

PROPOSED 5 STORY
16 UNIT RESIDENTIAL BUILDING
WITH COMMERCIAL

325 NEWARK AVE
JERSEY CITY
HUDSON COUNTY, NEW JERSEY 07302

DRAWING LIST

- Z001Z002Z003Z100Z101Z200Z201Z400Z600Z700
- ZONING TITLE PAGE
SITE SURVEY
PROPOSED SITE, LIGTHING AND LANDSCAPE
PLAN
ZONING PLANS: LEVEL 1, 2, 4
ZONING PLANS: LEVEL 3, 5 AND ROOF
ZONING ELEVATIONS
ZONING ELEVATIONS
DETAILS
CURB AND SIDE WALK DETAILS
IMAGES

ZONING NOTES

ZONING DISTRICT
BLOCK
LOT

NC-NIGHBORHOOD COMMERCIAL
11101
6

NEIGHBORHOOD COMMERCIAL DISTRICT					<div>BUILDING AREA:</div> <div>1ST - 5TH FLOOR: FOOTPRINT = 3,446 SF LOT COVERAGE = 93%</div> <div>* = PRE-EXISTING NON-CONFORMING LOT CONDITION</div> <div>** BUILDING'S COMMERCIAL SPACE WILL NOT HAVE A LIQUOR LICENCE</div> <div>NOTE A - BICYCLE PARKING .5 BICYCLE SPACES PER RESIDENTIAL UNIT 8 REQUIRED INTERIOR</div> <div>NOTE B - ROOF APPURTENANCES COVERAGE CALCULATION:</div> <div>ROOF AREA = 3,446 SF ROOF COVERAGE = STAIR & ELEVATOR BULKHEADS =223 SF LOBBY + TOILET =437 SF ROOF MOUNTED MECHANICALS = 20 SF TOTAL=680 SF =19.7% LESS THAN 20% 19.7% LESS THAN 20%</div>
345-45 B(I)	PERMITTED USE	ORDINANCE	PROPOSED	VARIACE REQUIRED	
345-45 B(B)		RETAIL OFFICES	1 RETAIL UNIT**	NO	
345-45 E(2)	LOT AREA (MIN.)	RESIDENTIAL ABOVE GROUND FLOOR	16 RESIDENTIAL UNIT	NO	
345-45 E(3)	LOT WIDTH (MIN.)	2,500 SF	3,698 SF	NO	
345-45 E(4)	LOT DEPTH (MIN.)	87.71' ON NEWARK 121.52' ON FOURTH	25.00'	NO	
345-45 E(5)	FRONT YARD SETBACK	100.00'	84.23'	NO*	
345-45 E(6)	SIDE YARD SETBACK MIN.	NONE	0'-0" ON NEWARK 0'-0" ON FOURTH	NO	
345-45 E(7)	REAR YARD SETBACK MIN.	NONE	3'-1"	NO	
345-45 E(8)	BUILDING HEIGHT (MIN.)	15'-0" MIN.	N/A	YES	
345-45 E(9)	BUILDING HEIGHT (MAX.)	3 STORIES	5 STORIES, 55'-0" ABOVE BFF	NO	
345-45 E(9a)	MIN. FLOOR TO CEILING HGT. (ALL EXCEPT PARKING)	3 STORIES	9'-0"	NO	
345-45 E(9b)	MAX. FLOOR TO CEILING HGT. (ESIDENTIAL ONLY)	12'-0"	1ST FLOOR, 11'-0" (12'-0" FLR-TO-FLR) 2ND-4TH FLRS, 9'-8" (10'-8" FLR-TO-FLR) 2ND-5TH FLRS, 10'-0" (11'-0" FLR-TO-FLR)	NO	
345-45 F(1)	OFF-STREET PARKING	NOT PERMITTED ON NEWARK AVE. 0 REQUIRED LESS THAN 5 SPACES	0 OFF-STREET PARKING PROVIDED	NO	
345-45 F(2)					
345-45 F(2c)	PARKING SPACES (MIN.)	0	0	NO	
345-45 F(2g)					
345-60 G(2)	ROOF APPURTENANCES	SETBACK FROM FACADE BY 1'-1"	9'-1.5" SETBACK FROM 4TH ST 22'-6" SETBACK FROM NEWARK AVE	NO	
345-60 G(4)		20% MAX (SEE NOTE B)	19.6%	NO	
345-70 C	BICYCLE PARKING (MIN.)	0 (SEE NOTE A)	8	NO	

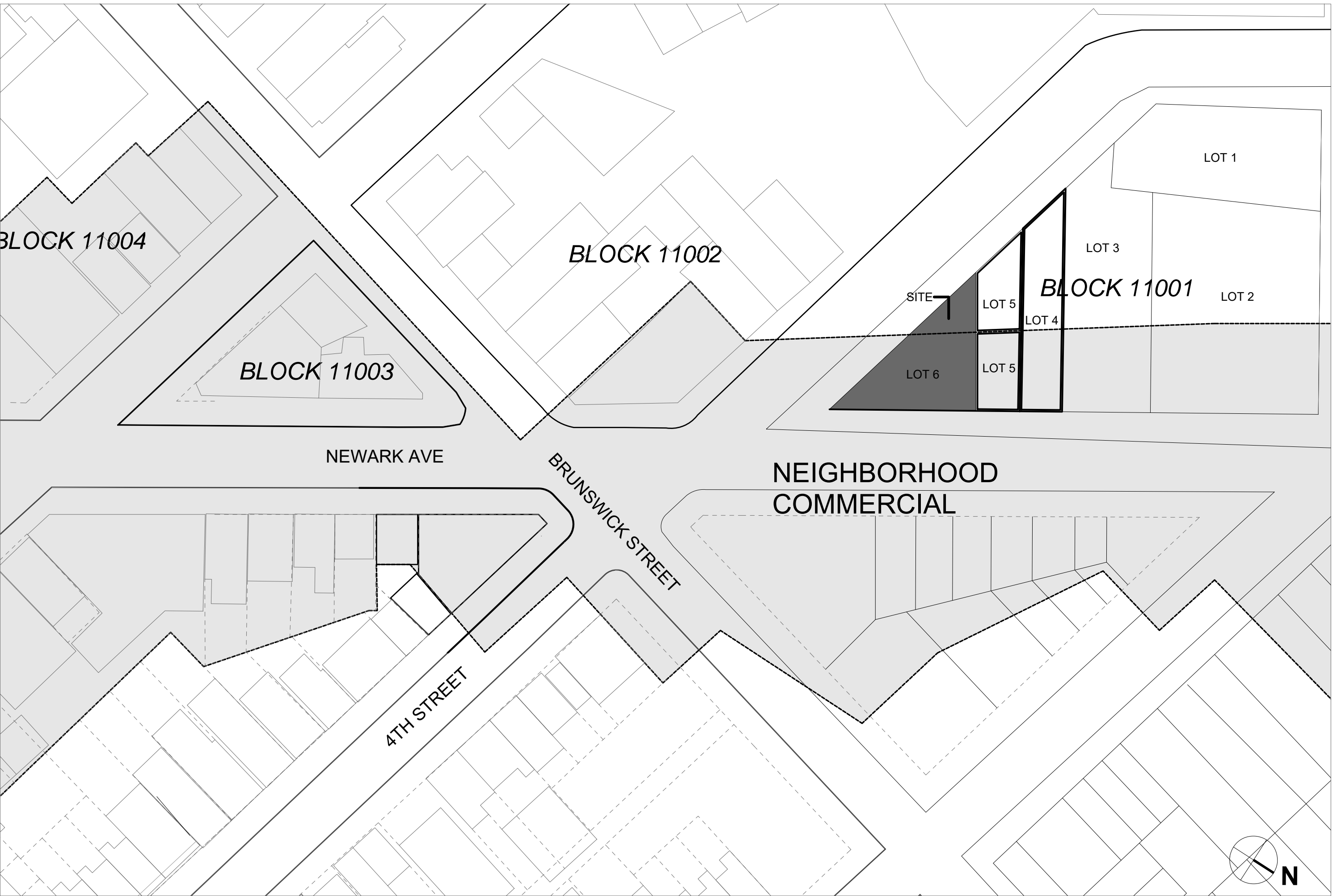
*THIS PROPERTY SITES WITHIN THE AE FLOOD ZONE. ALL MATERIALS BELOW BFE 11.0' SHALL BE MOLD RESISTANT (WET FLOOD PROOFING)

PROPOSED UNIT DISTRIBUTION

LEVEL:	STUDIO	1BED ROOM	2BED ROOM	TOTAL
LEVEL 1	0	0	0	0
LEVEL 2	0	3	1	4
LEVEL 3	0	3	1	4
LEVEL 4	0	3	1	4
LEVEL 5	0	3	1	4
SUB TOTAL	0	12	4	
	TOTAL UNITS			16

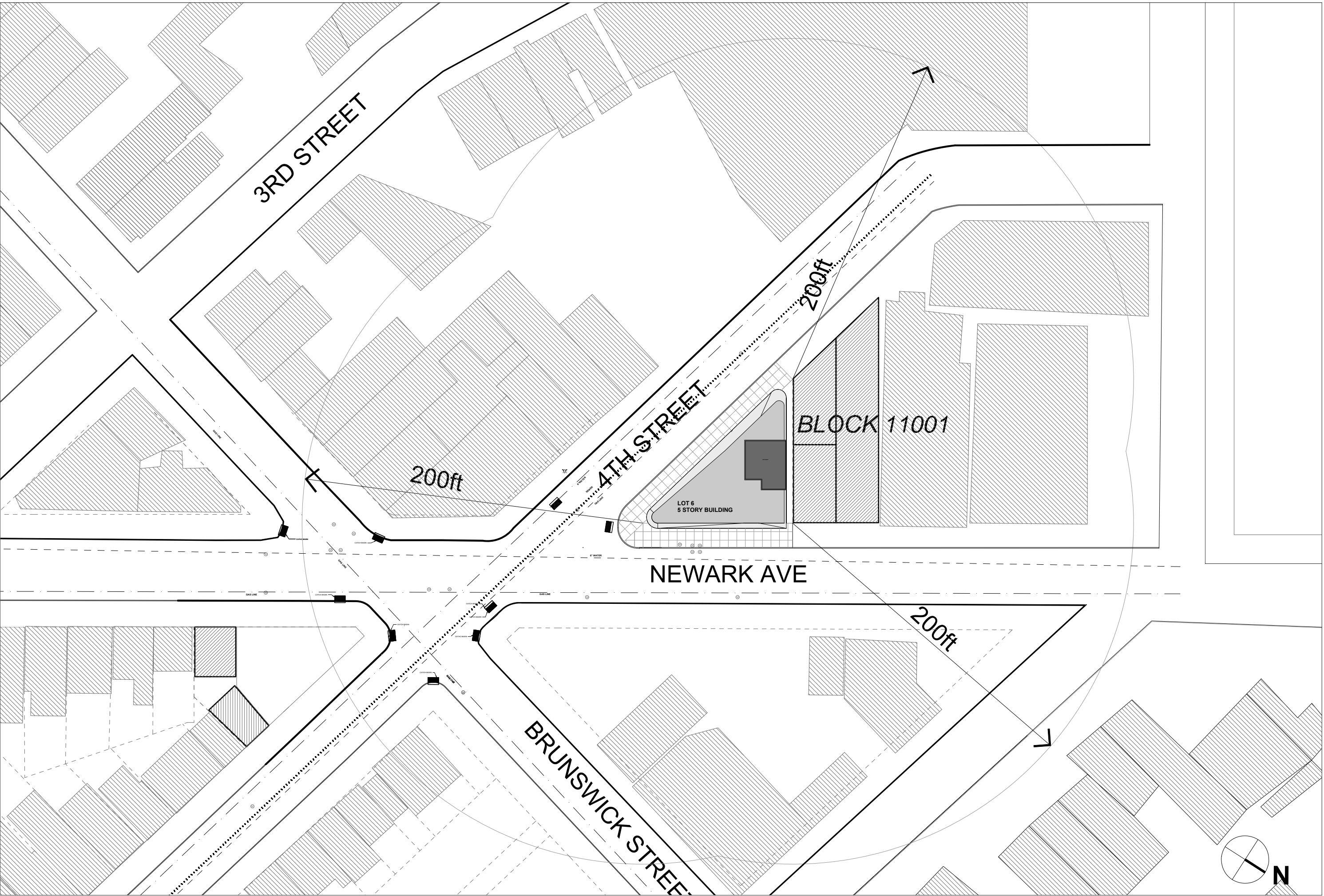
PROPOSED USE AND AREA DISTRIBUTION

LEVEL:	USE	GROSS FLOOR AREA	RESIDENTIAL SELLABLE FLOOR AREA	COMMERCIAL FLOOR AREA	NON-SELLABLE FLOOR AREA
LEVEL 1	RETAIL OR RESTAURANT USE LOBBY, BIKE ROOM	3,269SF	0 SF	1,976 SF	1293 SF
LEVEL 2	4 APARTMENTS	3,637 SF	3,005 SF	0 SF	632 SF
LEVEL 3	4 APARTMENTS	3,875 SF	3,243 SF	0 SF	632 SF
LEVEL 4	4 APARTMENTS	3,637 SF	3,005 SF	0 SF	632 SF
LEVEL 5	4 APARTMENTS	3,875 SF	3,243 SF	0 SF	632 SF
TOTAL	16 APARTMENTS 10 BIKE SPACES	18,293 SF	12,496 SF	1,976 SF	3,821SF



ZONING MAP

SCALE: 1" = 50'-0"



PROPERTYIES WITHIN 200'

SCALE: 1" = 50'-0"

PROJECT NAME:

JC325

OWNER NAME:
BGT Enterprises
189 BRUNSWICK STREET,
JERSEY CITY NJ 07302
T: 201-656-7200



PROJECT ADDRESS:

325 NEWARK AVE
JERSEY CITY
HUDSON COUNTY, NEW JERSEY 07302

ARCHITECT OF RECORD:

