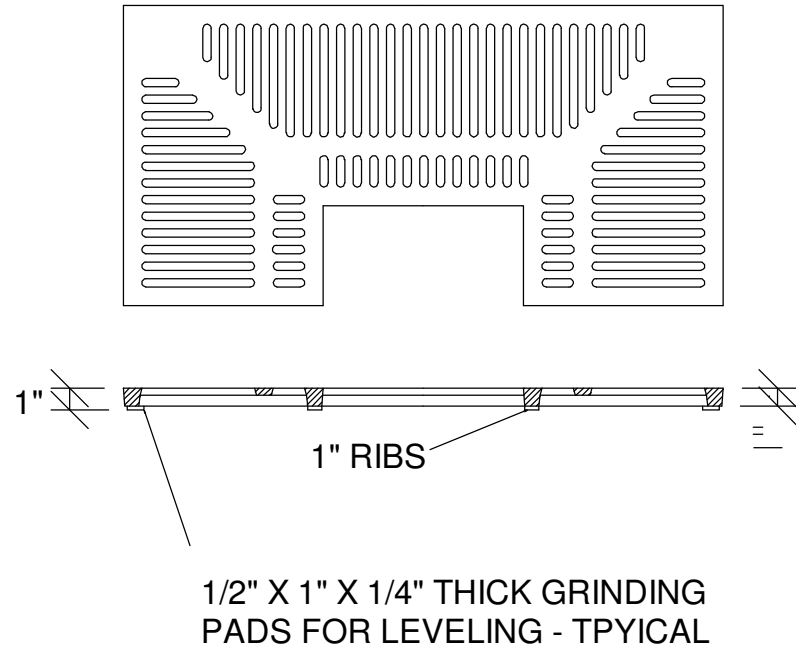
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1/16" = 1'

DRAWING NO:  
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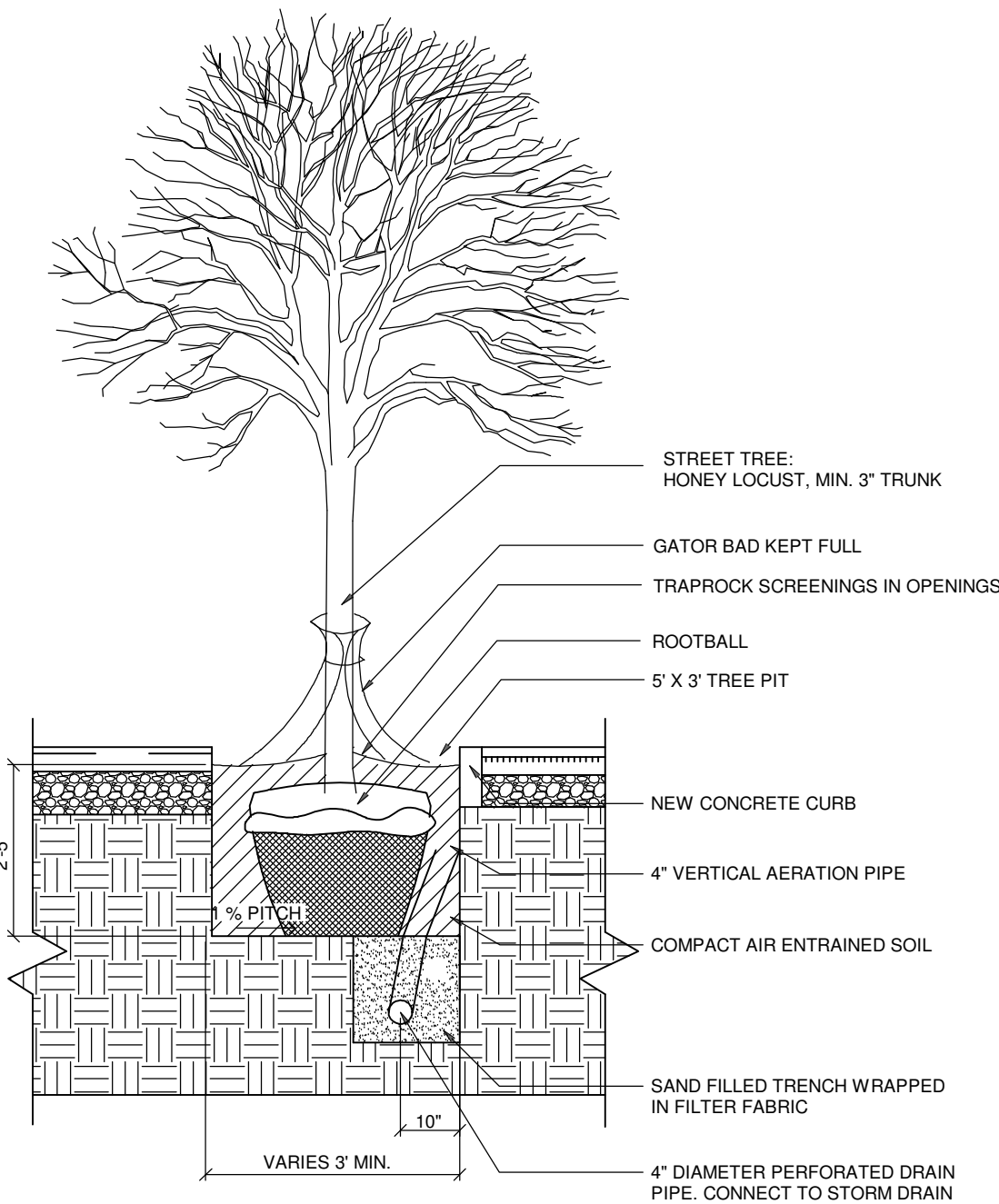




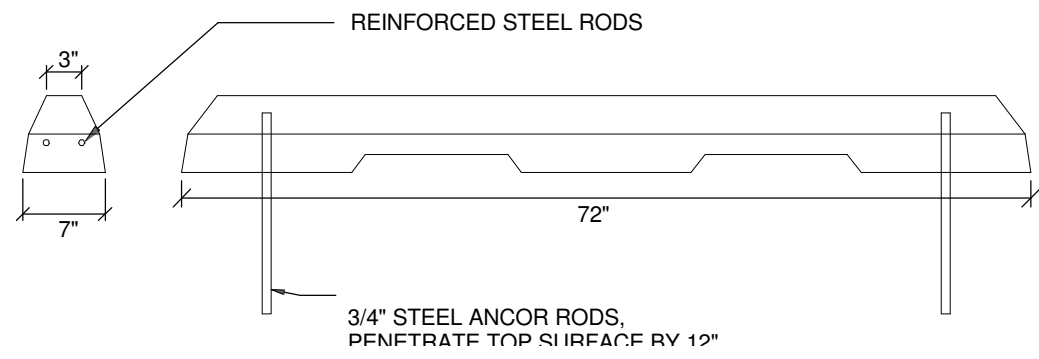
NOTES:  
- SLOT WIDTH: 1/2" MAX  
- GRATE MATERIAL: CAST GRAY IRON.  
- TREE OPENING SIZE: 20"  
- STEEL ANGLE FRAME REQUIRED