MURAT MUTLU, AIA

225 West 36th Street #506, New York NY 10018
T: 212 564 0094

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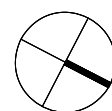
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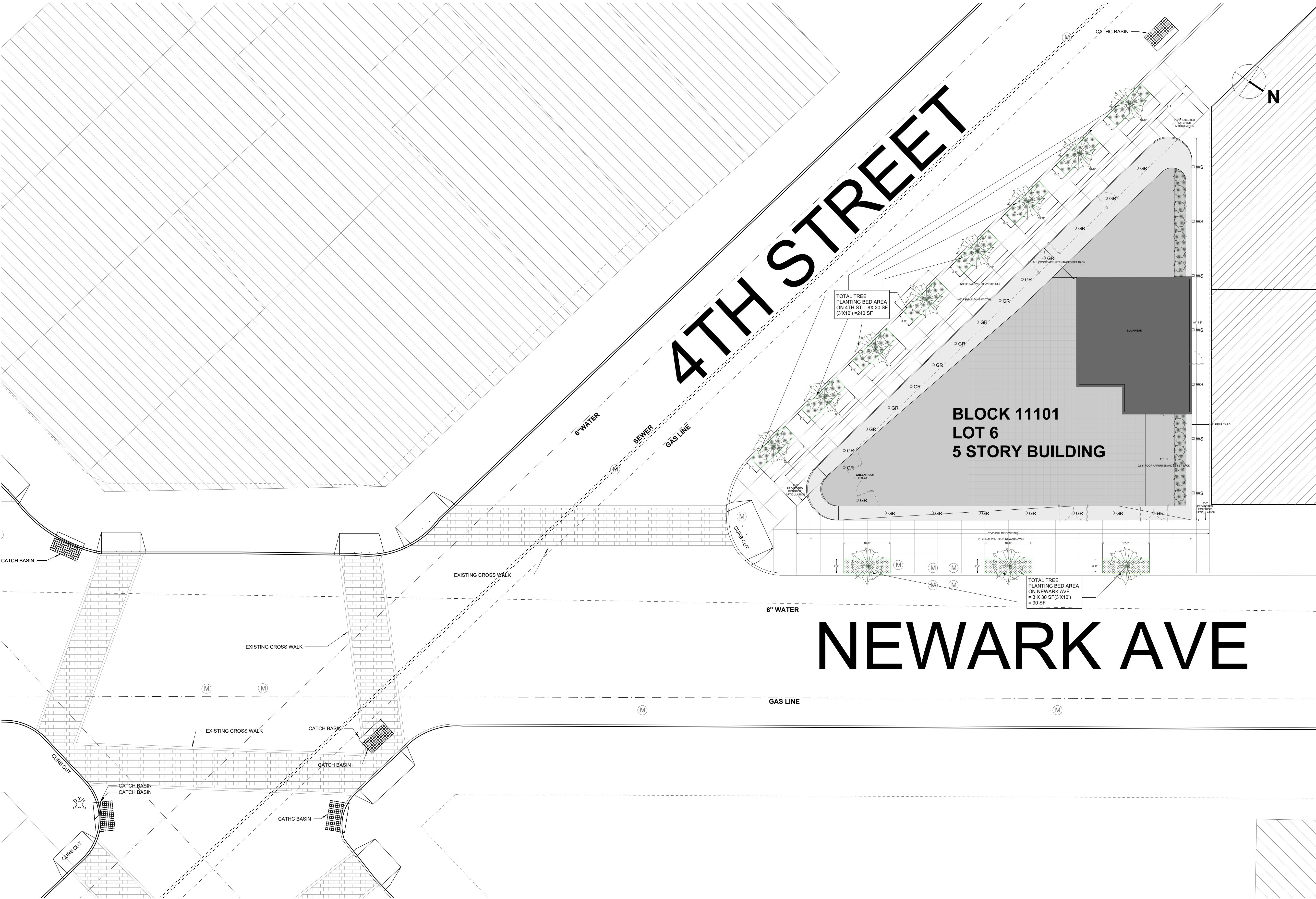


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SITE PLAN

LANDSCAPING SCHEDULE


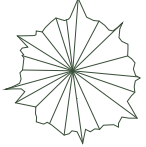





DESCRIPTION	LOCATION	COMMON OR BOTANICAL NAME	SIZE	NUMBER	ID
STREET TREE	SIDEWALK	HONEY LOCUST	35' <	11	T1
BIOSWALE	SIDEWALK	CAREX STIPATA	N/A	N/A	P1

*NOTEN: MAINTENANCE SCHEDULE OF ALL LANDSCAPING SHALL BE PROVIDED BY THE OWNER

SITE LIGHTING SCHEDULE

DESCRIPTION	LOCATION	LIGHTING NAME	SIZE	QUANTITY	MANUFACTOR	MODEL NUMBER
SITE LIGHTING	SIDEWALK	GR - INGROUND RECESSED ROUNG LIGHTING FIXTURE	6 1/8" Dia x 3 1/8 Dep	24	BEGA	77 812
	FACADE	WS-WALL SURFACE MOUNTING	8 1/2" Wx4 3/8" Lx4"D	7	BEGA	22 359

KEY

-  TREE PIT
-  STREET TREE:
-  CONCRETE SIDEWALK JOINT LINES
-  HYDRANT
-  MANHOLE
-  EXISTING BUILDING
-  NEW BUILDING

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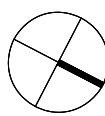
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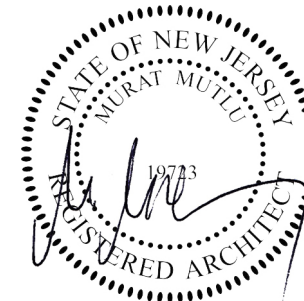


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EXISTING BUILDINGS SHALL BE DEMOLISHED BY THE OWNER AND LOT SHALL BE VACANT PRIOR TO THE PROPOSED NEW BUILDING DEVELOPMENT. CONTRACTOR SHALL HIRE DEMOLITION AND SITE SAFETY ENGINEER TO SAFELY DEMOLISH EXISTING STRUCTURES WITHOUT INTERFERENCE WITH THE PUBLIC RIGHT OF WAY AND ADJACENT PROPERTIES

4TH STREET

EXISTING ONE STORY MASONRY GARAGE

EXISTING ONE STORY BRICK

EXISTING BUILDING THREE STORY FRAME

LOT 5
4 STORY
MANSORY

LOT #35
3 STORY
FRAME BUILDING

LOT 5
4 STORY
MANSORY

EXISTING CONDITIONS PLAN

4TH STREET

BIOSWALE

RETAIL
1075 SF

LOBBY

UTILITY RM

RESTROOM

PACKAGE LOCKER

PACKAGE RM

STAR A

STAR B

ELEVATOR

MAIL

REFUSE ROOM

BIKE ROOM

LOT 5
4 STORY
MANSORY

LOT #35
3 STORY
FRAME BUILDING

LOT 5
4 STORY
MANSORY

REFUSE REMOVAL STRATEGY:
- RESIDENTS WILL STORE THEIR REFUSE INSIDE THE REFUSE ROOM ON THE FIRST FLOOR.
- BUILDING MAINTENANCE STAFF WILL TAKE OUT THE TRASH TO SIDEWALK AT THE TIME TRASH COLLECTION

LEVEL 1

*ALL GROUND FLOOR SPACES SHALL BE PROTECTED BY DRY-FLOODING PROOFING PROTECTION METHODS TO THE DESIGN FLOOD ELEVATION. OWNER SHALL STORE FLOOD GATES ON SITE OR OFF SITE AS REQUIRED BY ASCE, FEMA AND NJ DEP GUIDELINES AND ANY OTHER APPLICABLE BUILDING CODES

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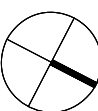
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LEVEL 1, LEVEL 2,
and LEVEL 4 PLANS

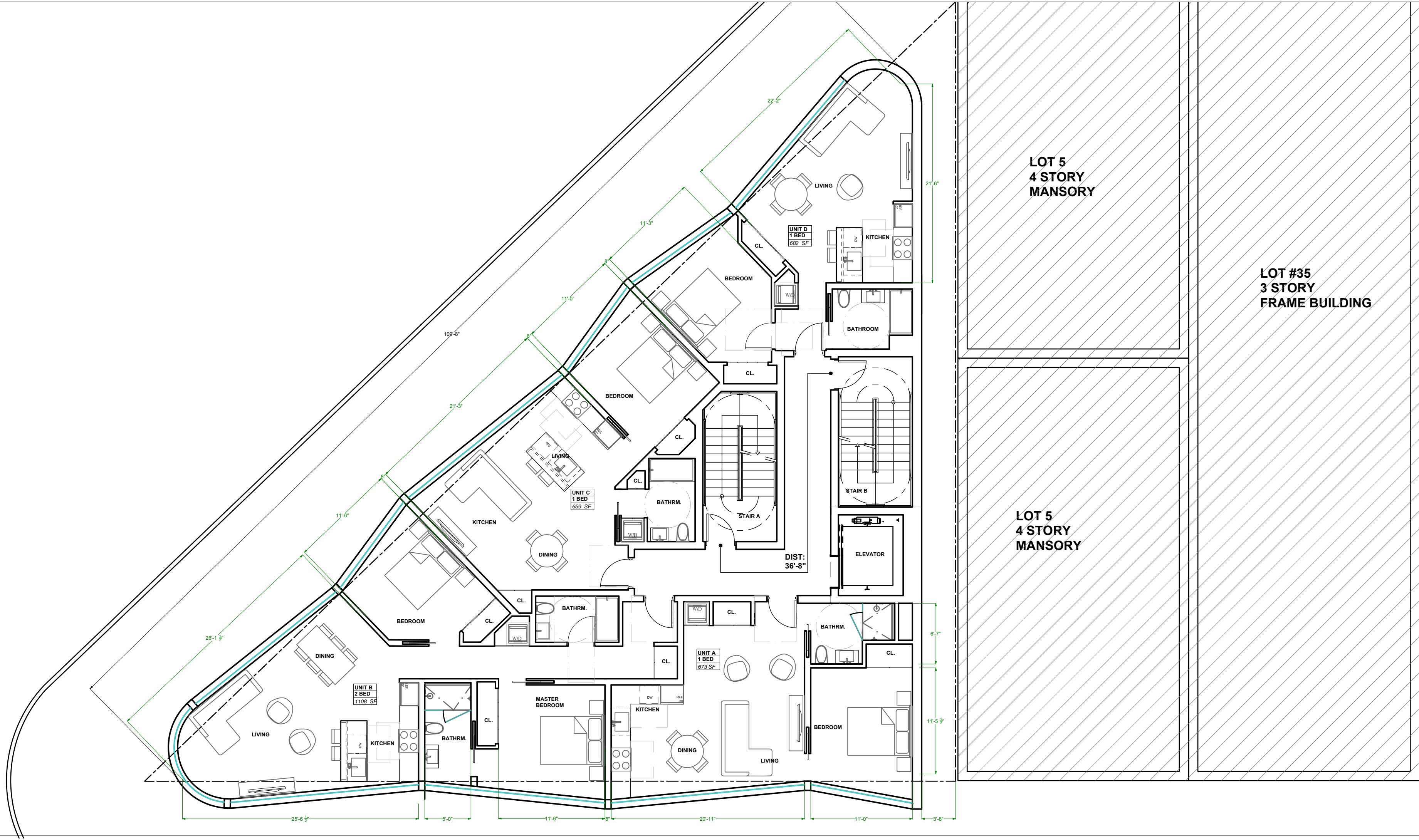
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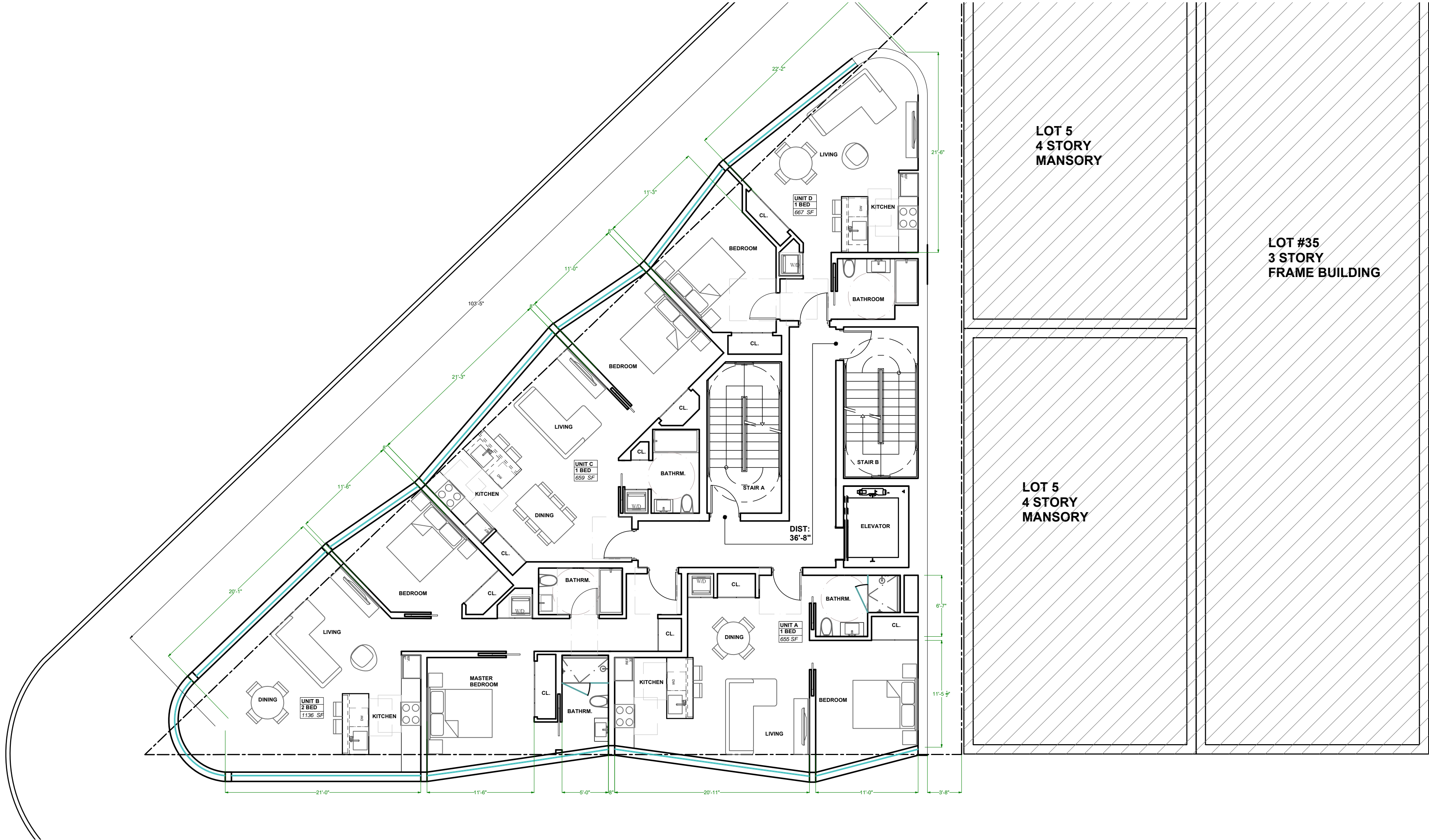
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LEVEL 2 AND LEVEL 41



LEVEL 3 & 52

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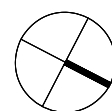
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LEVEL 3, LEVEL 5 and ROOF

SEAL & SIGNATURE:



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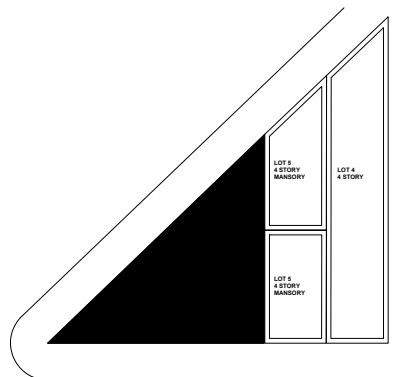
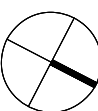
JC325



BGT
ENTERPRISES

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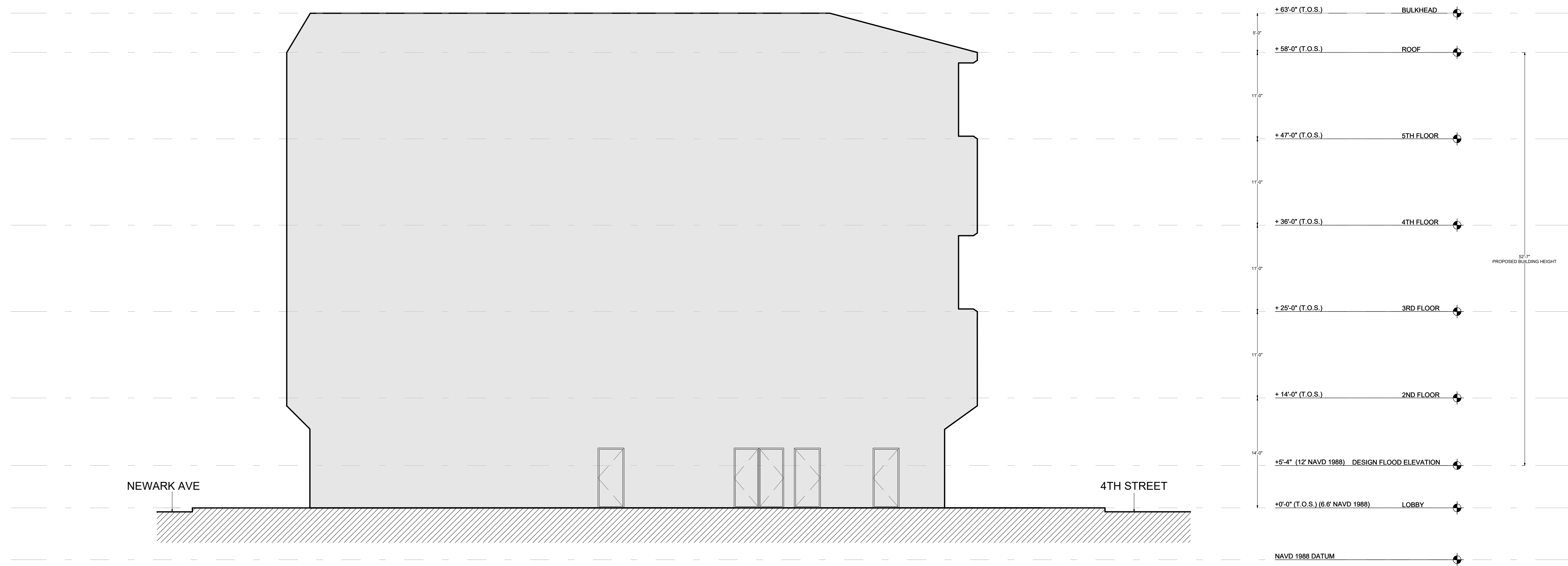
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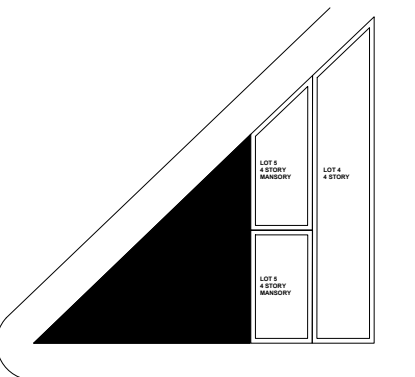
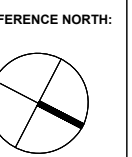
SCALE: 1/8" = 1'

NORTH-EAST ELEVATION

1

[illegible]

KEY PLAN:



APPROVAL:

DWG TITLE:

ELEVATIONS

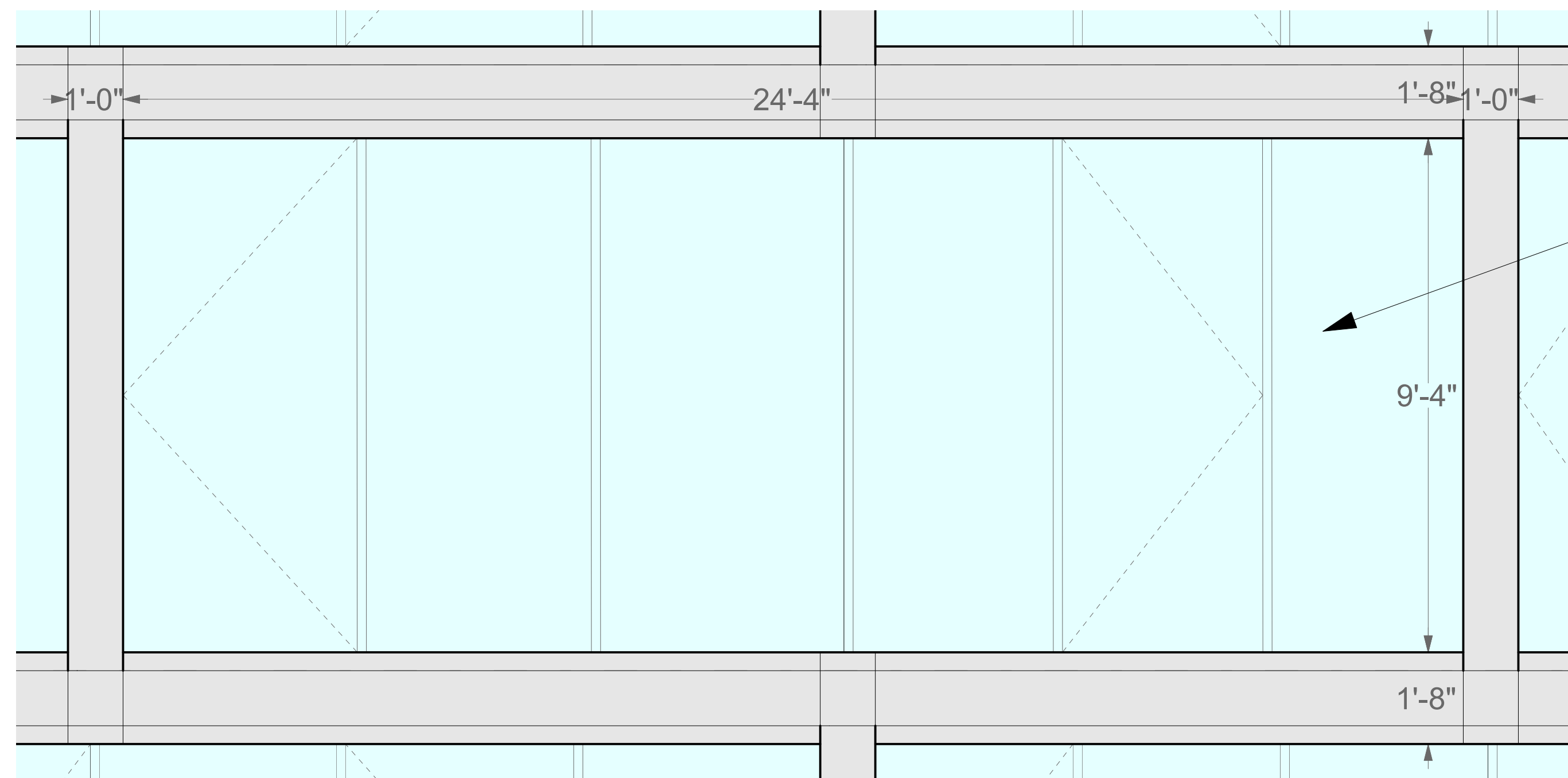
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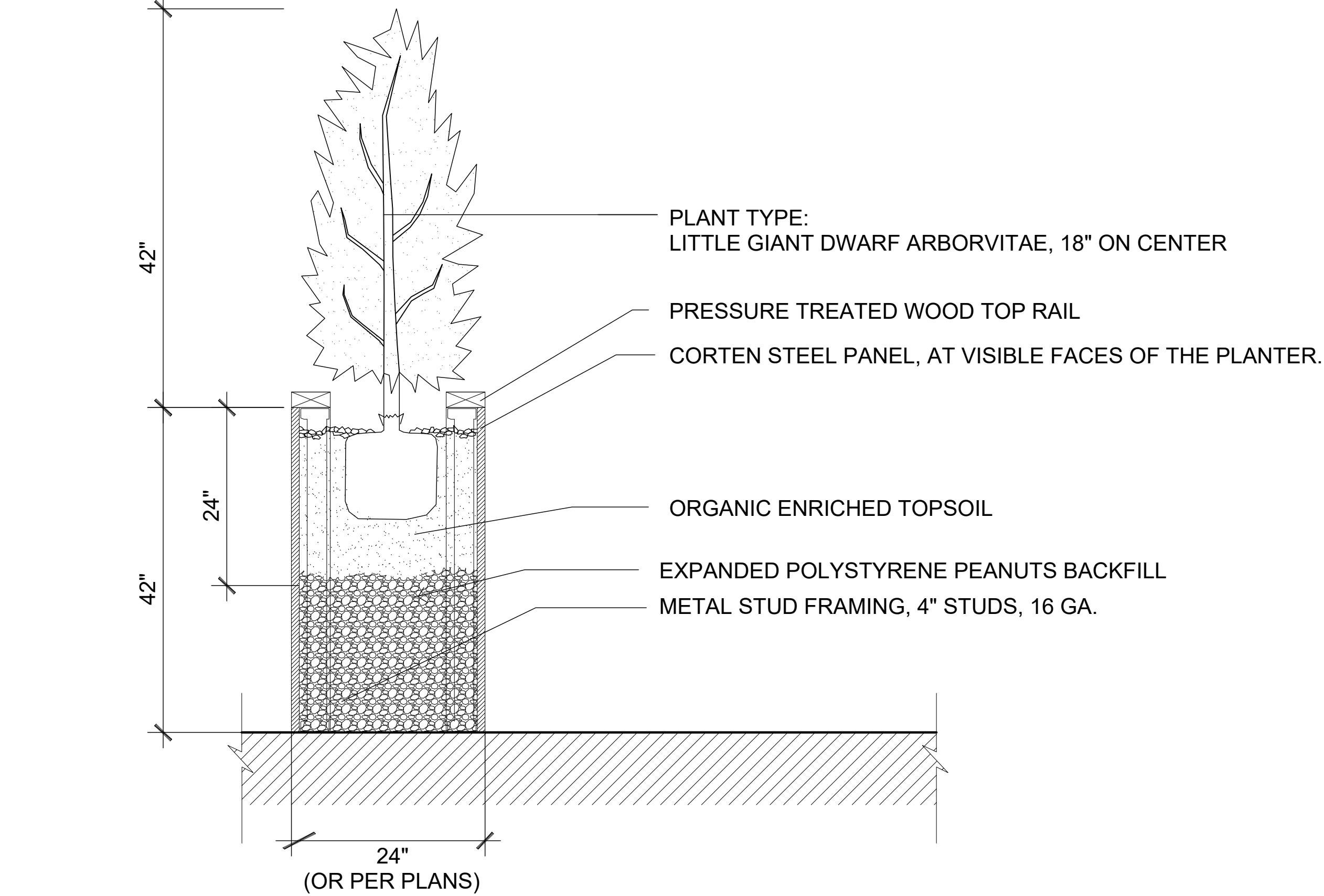


ALUMINUM FRAMED
WINDOW WALL SYSTEM
WITH INSULATED CLEAR
GLASS UNITS. TYPICAL

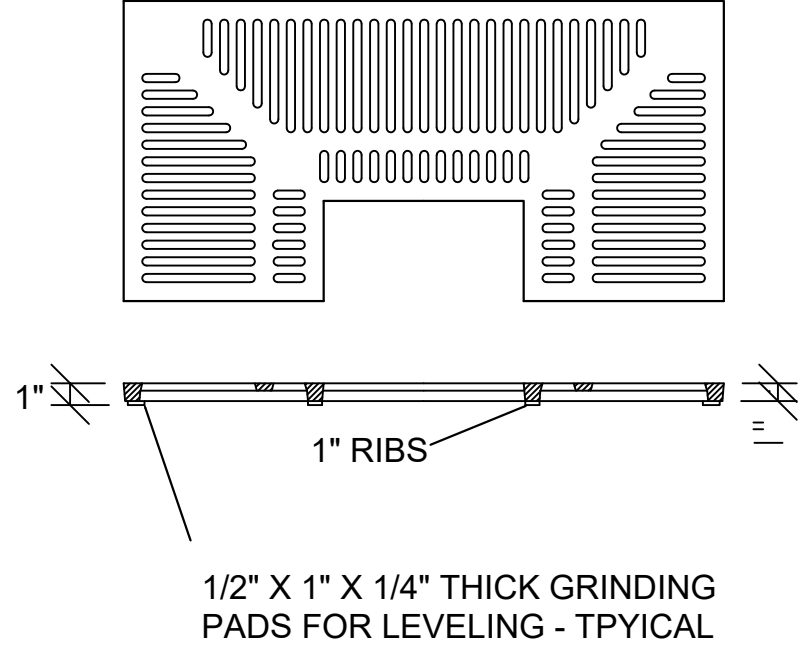
SCALE: 1/2" = 1'