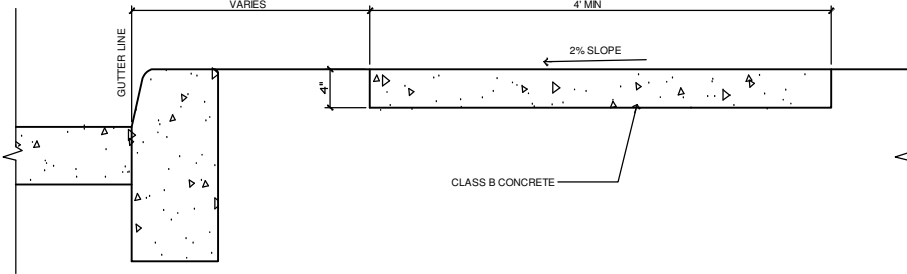
## TREE DETAILS



## SEWER DETAIL

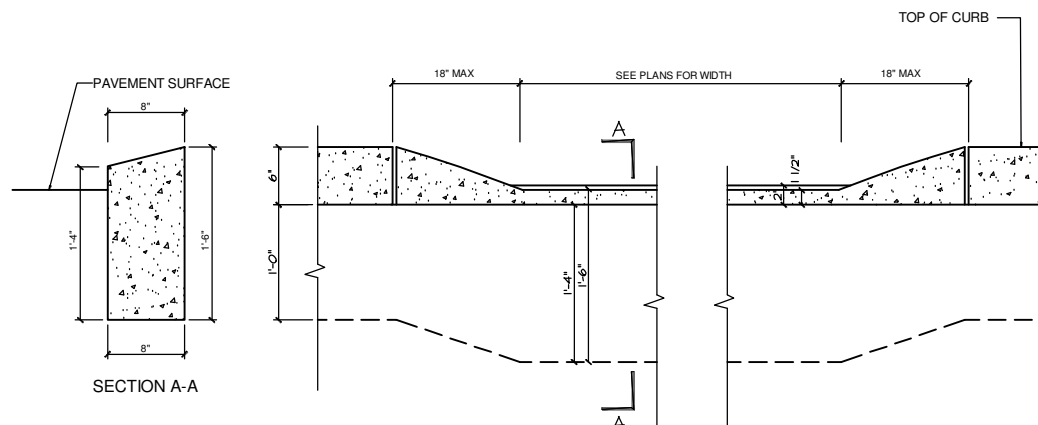


## CAR BUMPER DETAIL

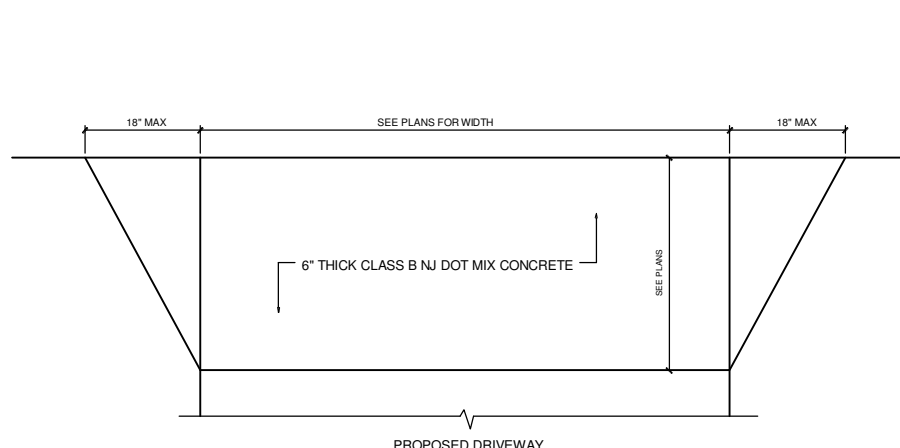


NOTES:  
1. REINFORCED 6" THICK CONCRETE SIDEWALK SHALL BE USED AROUND CURB RETURN FOR DRIVEWAY APPROX.  
2. PROVIDE COTING, JOINTS ON SIDEWALK EVERY 12'  
3. PROVIDE 1/2" THICK EXPANSION JOINTS AT MAX 12' INTERVALS, USE PREFORMED BITUMINOUS FIBER JOINTS.  
4. AN ENTRAINED NO. 4 CLASS B CONCRETE SHALL BE USED FOR CURB AND SIDEWALK.

## SIDEWALK SECTION

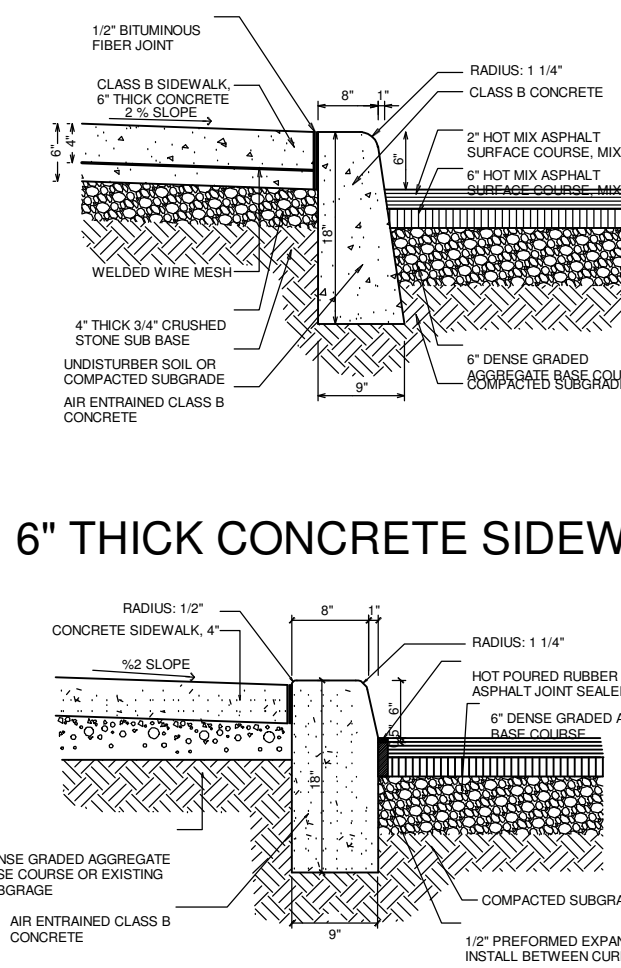


## DRIVEWAY CURB CUT SECTION



## DRIVEWAY CURB CUT PLAN

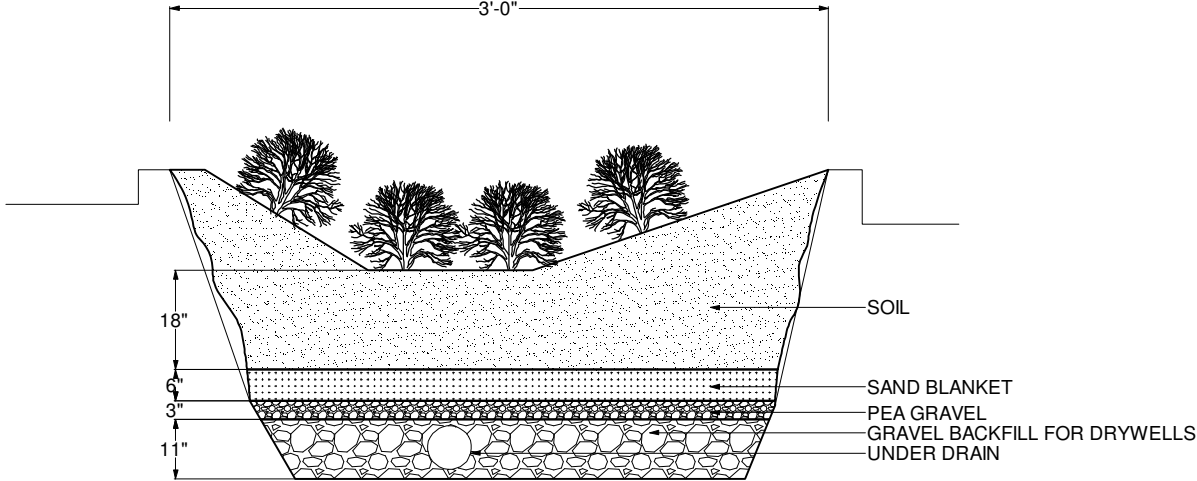
## 6" THICK CONCRETE SIDEWALK



NOTES:  
1. TRANSVERSE JOINT 1/2" WIDE SHALL BE INSTALLED IN THE CURB 15" AWAY AND SHALL BE FILLED WITH CELLULAR CONCRETE/STOCK MATERIAL AS SPECIFIED RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB

## CONCRETE CURB SECTION

## TREE DETAILS

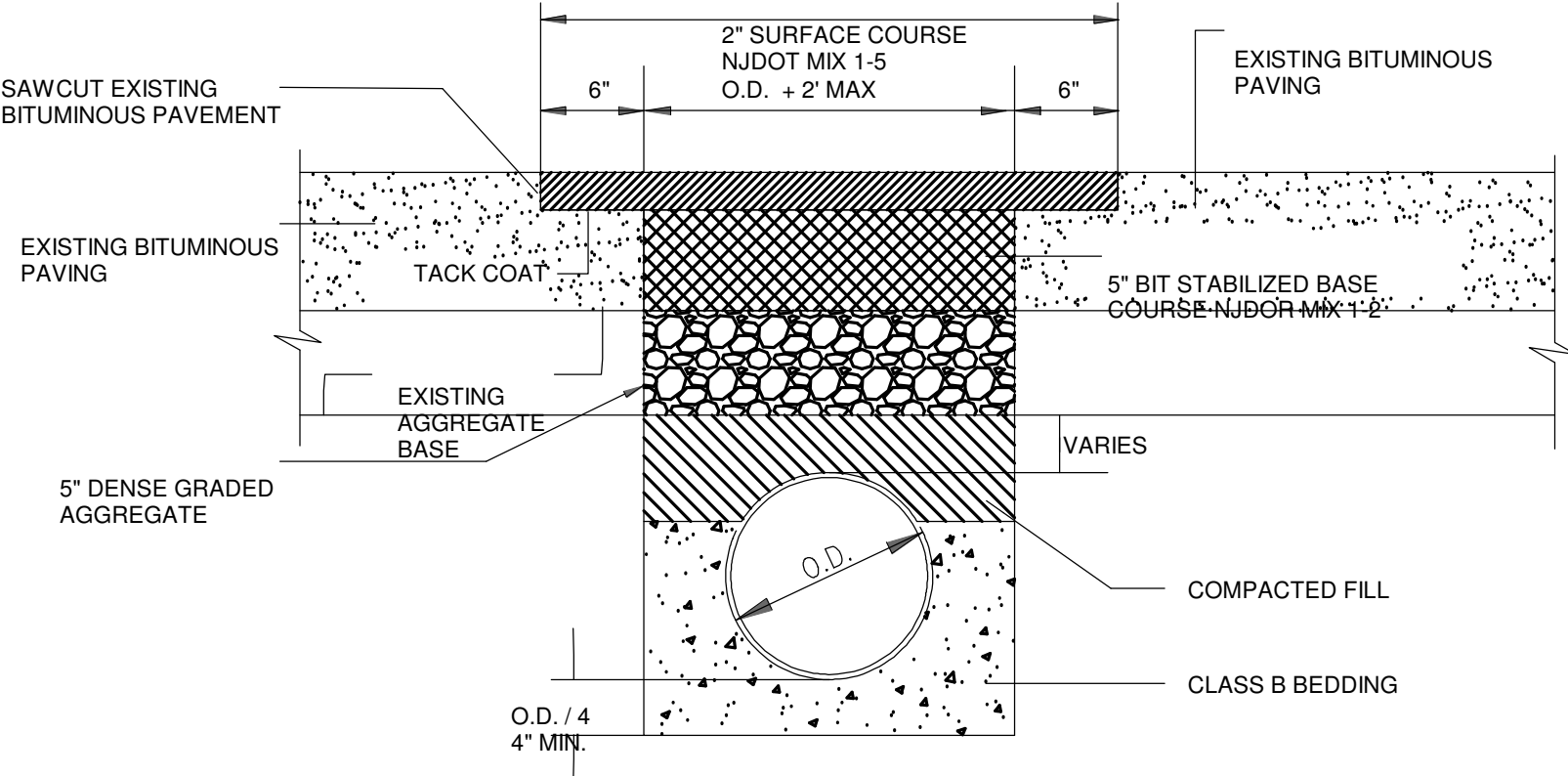


## BIOSWALE DETAILS

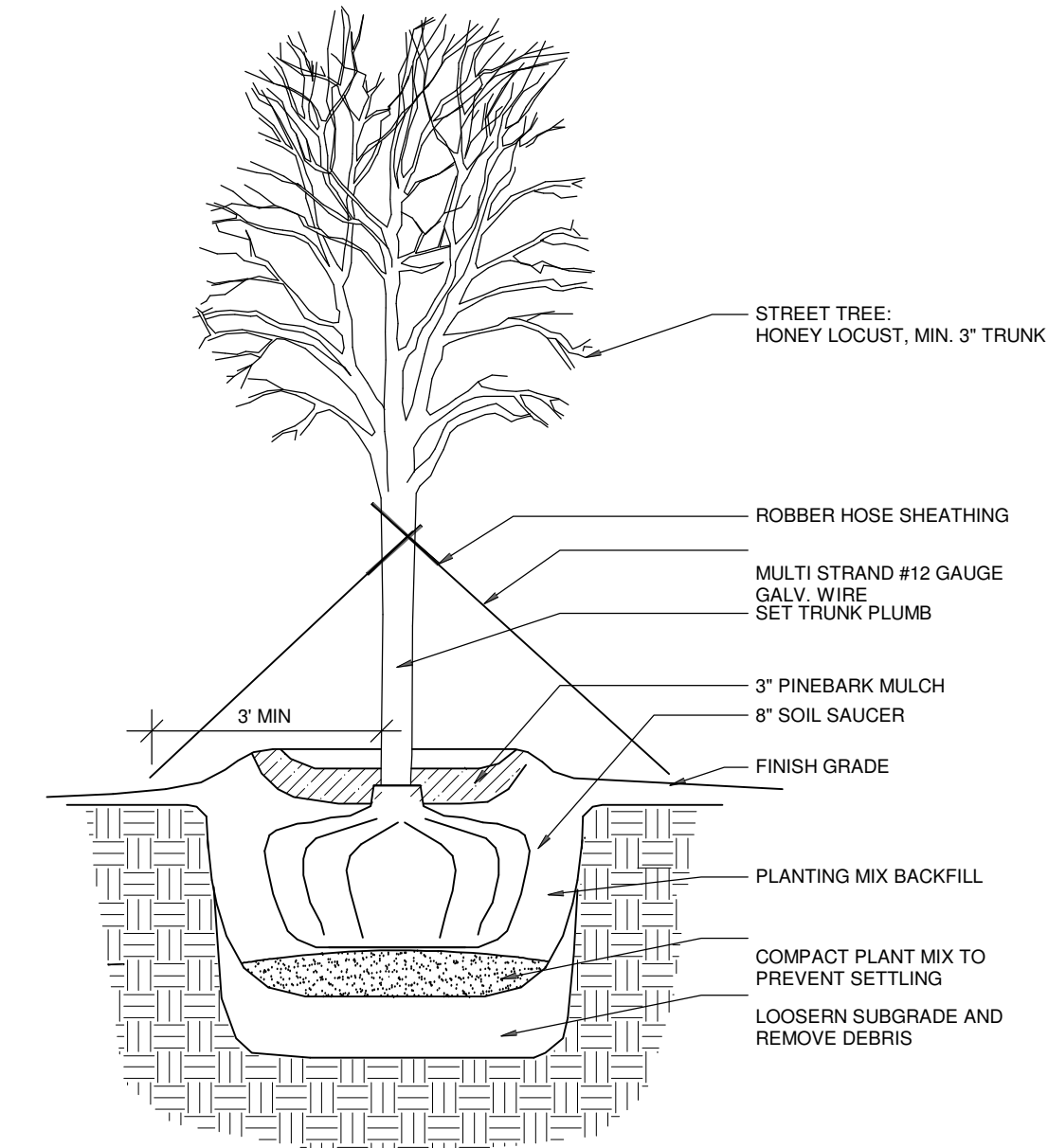
## GR - INGROUND RECESSED ROUNG LIGHTING FIXTURE

RECESSED IN WALL AT COMMERCIAL STOREFRONT ENTRANCE AND SIDE WALK ON NEWARK AVENUE AND 4TH STREET.  
PRODUCT: BEGA 77812

## SITE LIGHTING DETAILS



## PAVEMENT OPENING



## TREE DETAILS

## SIDEWALK DETAILS

PROJECT NAME:

# JC325

OWNER NAME:  
BGT Enterprises  
189 BRUNSWICK STREET,  
JERSEY CITY NJ 07302  
T: 201-656-7200



PROJECT ADDRESS:

325 NEWARK AVE  
JERSEY CITY  
HUDSON COUNTY, NEW JERSEY 07302

ARCHITECT OF RECORD:  
MURAT MUTLU, AIA

225 West 36th Street #506, New York NY 10018  
T: 212 564 0094

DESIGNER:

INO A | International Office of Architects  
42 Fayette Street, Cambridge MA 02138  
Tel: 607-262-0368  
email: info@in-aa.com

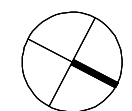
ENGINEERS:



DATE	REVISION
06.04.2021	ROOF PLANTING AND REAR YARD DOOR REVISION
06.14.2021	SIDE YARD TABLE REVISION

KEY PLAN:

REFERENCE NORTH



APPROVAL:

DWG TITLE:

DETAILS

SEAL & SIGNATURE:



DATE: 06/25/2021

SCALE: 1/4" = 1'

DRAWING NO:

Z400.00



PROJECT NAME:

JC325

OWNER NAME:  
BGT Enterprises  
189 BRUNSWICK STREET,  
JERSEY CITY NJ 07302  
T: 201-656-7200



PROJECT ADDRESS:

325 NEWARK AVE  
JERSEY CITY  
HUDSON COUNTY, NEW JERSEY 07302

ARCHITECT OF RECORD:

MURAT MUTLU, AIA

225 West 36th Street #506, New York NY 10018  
T: 212 564 0094

DESIGNER:

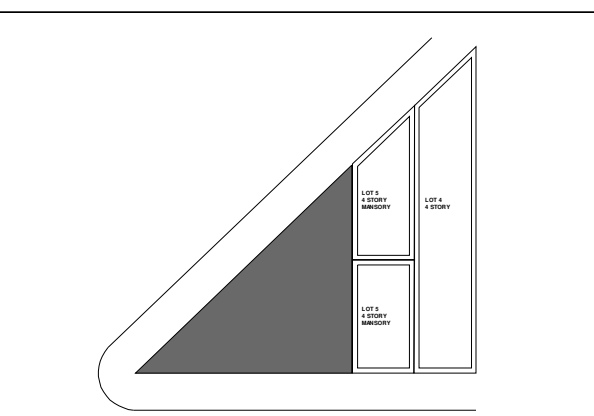
INOA | International Office of Architects  
42 Fayette Street, Cambridge MA 02138  
Tel: 607-262-0368  
email: info@in-ia.com

ENGINEERS:

△	DATE	REVISION
△	06.04.2021	ROOF PLANTING AND REAR YARD DOOR REVISION
△	06.14.2021	SIDE YARD TABLE REVISION

KEY PLAN:

REFERENCE NORTH

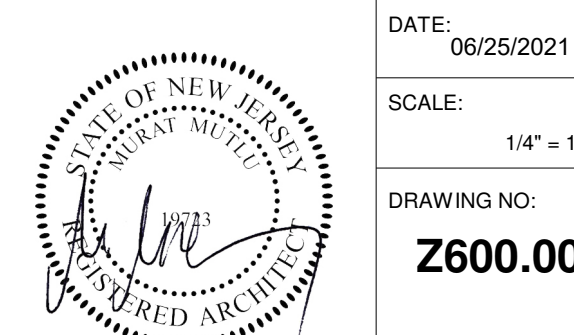


APPROVAL:

DWG TITLE:

CURB AND SIDEWALK  
DETAILS

SEAL & SIGNATURE:



DATE:

06/25/2021

SCALE:

1/4" = 1'

DRAWING NO:

Z600.00

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City of Jersey City  
Division of Engineering  
575 ROUTE 440  
JERSEY CITY, NEW JERSEY 07305  
(201) 547-4412



NO.	REVISIONS	DATE
1	Extensive Changes Made	7/09

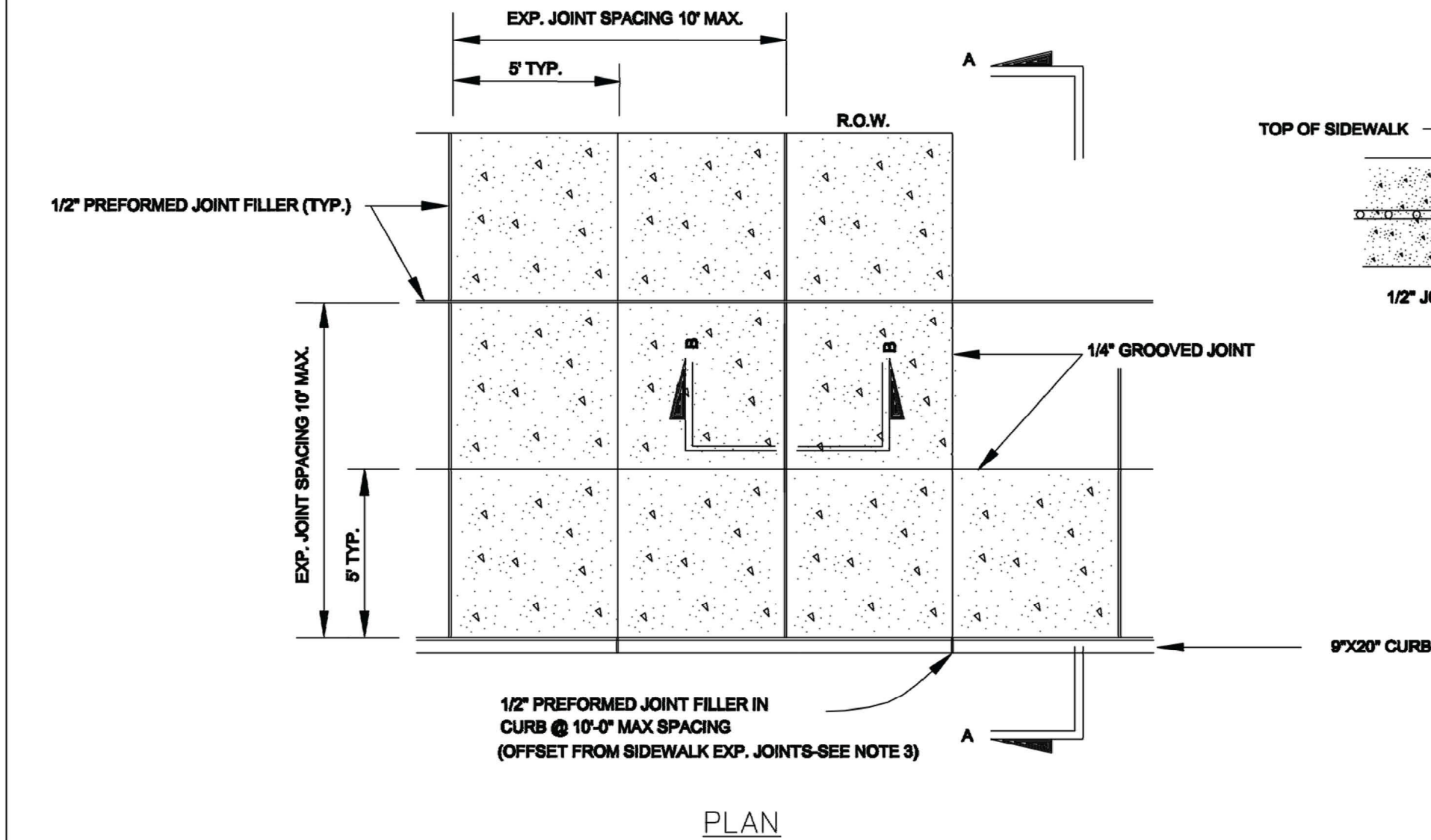
CITY OF JERSEY CITY  
STANDARDS

NO.	REVISIONS	DATE

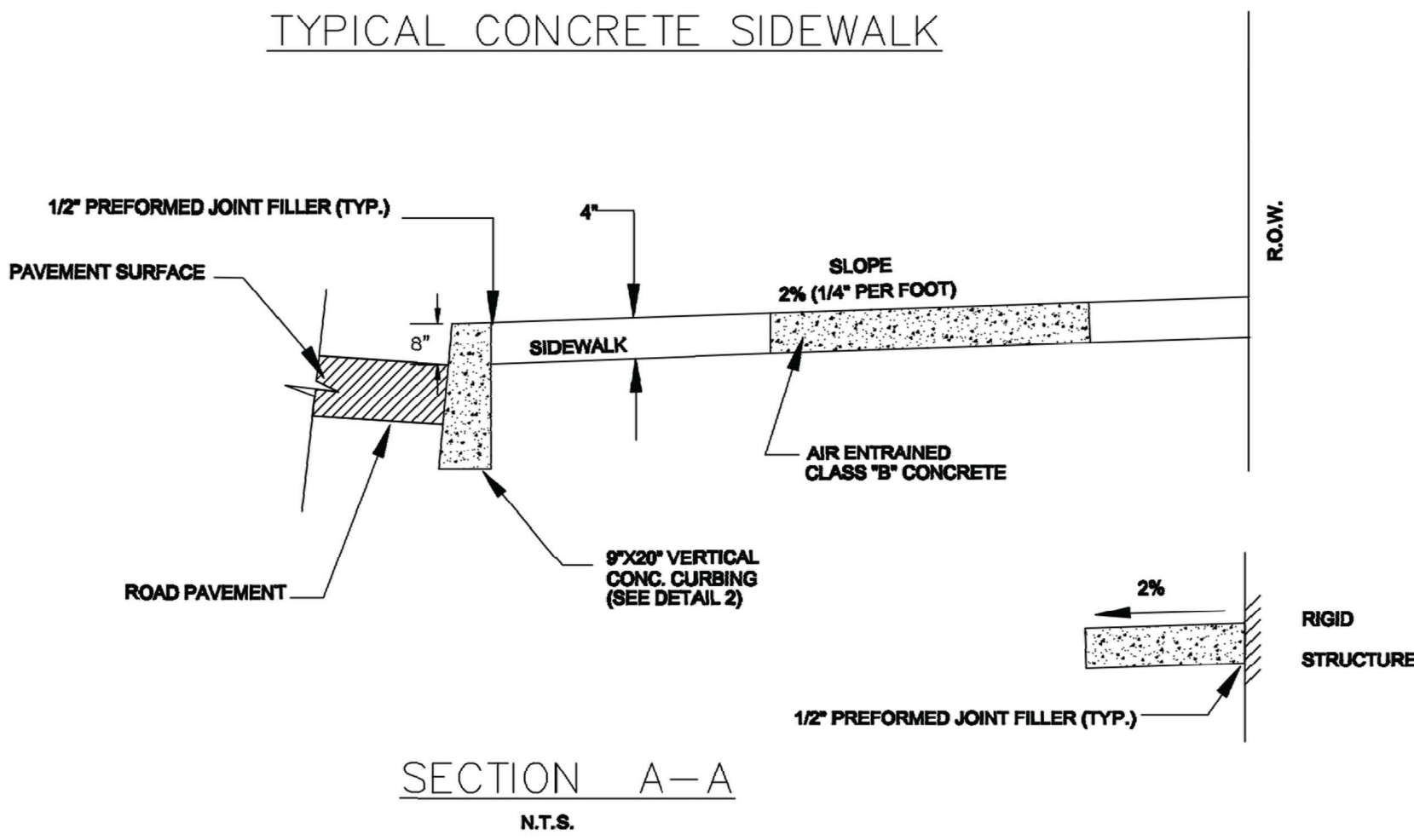
William R. Goble, P.E.  
Director  
Division of Engineering  
NJ P.E. Lic. No. 24798