ENLARGED WINDOW VIEW ELEVATION

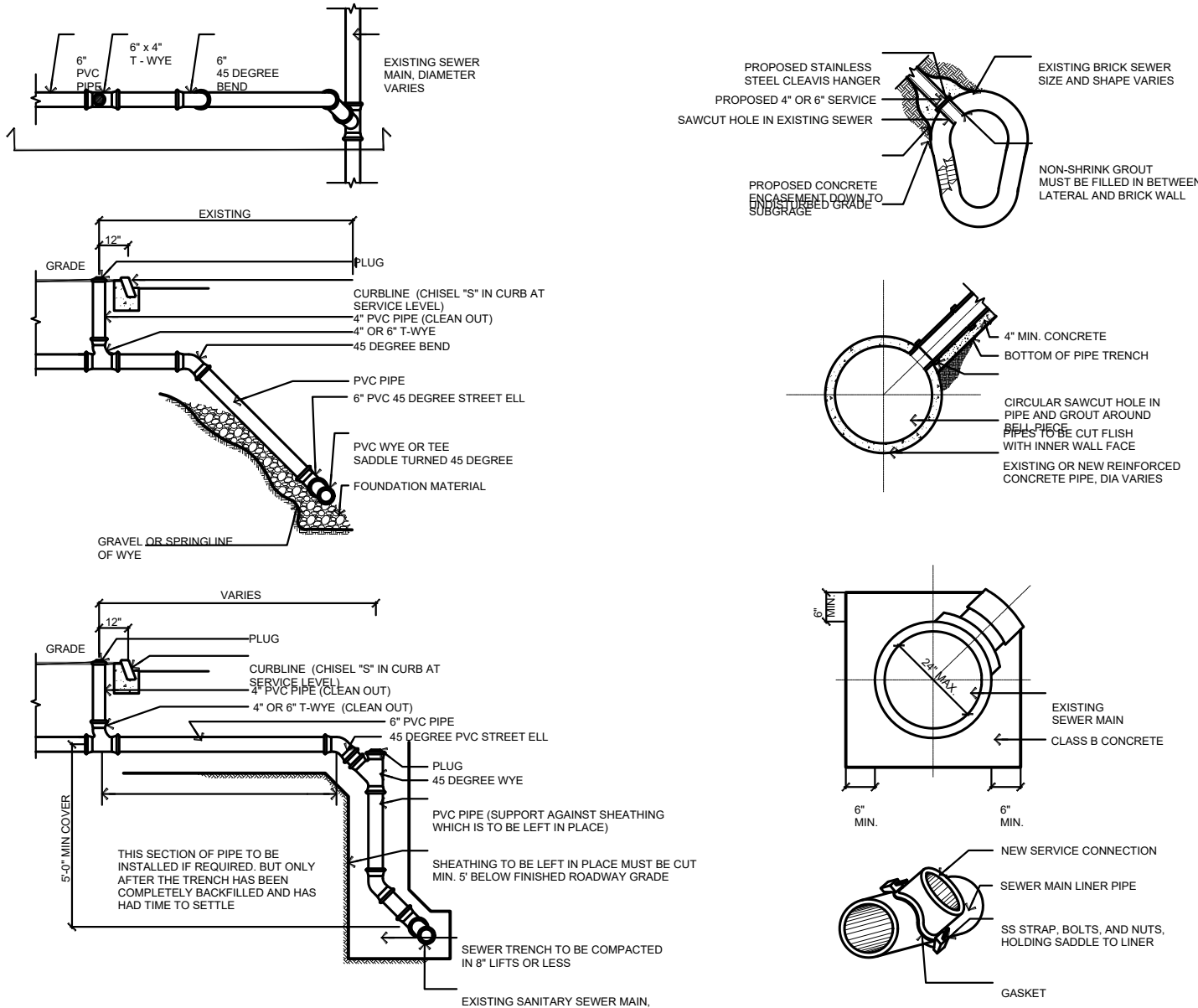
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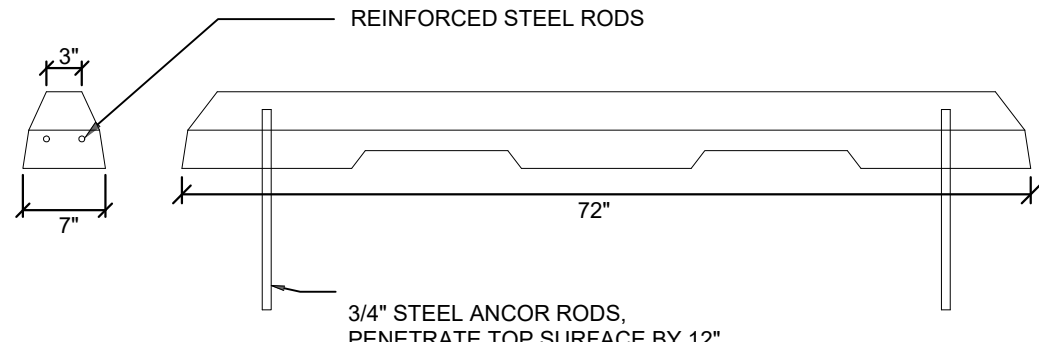
NOTES:
- SLOT WIDTH: 1/2" MAX
- GRATE MATERIAL: CAST GRAY IRON.
- TREE OPENING SIZE: 20"
- STEEL ANGLE FRAME REQUIRED



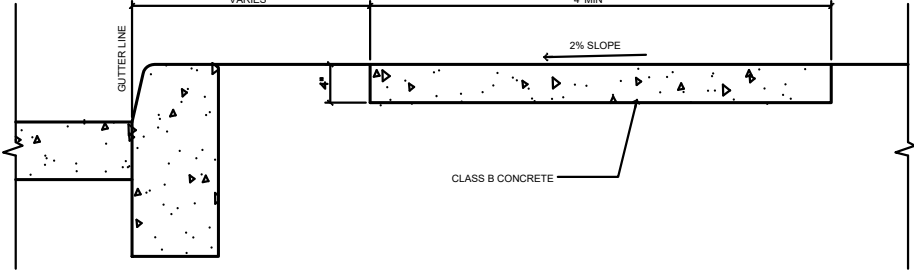
TREE DETAILS



SEWER DETAIL

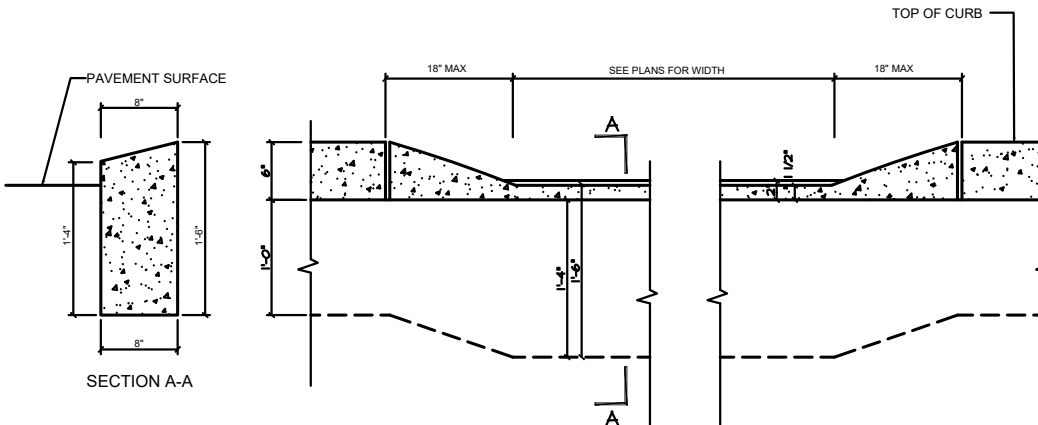


CAR BUMPER DETAIL

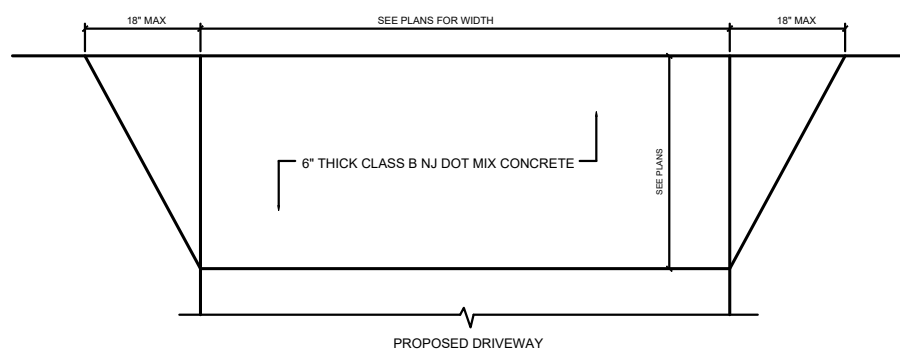


NOTES:
1. REINFORCED 4" THICK CONCRETE SIDEWALK SHALL BE USED AROUND CURB RETURNS FOR DRIVEWAY APRONS
2. PROVIDE CONTROL JOINTS ON SIDEWALK EVERY 12' INTERVALS, USE PREFORMED BITUMINOUS FIBER JOINTS
3. PROVIDE 1/2" THICK EXPANSION JOINTS AT MAX 12' INTERVALS, USE PREFORMED BITUMINOUS FIBER JOINTS
4. AN ENTRAINED AGGREGATE CLASS B CONCRETE SHALL BE USED FOR CURB AND SIDEWALK