DRAWING		
SHEET		
7 17		
DRAWN BY	DESIGNED BY	CHECKED BY
PROJECT NO.	CADD FILE	SCALE
Date		

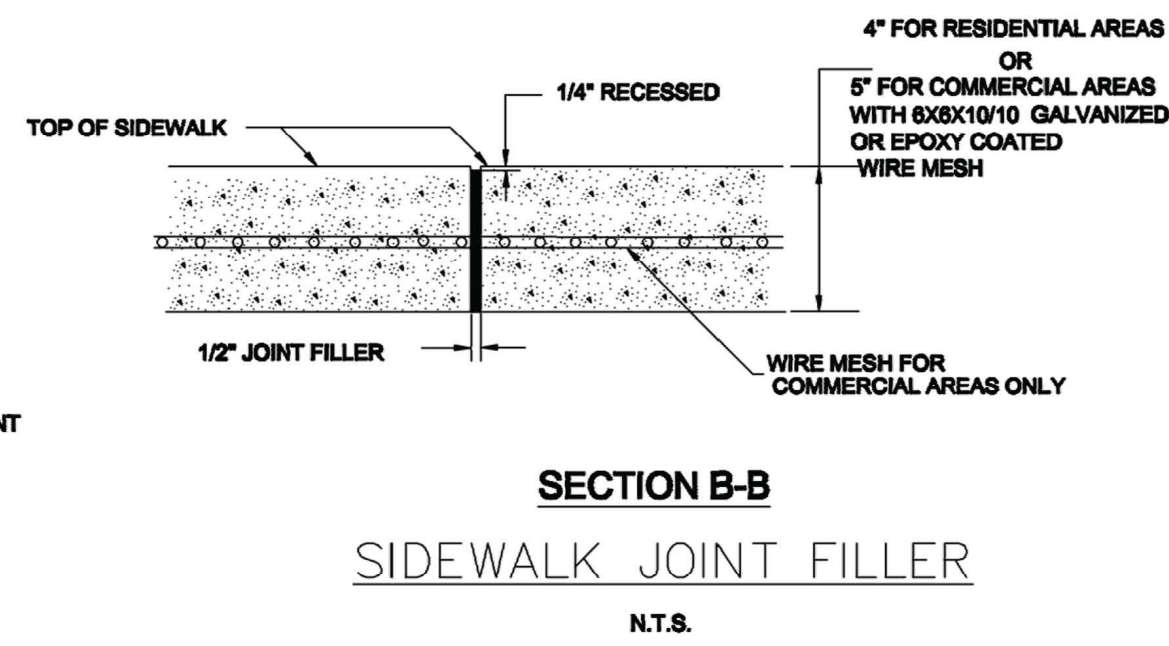
Construction Standards  
Curb and Sidewalk



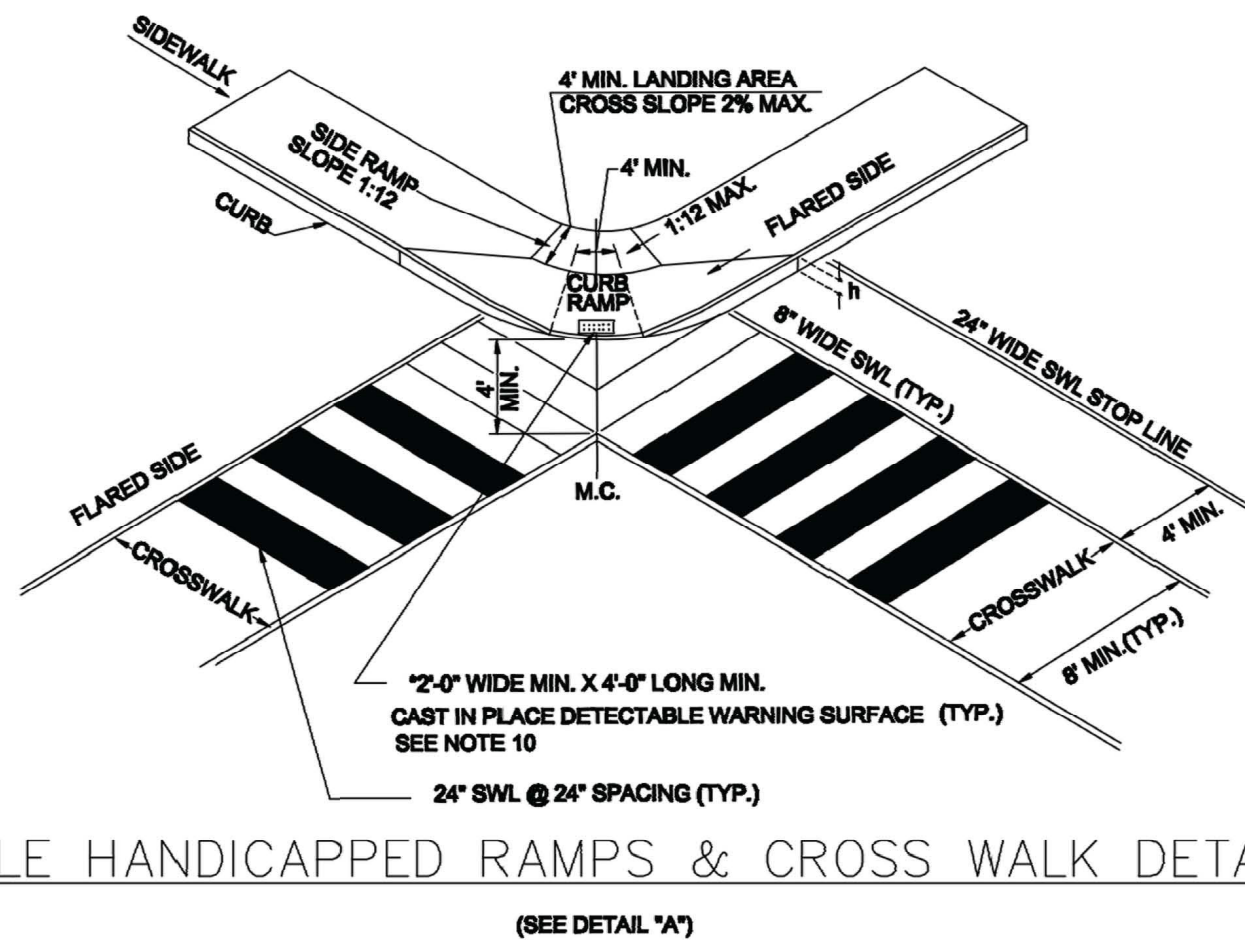
TYPICAL CONCRETE SIDEWALK



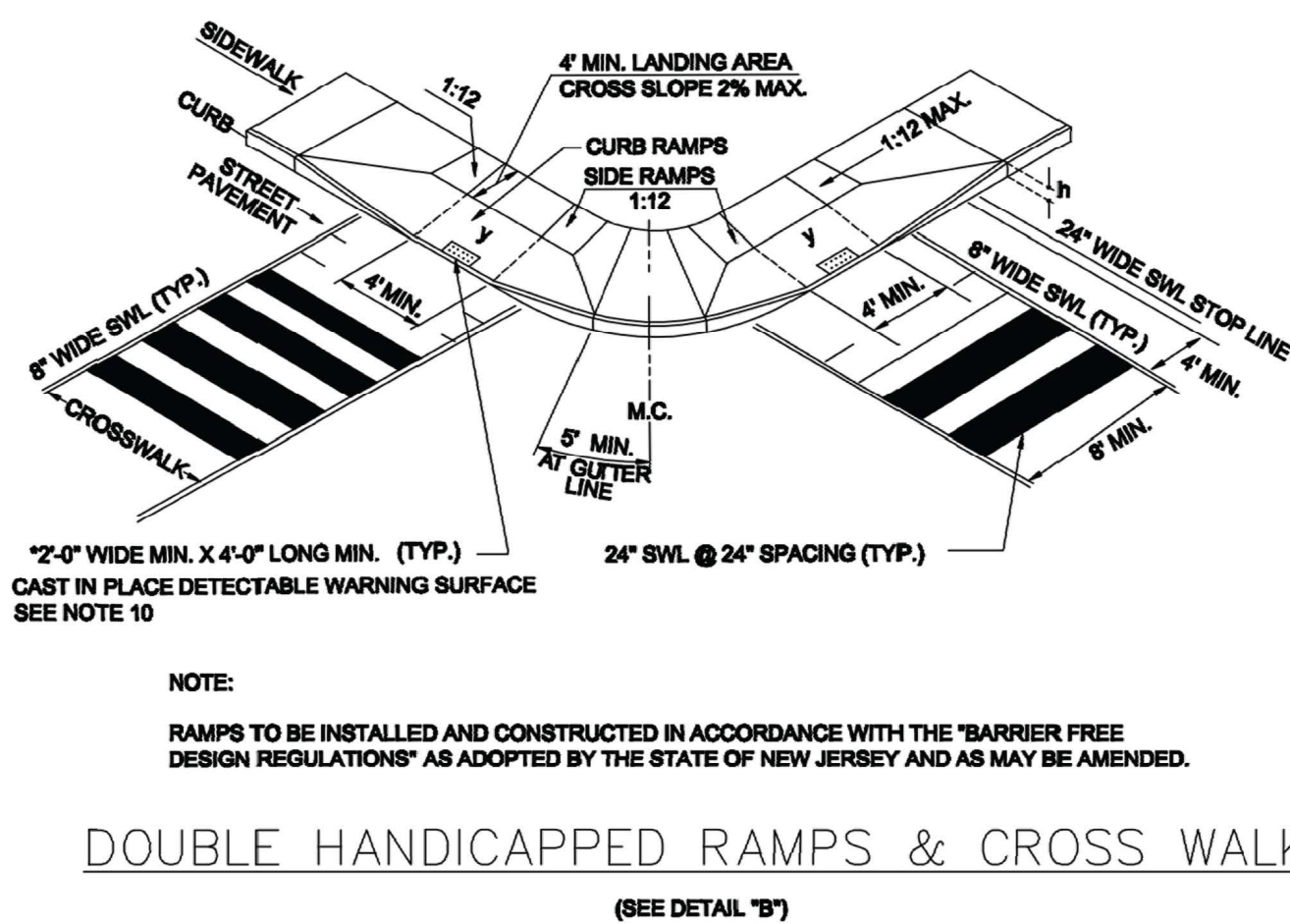
SECTION A-A  
N.T.S.



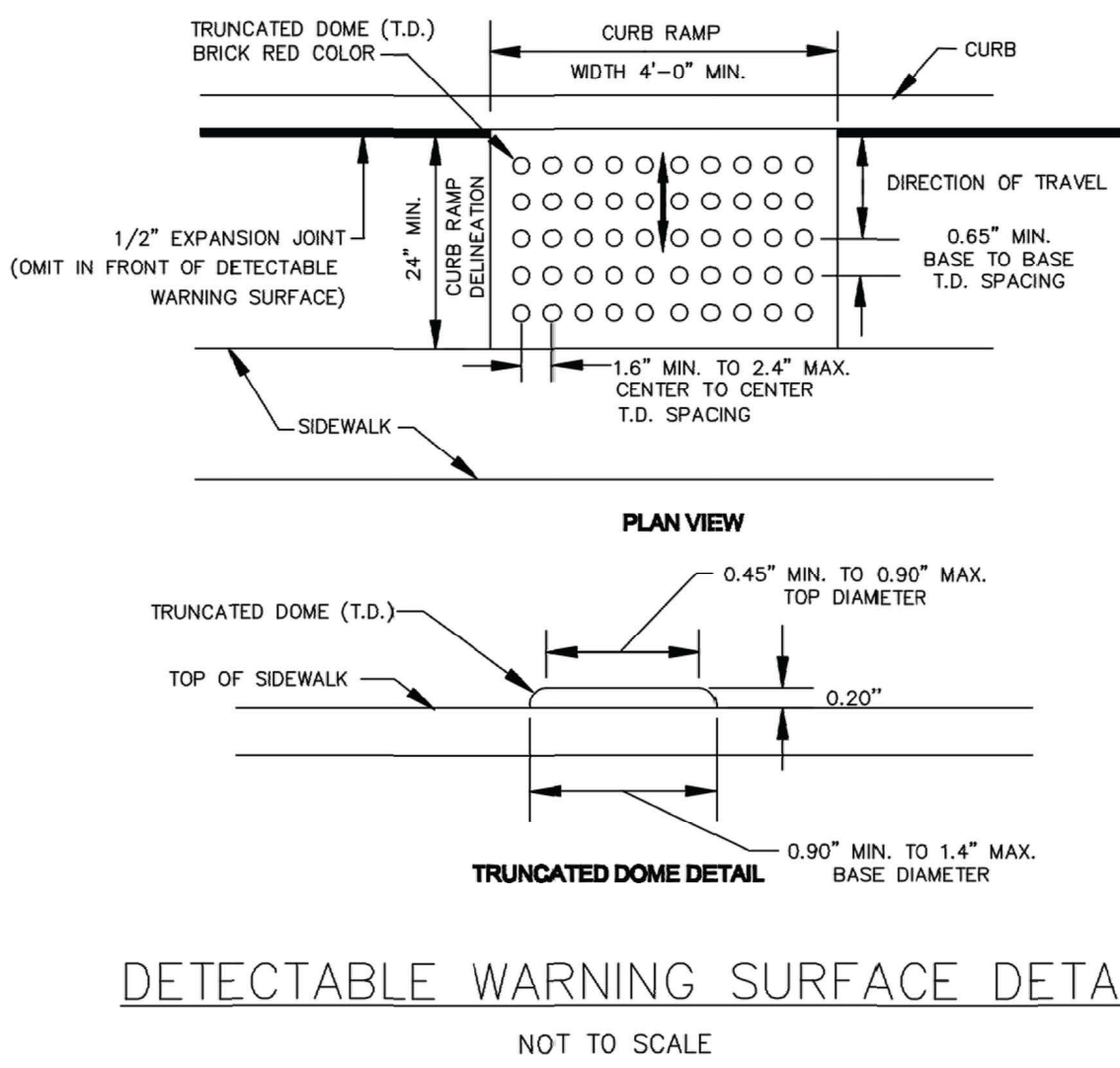
SECTION B-B  
SIDEWALK JOINT FILLER  
N.T.S.