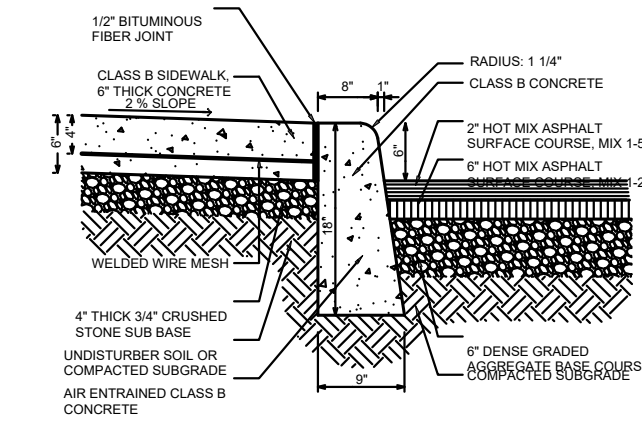
SIDEWALK SECTION



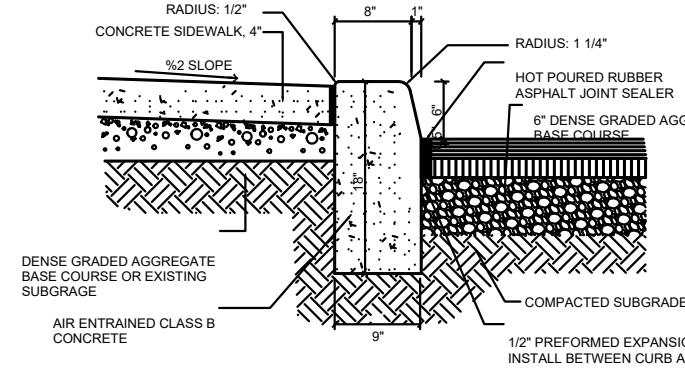
DRIVEWAY CURB CUT SECTION



DRIVEWAY CURB CUT PLAN



6" THICK CONCRETE SIDEWALK

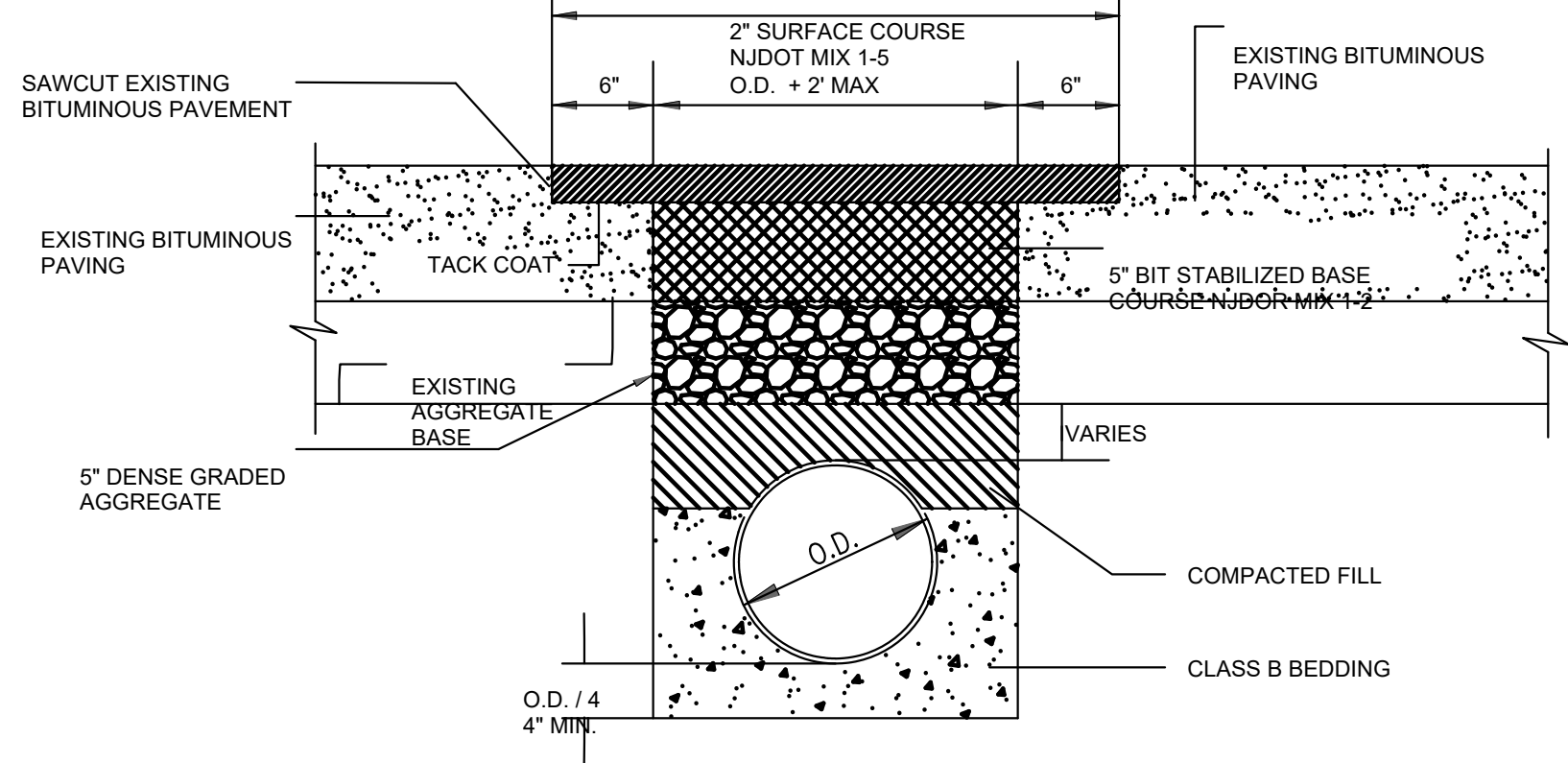


CONCRETE CURB SECTION

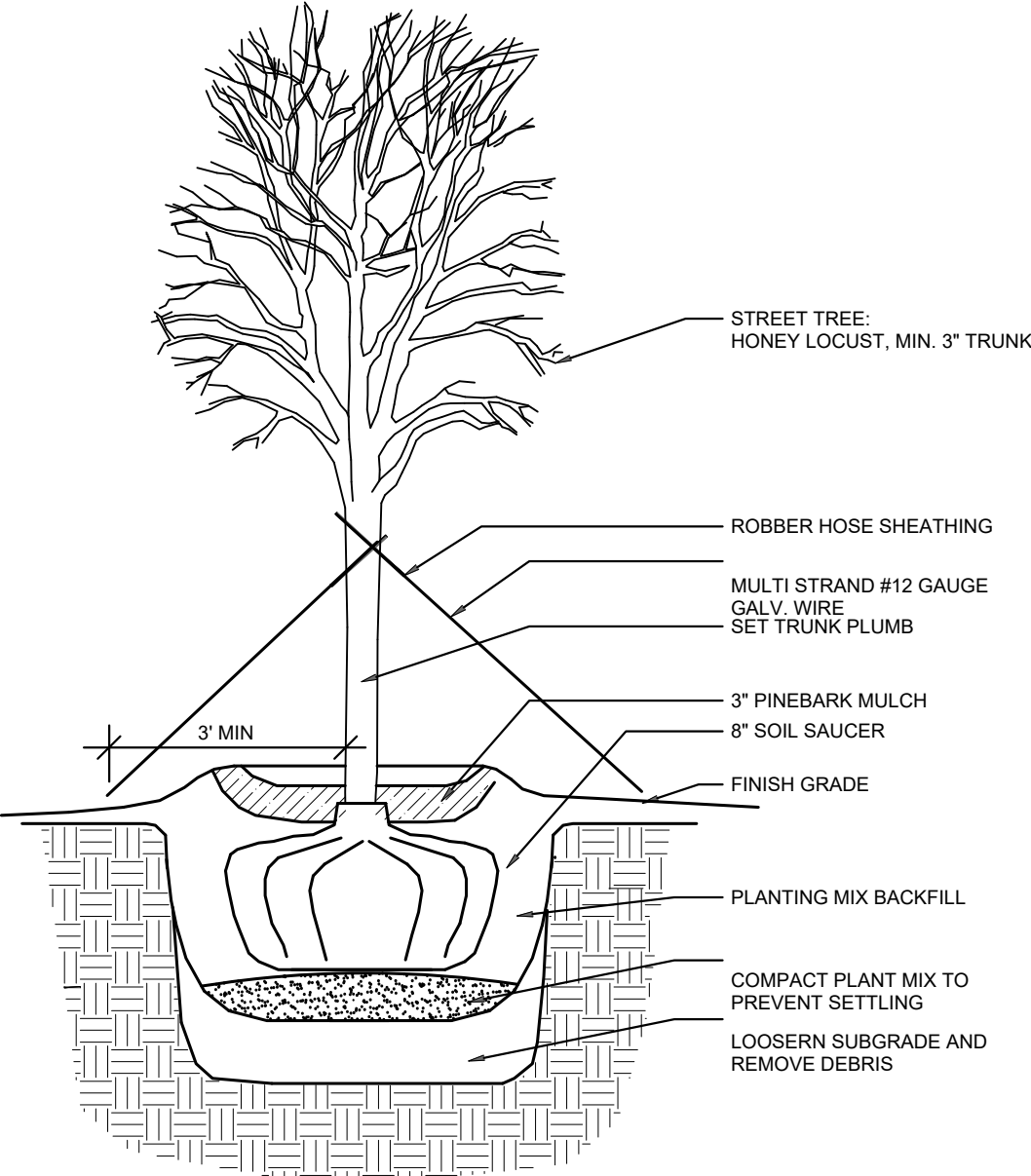
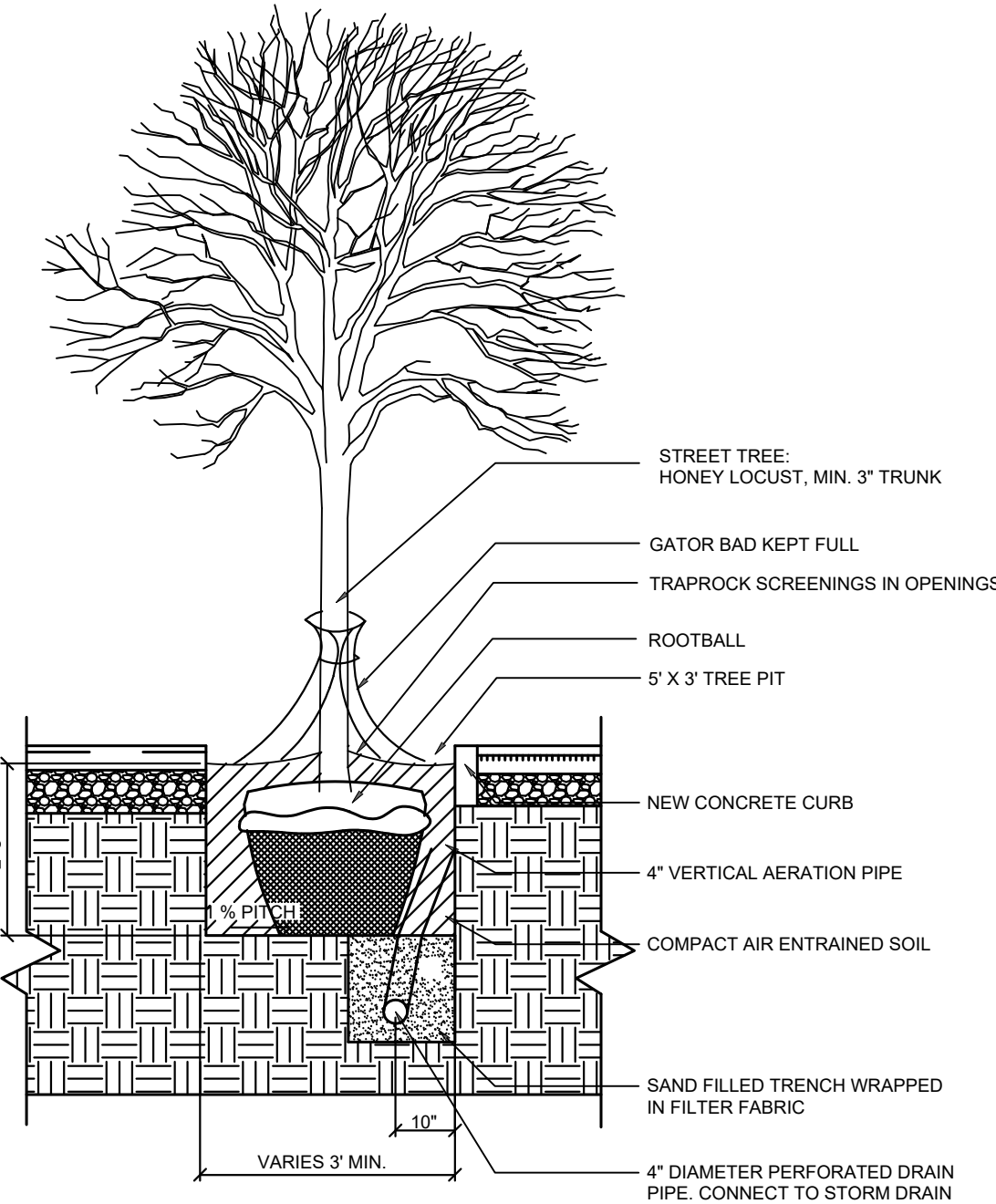
TREE DETAILS

GR - INGROUND RECESSED ROUND LIGHTING FIXTURE
RECESSED IN WALL AT COMMERCIAL STOREFRONT ENTRANCE AND SIDE WALK ON NEWARK AVENUE AND 4TH STREET.
PRODUCT: BEGA 77812

SITE LIGHTING DETAILS

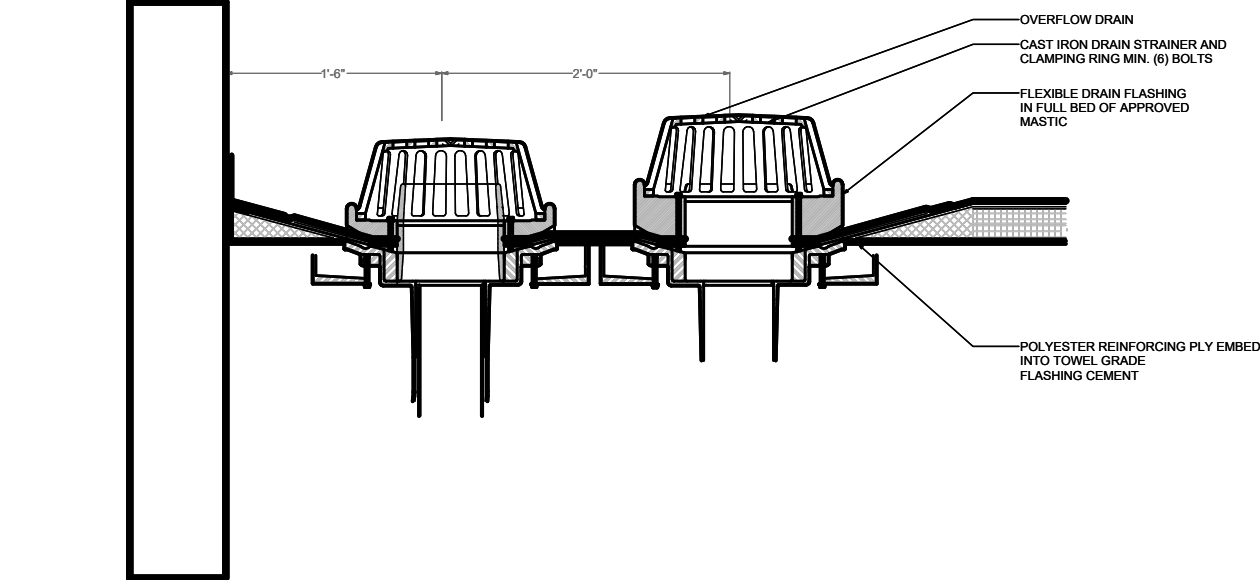


PAVEMENT OPENING



TREE DETAILS

ROOF DRAIN SECTION



PROJECT NAME:

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Tel: 607-262-0368
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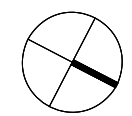
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PROJECT NAME:

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CURB AND SIDEWALK
DETAILS

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NO.	REVISIONS	DATE
1	Extensive Changes Made	7/09

CITY OF JERSEY CITY
STANDARDS

NO.	REVISIONS	DATE

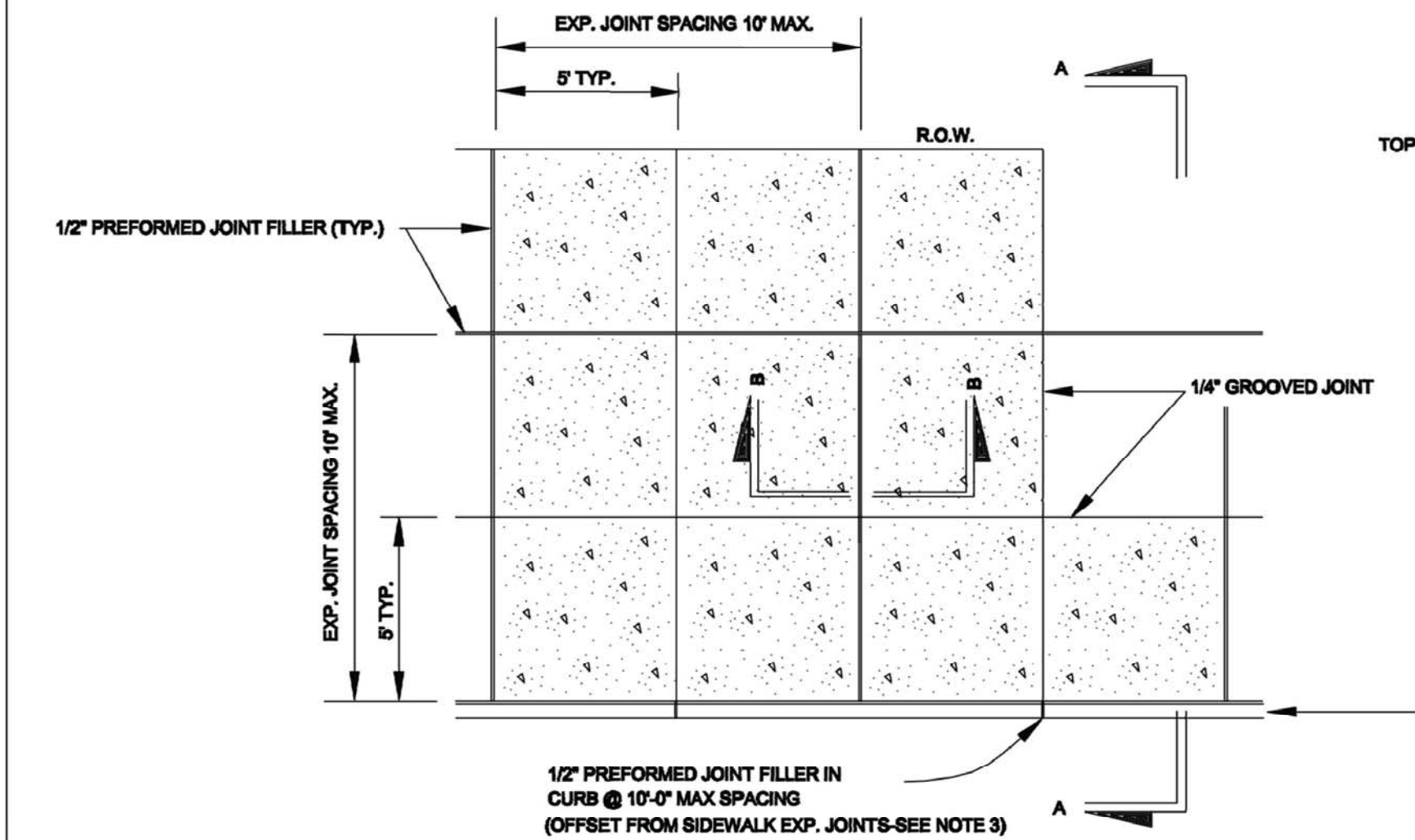
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Director
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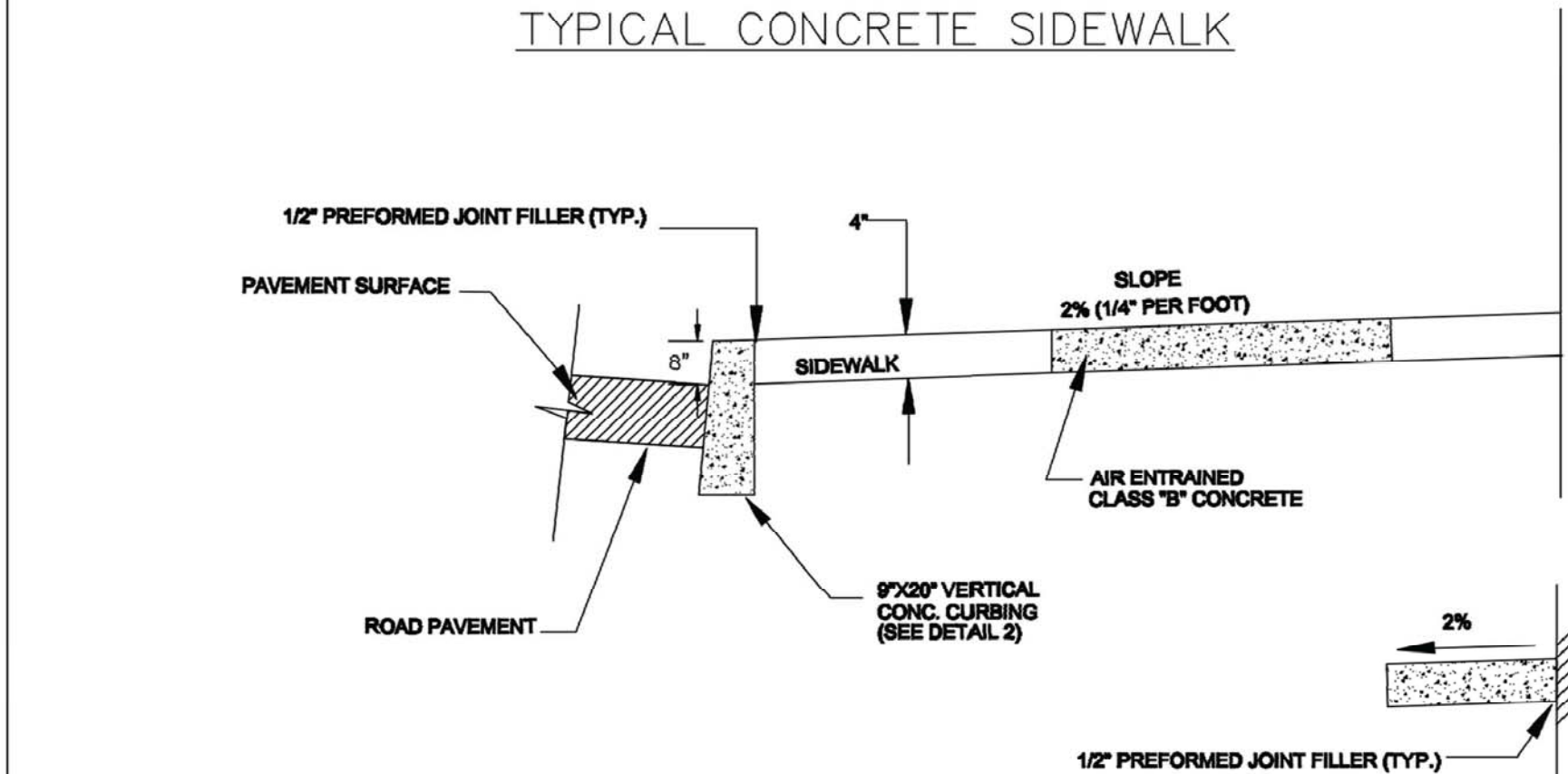
Construction Standards
Curb and Sidewalk

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PROJECT NO.	CADD FILE	SCALE

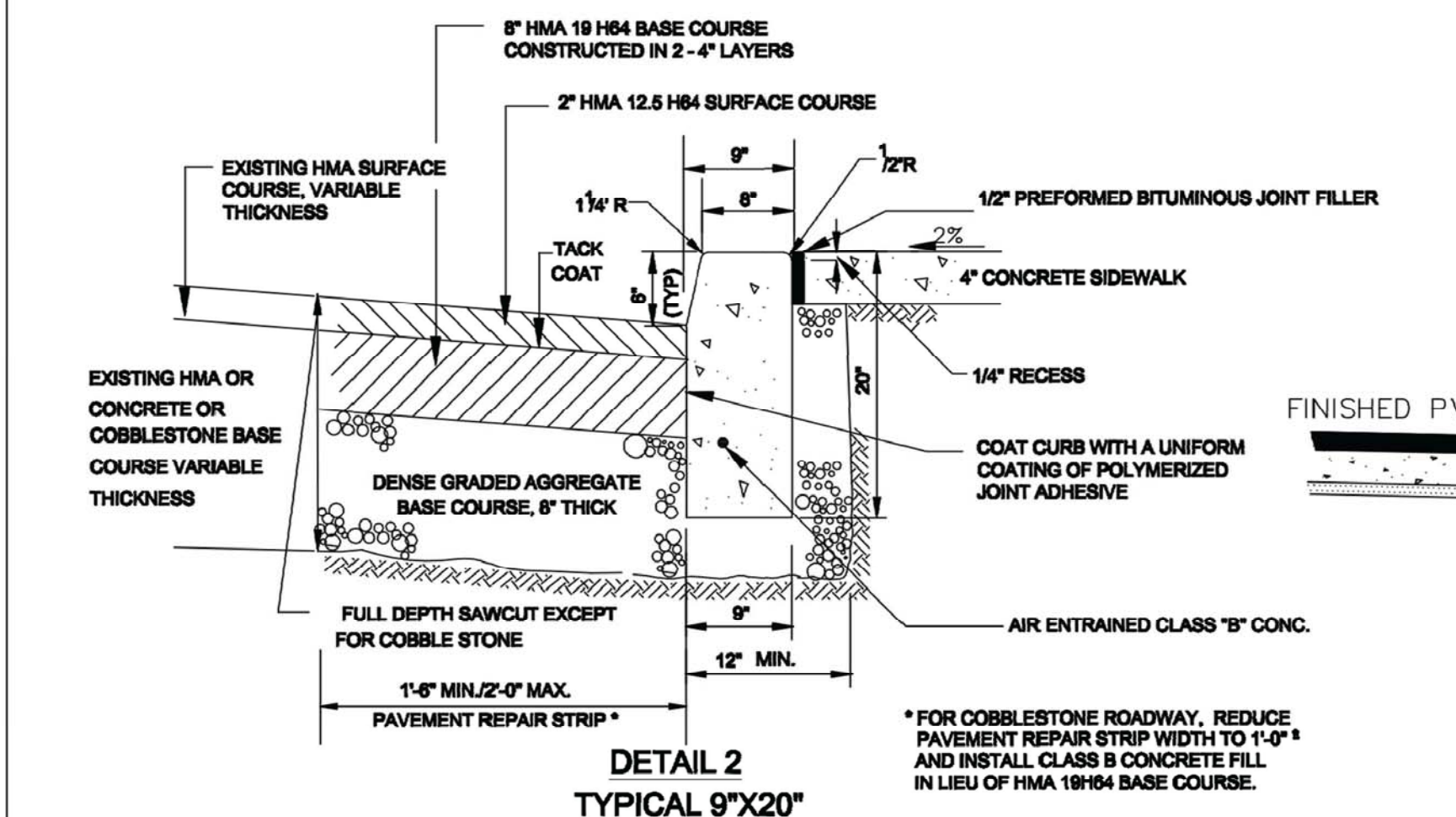
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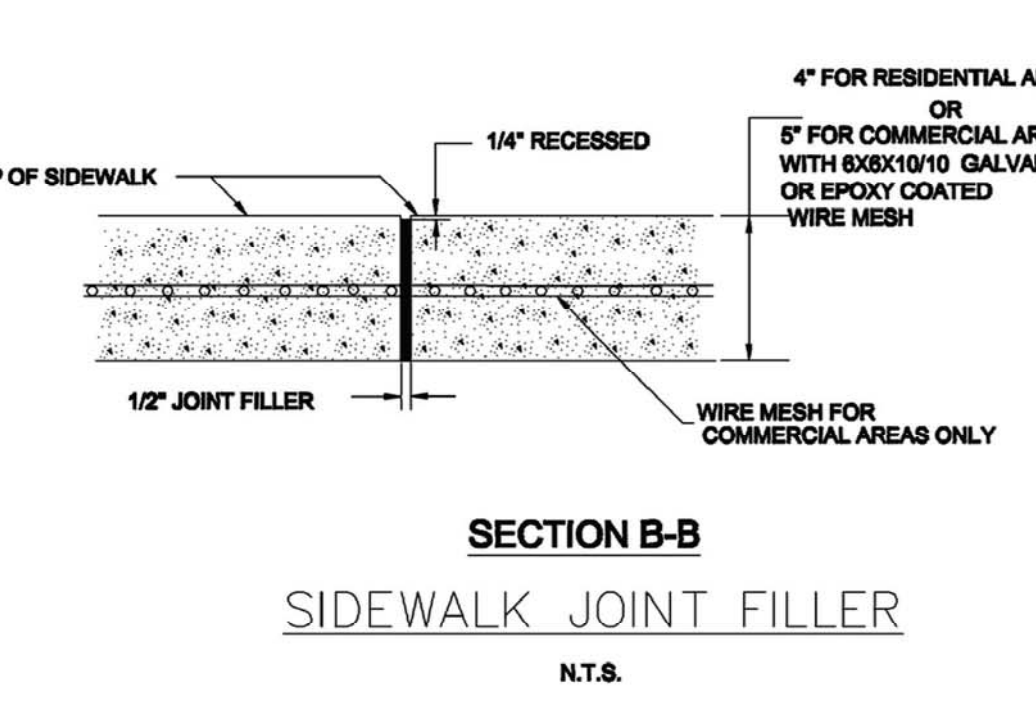
PLAN
TYPICAL CONCRETE SIDEWALK



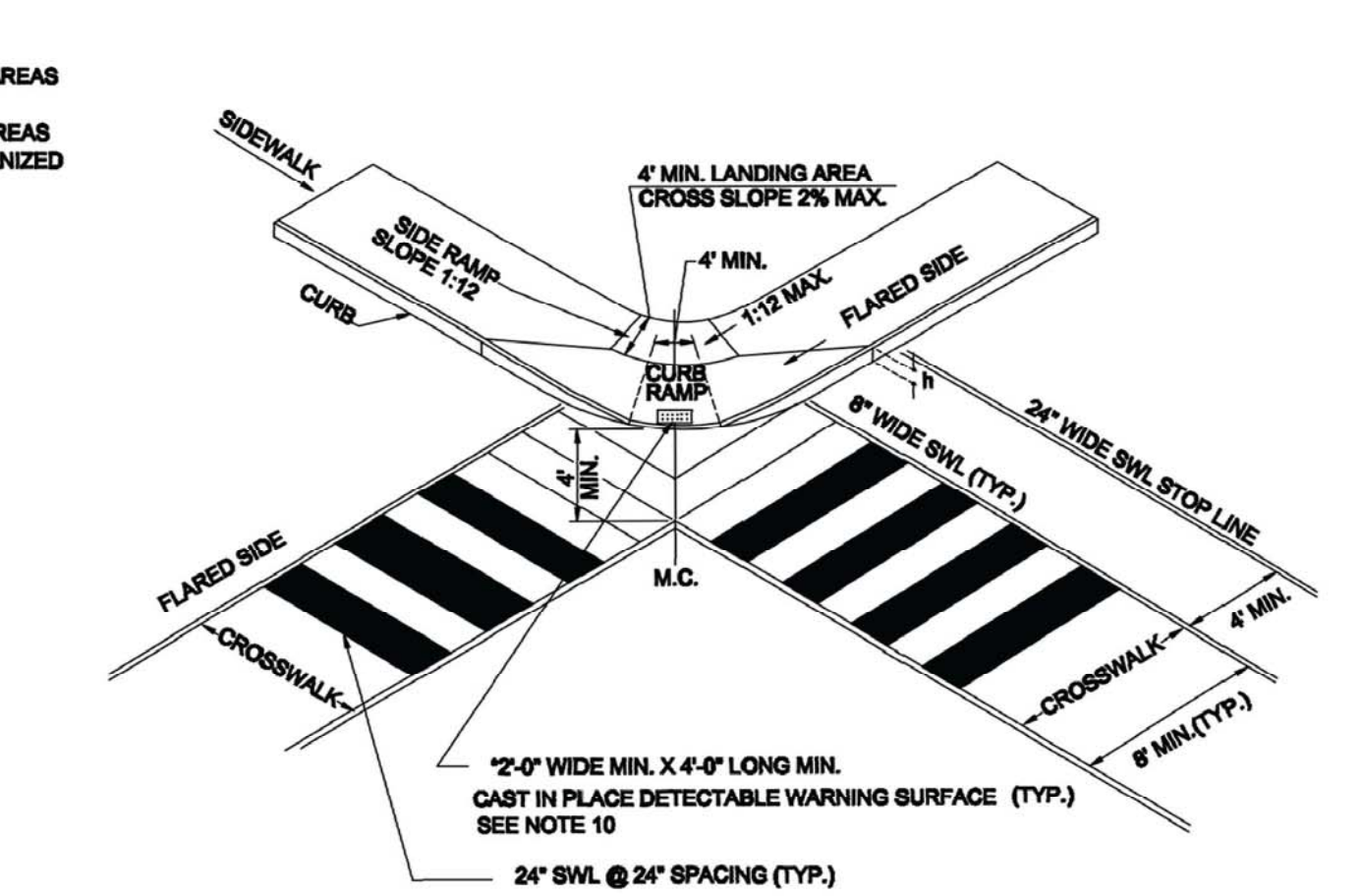
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N.T.S.