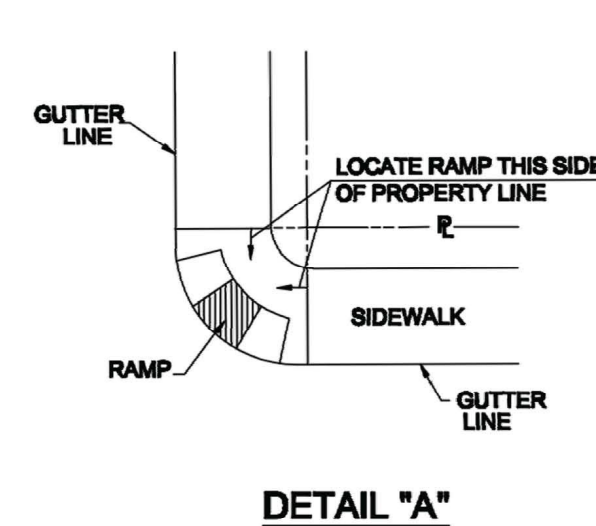
SINGLE HANDICAPPED RAMPS & CROSS WALK DETAIL



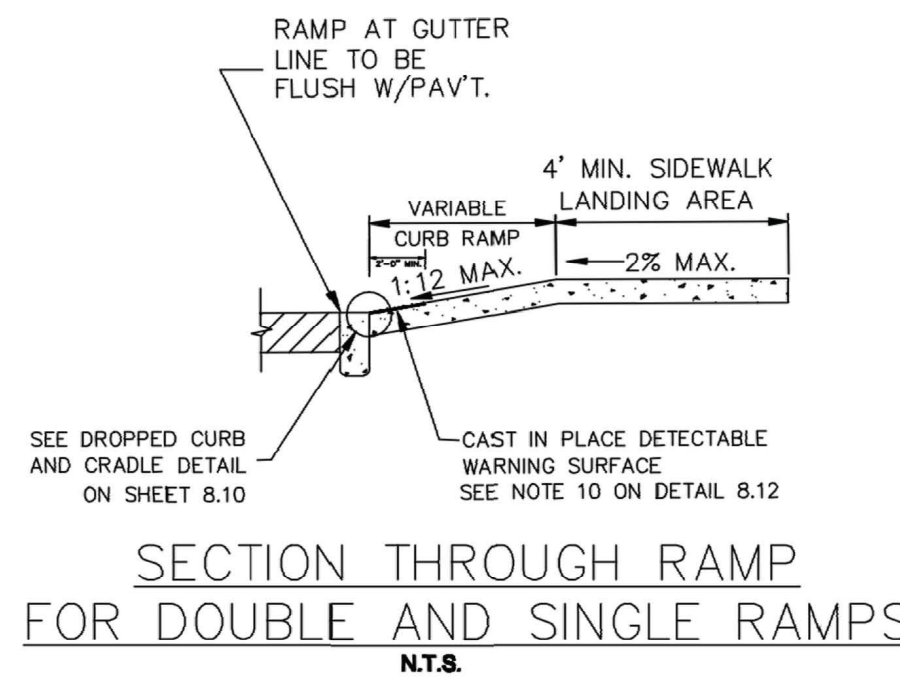
DOUBLE HANDICAPPED RAMPS & CROSS WALK DETAIL



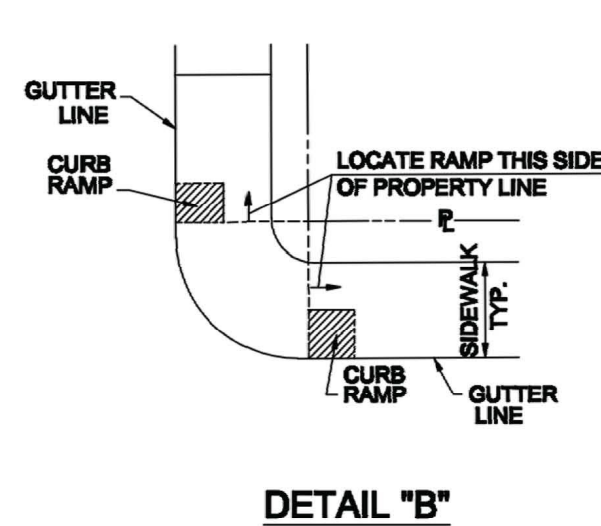
DETECTABLE WARNING SURFACE DETAIL  
NOT TO SCALE



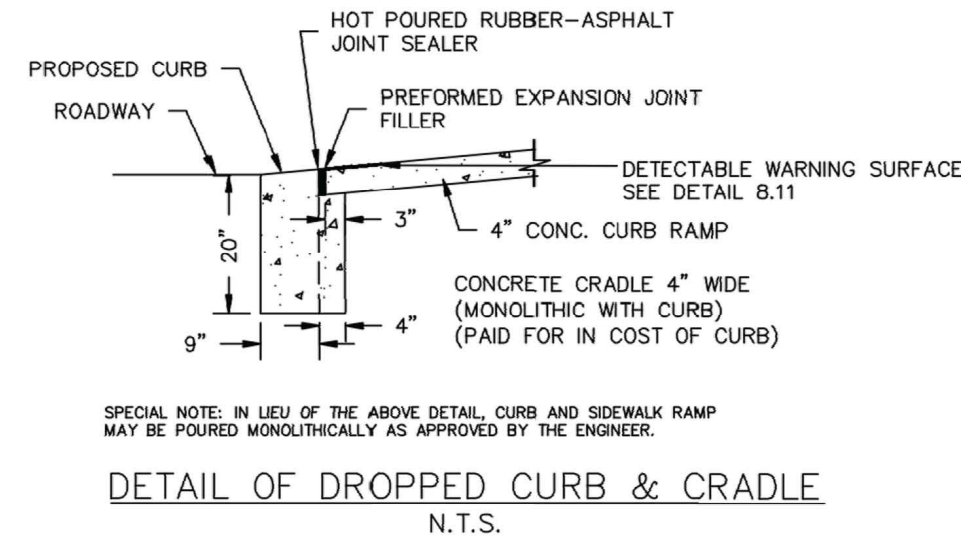
DETAIL "A"



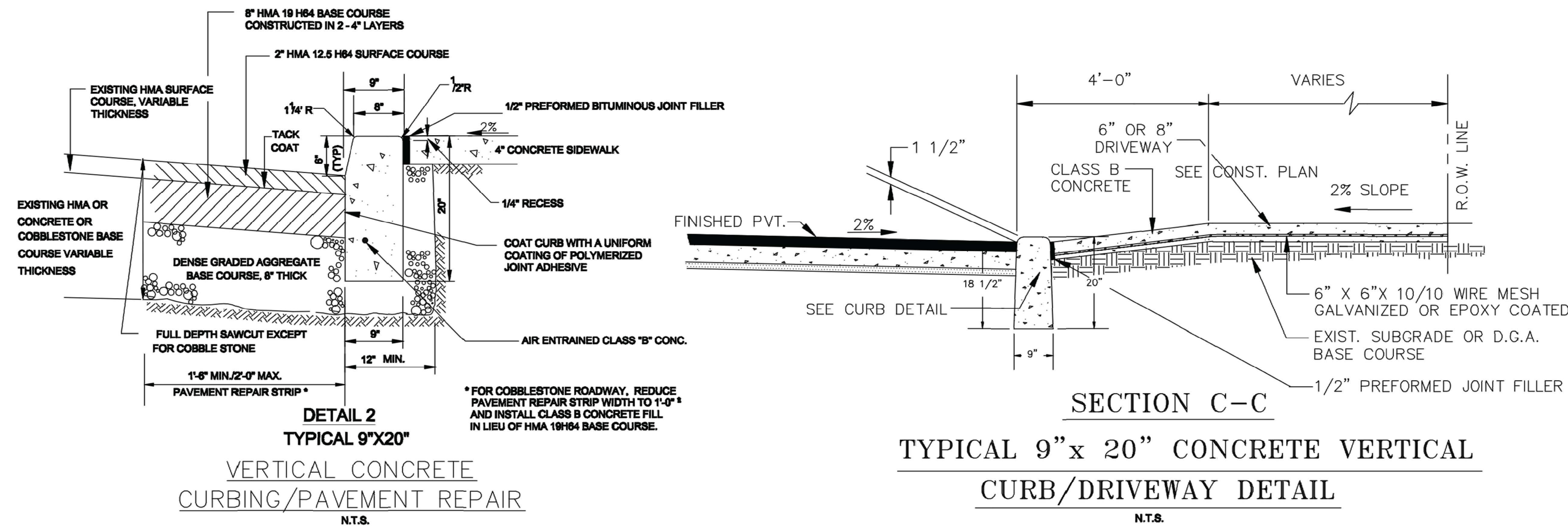
SECTION THROUGH RAMP  
FOR DOUBLE AND SINGLE RAMPS  
N.T.S.