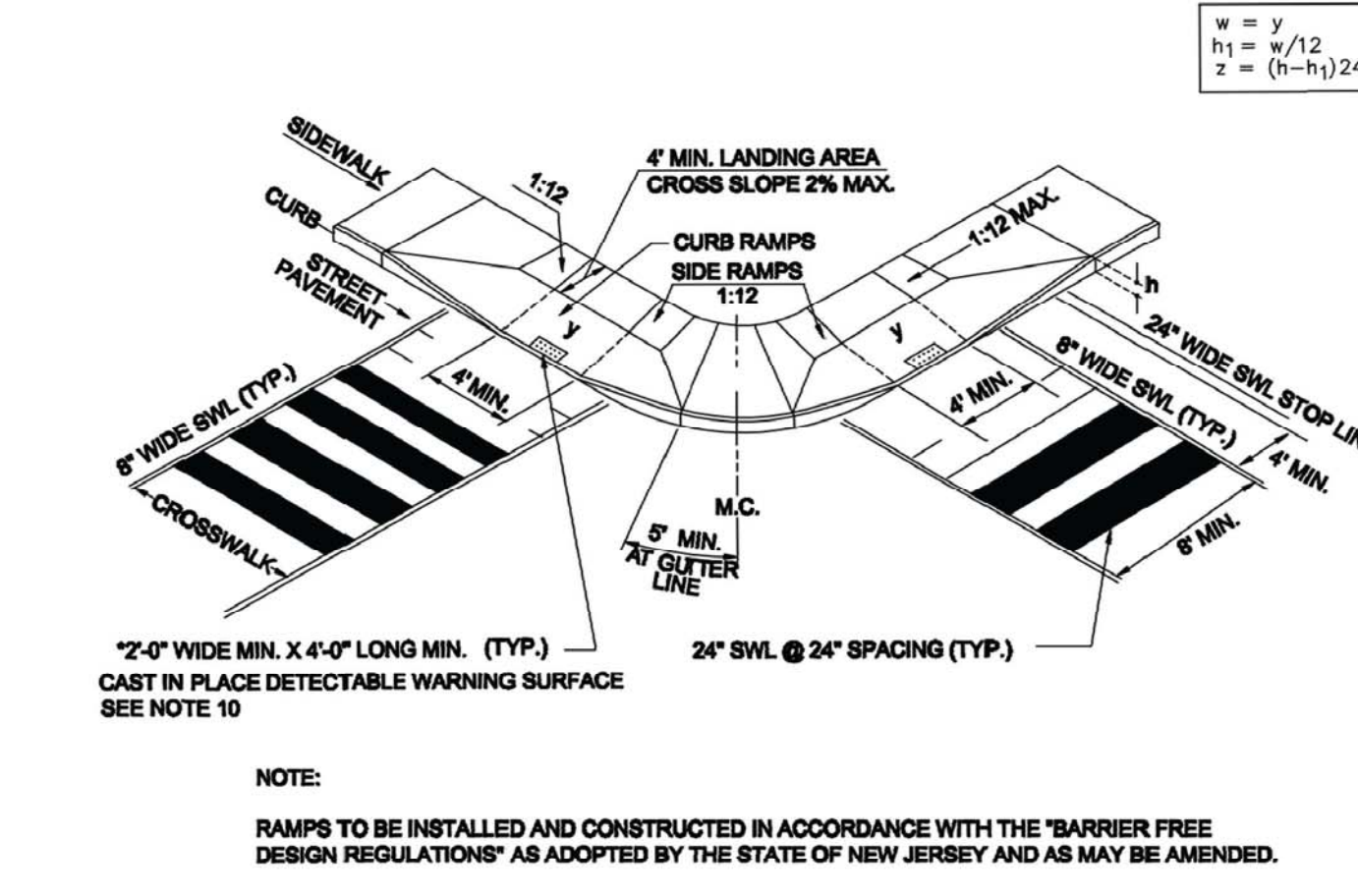
DETAIL 2
TYPICAL 9"x20"
VERTICAL CONCRETE
CURBING/PAVEMENT REPAIR
N.T.S.



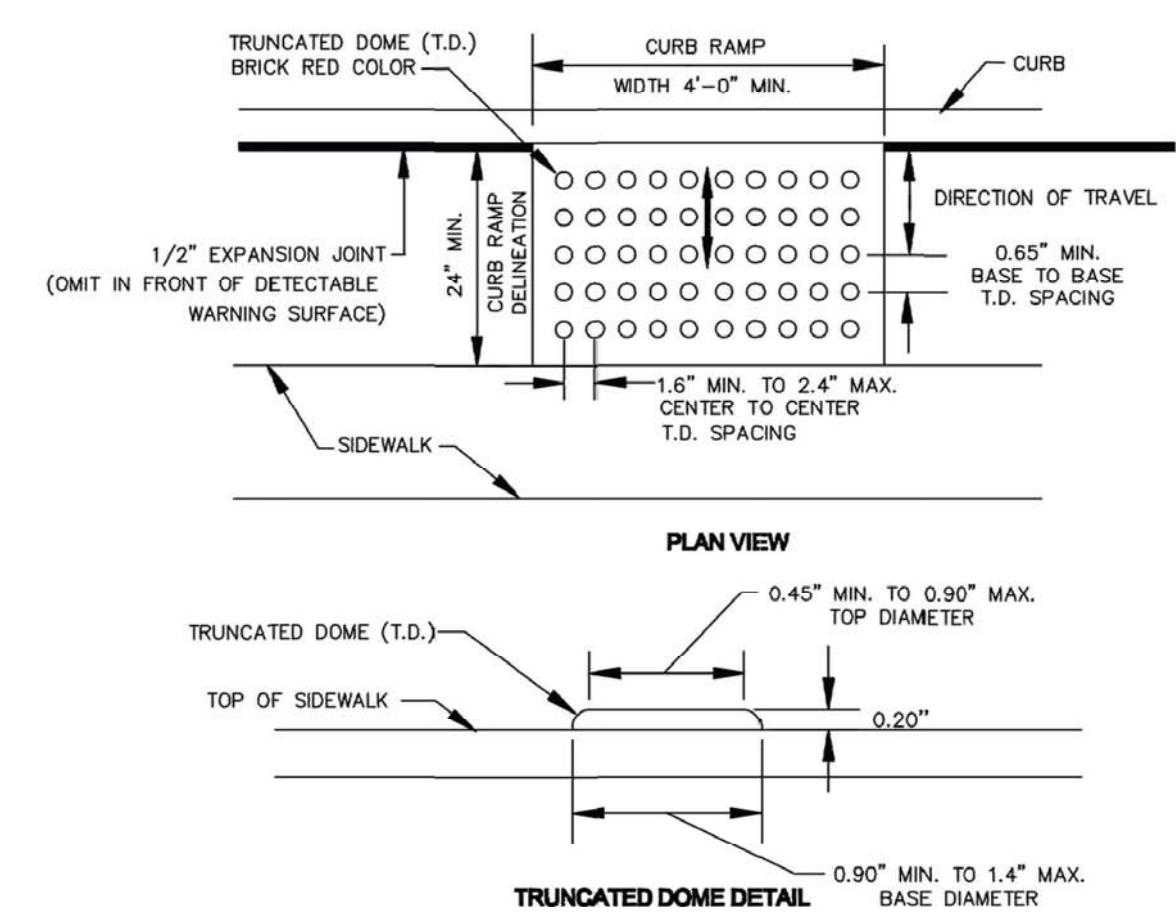
SECTION B-B
SIDEWALK JOINT FILLER
N.T.S.



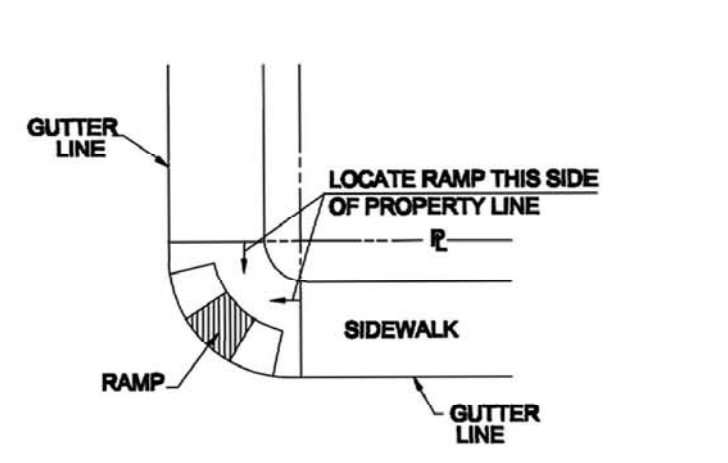
SINGLE HANDICAPPED RAMPS & CROSS WALK DETAIL
(SEE DETAIL "A")



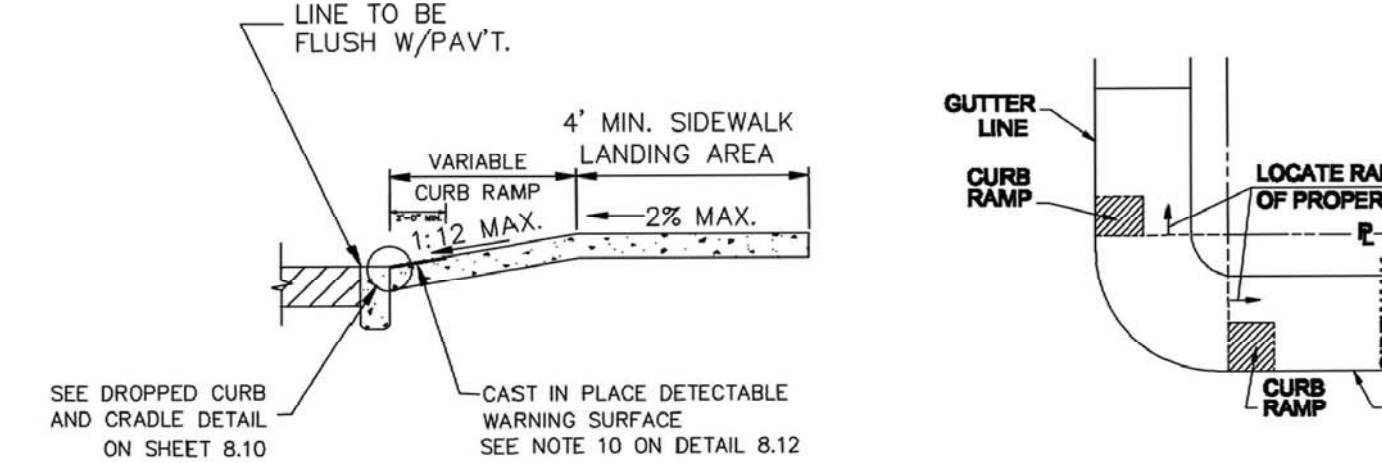
DOUBLE HANDICAPPED RAMPS & CROSS WALK DETAIL
(SEE DETAIL "B")



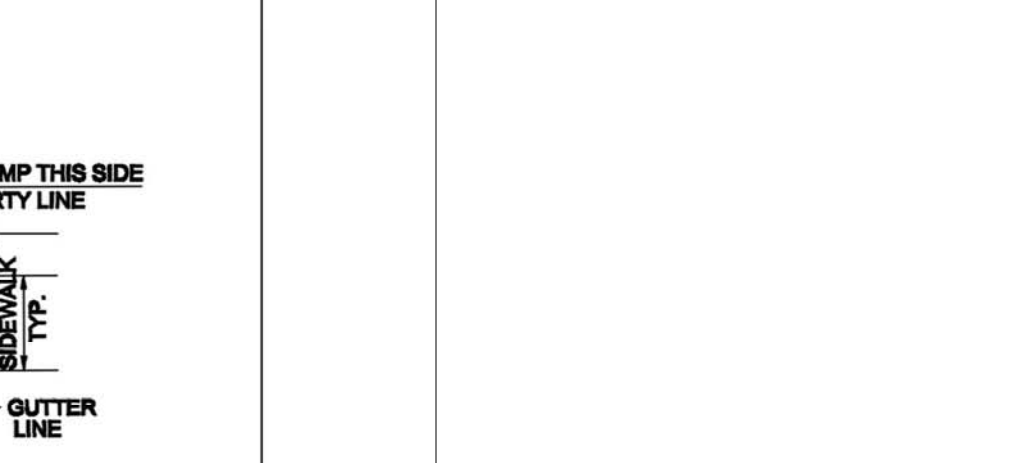
DETECTABLE WARNING SURFACE DETAIL
NOT TO SCALE



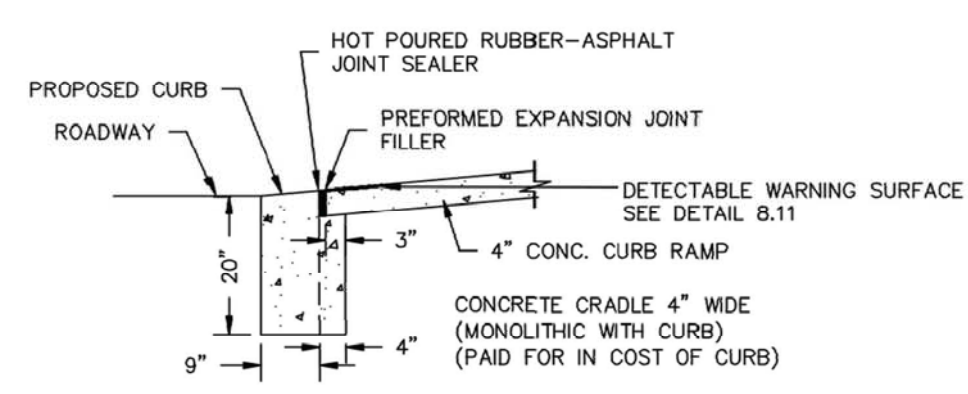
DETAIL "A"