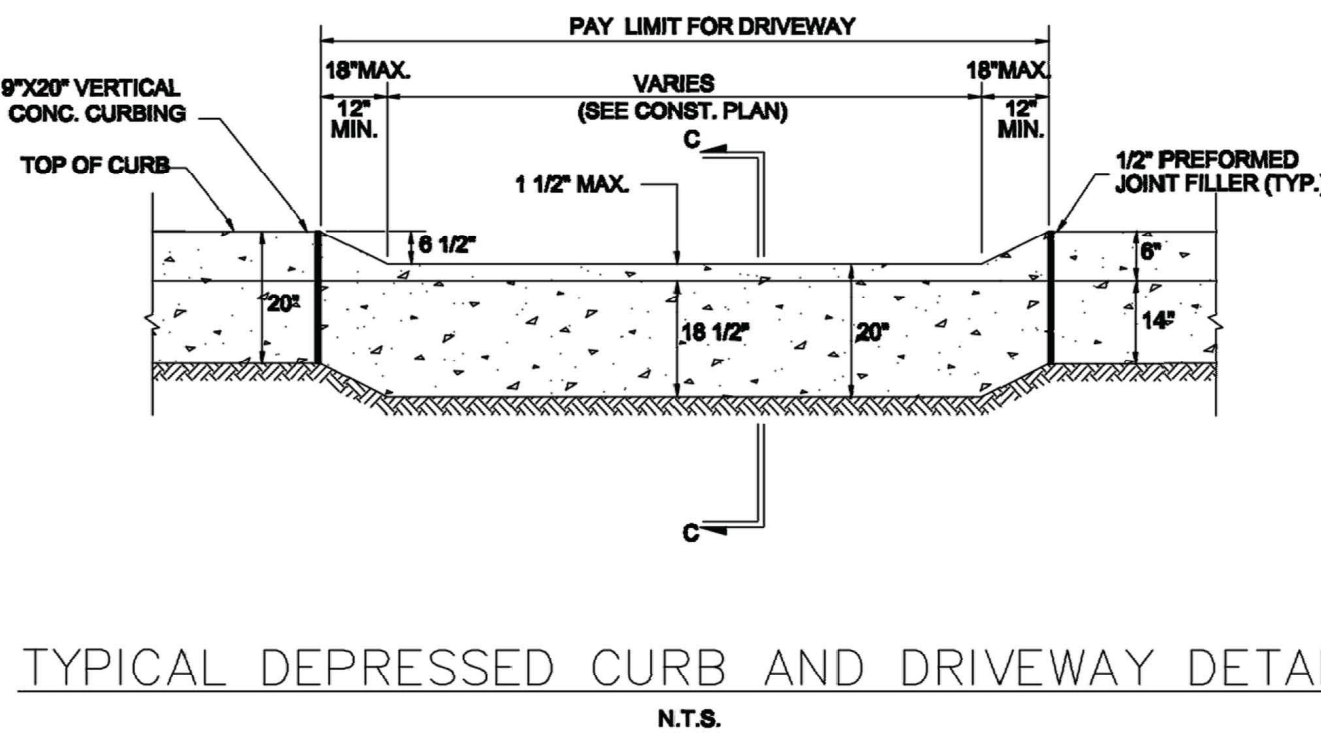
DETAIL "B"



DETAIL OF DROPPED CURB & CRADLE  
N.T.S.



SECTION C-C  
TYPICAL 9"x 20" CONCRETE VERTICAL  
CURB/DRIVEWAY DETAIL  
N.T.S.



TYPICAL DEPRESSED CURB AND DRIVEWAY DETAIL  
N.T.S.

CURB & SIDEWALK NOTES:

- ALL CURBING AND SIDEWALK SHALL BE CONSTRUCTED OF AIR ENTRAINED CLASS B CONCRETE. (N.J.D.O.T. SPEC'S)
- A 1/2" PREFORMED EXPANSION JOINT FILLER BITUMINOUS TYPE, CONFORMING TO A.A.S.H.T.O. SPEC'S M-33 IS TO BE INSTALLED BETWEEN THE CURBING AND CONCRETE SIDEWALK AND AT 10' MAX. SPACING (TRANSVERSE AND LONGITUDINAL) IN THE SIDEWALK, RECESSED 1/4" IN FROM TOP OF SIDEWALK.
- TRANSVERSE JOINTS 12" WIDE SHALL BE INSTALLED IN THE CURBING 10'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS FILLER OF A.A.S.H.T.O. SPEC'S M-33 FLUSH WITH THE TOP AND FACE OF CURB.
- COST OF EXPANSION JOINTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR SIDEWALK AND CURBING.
- ALL SIDEWALK, CURB RAMPS AND SIDE RAMPS SHALL HAVE A HAND BROOMED FINAL FINISH.
- THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE CURB RAMPS.
- COST OF ANY DENSE GRADED AGGREGATE NEEDED FOR CURB AND SIDEWALK CONSTRUCTION WILL BE PAID FOR UNDER THE ITEM D.G.A.
- CONCRETE CURB SHALL NOT BE CONSTRUCTED FROM NOVEMBER 1 TO MARCH 15 UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE ENGINEER.
- IMMEDIATELY AFTER THE CONCRETE HAS BEEN FINISHED, THE CONTRACTOR SHALL APPLY A COMPLETE UNIFORM COAT OF CURING COMPOUND AT A RATE OF NOT LESS THAN ONE (1) GALLON PER 200 SQUARE FEET.
- DETECTABLE WARNING SURFACE SHALL BE "ARMOR-TILE" TAC TILE SYSTEMS AS MANUFACTURED BY ENGINEERED PLASTICS INC. WILLIAMSVILLE, NEW YORK, TELEPHONE NO. 1-800-892-2625 OR APPROVED EQUIVALENT. TACTILE TILE SIZE SHALL BE A MINIMUM OF 24"x48" AND SHALL BE A BRICK RED COLOR. DETECTABLE WARNING SURFACES SHALL BE INSTALLED ACCORDING TO THE CORRESPONDING CONSTRUCTION DETAILS SHOWN ON THE PLANS, THE MANUFACTURER'S RECOMMENDATION AND ACCORDING TO SUBSECTION 807.06 SUBPART 5 DETECTABLE WARNING SURFACES OF THE NJDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.
- ALL TRAFFIC STRIPES AND MARKINGS SHALL BE LONG-LIFE THERMOPLASTIC IN ACCORDANCE WITH SECTION 818 - TRAFFIC STRIPES AND MARKINGS OF THE NJDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.

NOTE: ALL NEW SIDEWALK CONCRETE SHALL BE TINTED CHARCOAL GRAY OR EQUIVALENT TINT WITH MICA ELECKS TO PROVIDE NIGHTTIME EFFECTS







# JC325

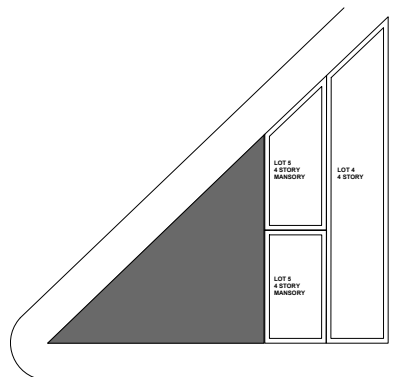


**BGT**  
ENTERPRISES

**ENGINEERS:**

KEY PLAN:

REFERENCE NORTH:



DATE:	06/25/2021
SCALE:	1/8" = 1'
DRAWING NO:	<b>Z200.01</b>

1

1

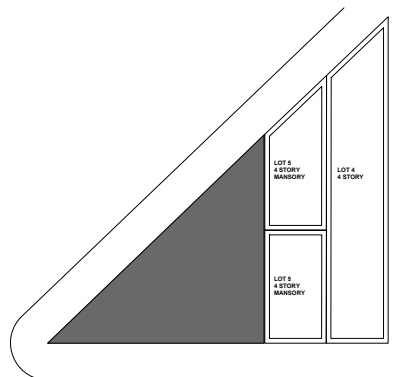
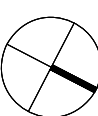


# JC325

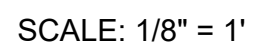


**ENGINEERS:**

REFERENCE NORTH:

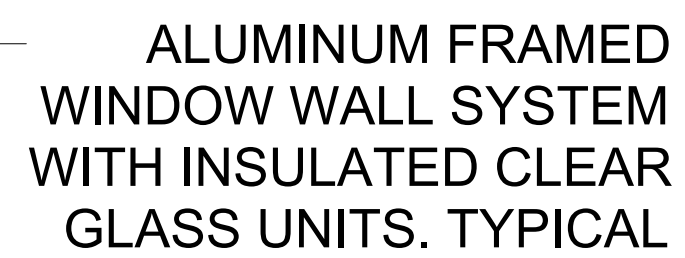


**Z201.00**



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1



SCALE: 1/2" = 1'

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2