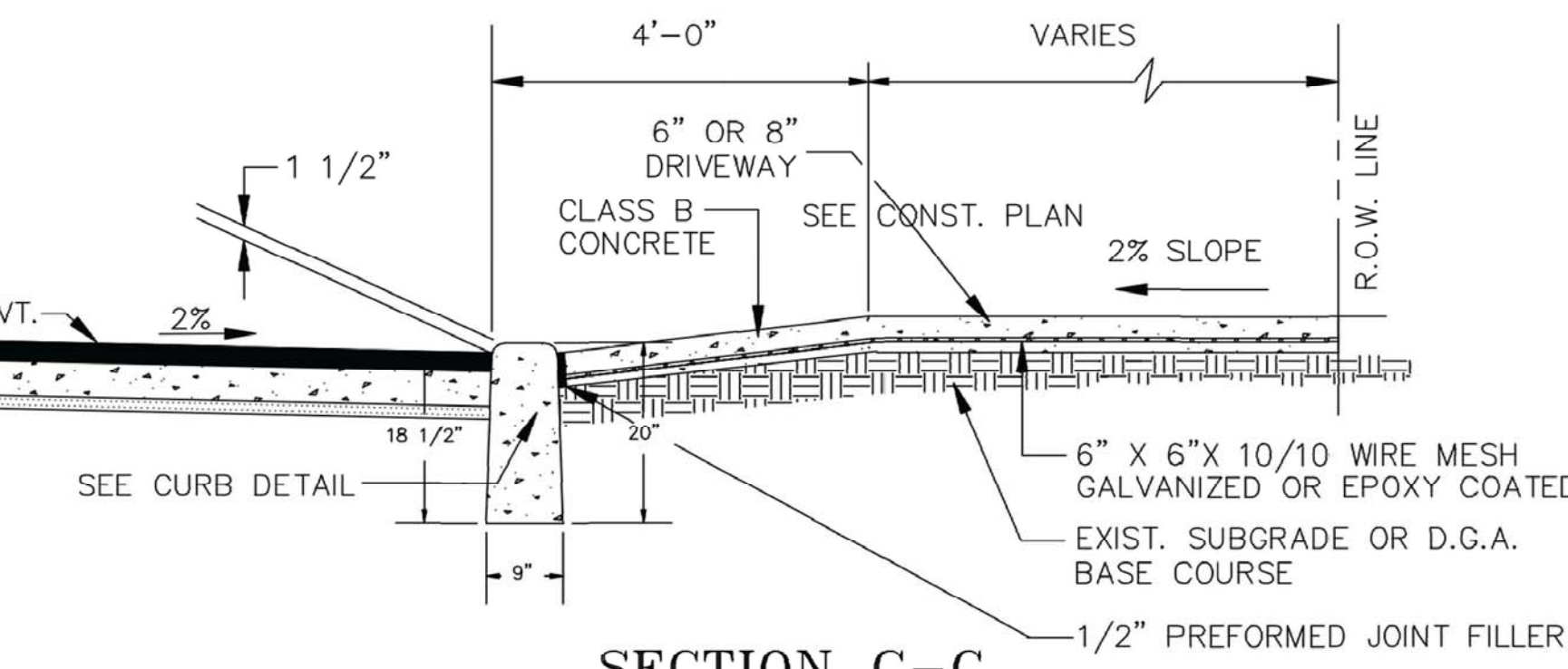
SECTION THROUGH RAMP
FOR DOUBLE AND SINGLE RAMPS
N.T.S.



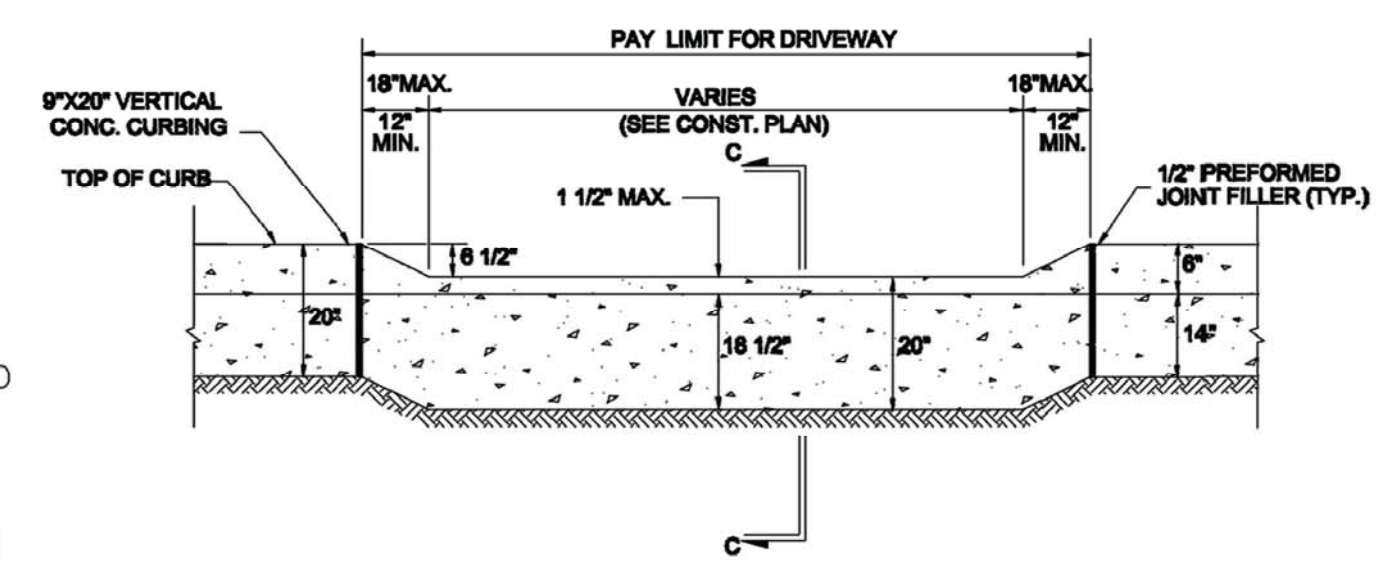
DETAIL "B"



DETAIL OF DROPPED CURB & CRADLE
N.T.S.



SECTION C-C
TYPICAL 9"x 20" CONCRETE VERTICAL
CURB/DRIVEWAY DETAIL
N.T.S.



TYPICAL DEPRESSED CURB AND DRIVEWAY DETAIL
N.T.S.

CURB & SIDEWALK NOTES:

- ALL CURBING AND SIDEWALK SHALL BE CONSTRUCTED OF AIR ENTRAINED CLASS B CONCRETE (N.D.O.T. SPEC'S).
- A 1/2" PREFORMED EXPANSION JOINT FILLER BITUMINOUS TYPE, CONFORMING TO A.A.S.H.T.O. SPEC'S M-38 IS TO BE INSTALLED BETWEEN THE CURBING AND CONCRETE SIDEWALK AND AT 10' MAX. SPACING (TRANSVERSE AND LONGITUDINAL) IN THE SIDEWALK, RECESSED 1/4" IN FROM TOP OF SIDEWALK.
- TRANSVERSE JOINTS 12" WIDE SHALL BE INSTALLED IN THE CURBING 10'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS FILLER OF A.A.S.H.T.O. SPEC'S M-33 FLUSH WITH THE TOP AND FACE OF CURB.
- COST OF EXPANSION JOINTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR SIDEWALK AND CURBING.
- ALL SIDEWALK, CURB RAMPS AND SIDE RAMPS SHALL HAVE A HAND BROOMED FINAL FINISH.
- THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE CURB RAMPS.
- COST OF ANY DENSE GRADED AGGREGATE NEEDED FOR CURB AND SIDEWALK CONSTRUCTION WILL BE PAID FOR UNDER THE ITEM D.G.A.
- CONCRETE CURB SHALL NOT BE CONSTRUCTED FROM NOVEMBER 1 TO MARCH 15 UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE ENGINEER.
- IMMEDIATELY AFTER THE CONCRETE HAS BEEN FINISHED, THE CONTRACTOR SHALL APPLY A COMPLETE UNIFORM COAT OF CURING COMPOUND AT A RATE OF NOT LESS THAN ONE (1) GALLON PER 200 SQUARE FEET.
- DETECTABLE WARNING SURFACE SHALL BE "ARMOR-TILE" TAC TILE SYSTEMS AS MANUFACTURED BY ENGINEERED PLASTICS INC., WILLIAMSVILLE, NEW YORK, TELEPHONE NO. 1-800-682-2825 OR APPROVED EQUIVALENT. TACTILE TILE SIZE SHALL BE A MINIMUM OF 24"x48" AND SHALL BE A BRICK RED COLOR. DETECTABLE WARNING SURFACES SHALL BE INSTALLED ACCORDING TO THE CORRESPONDING CONSTRUCTION DETAILS SHOWN ON THE PLANS, THE MANUFACTURER'S RECOMMENDATION AND ACCORDING TO SUBSECTION 607.06 SUBPART 5 DETECTABLE WARNING SURFACES OF THE AADOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.
- ALL TRAFFIC STRIPES AND MARKINGS SHALL BE LONG-LIFE, THERMOPLASTIC IN ACCORDANCE WITH SECTION 618 - TRAFFIC STRIPES AND MARKINGS OF THE AADOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.

NOTE: ALL NEW SIDEWALK CONCRETE SHALL BE TINTED CHARCOAL GRAY OR EQUIVALENT TINT WITH MICA ELECKS TO PROVIDE NIGHTTIME EFFECTS



AERIAL VIEW

1



PERSPECTIVE FROM CORNER

2

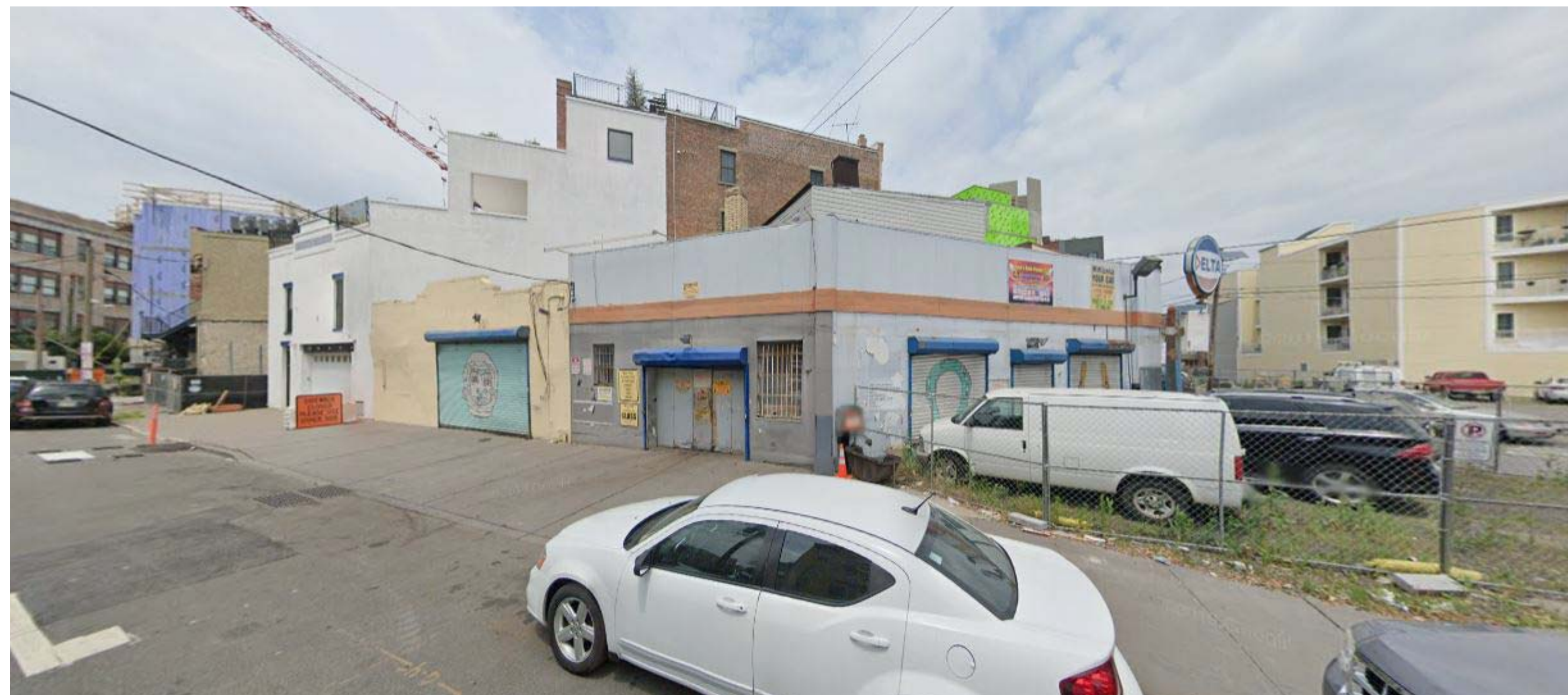
SOUTH VIEW FROM 4TH ST

3



NORTH VIEW FROM NEWARK AVE

4



SOUTH VIEW FROM 4TH ST

5



NORTH VIEW FORM NEWARK AVE

6

PROJECT NAME:

JC325

OWNER NAME:
GT Enterprises
39 BRUNSWICK STREET,
ERSEY CITY NJ 07302
201-656-7200



PROJECT ADDRESS:

25 NEWARK AVE
ERSEY CITY
UDSON COUNTY, NEW JERSEY 07302

ARCHITECT OF RECORD:

MURAT MUTLU, AIA

25 West 36th Street #506, New York NY 10018
 ☎ 212 564 0094

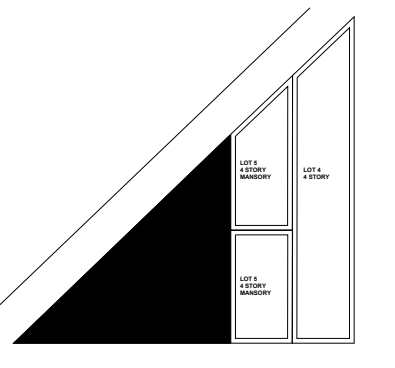
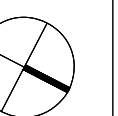
DESIGNER:

IOA | International Office of Architects
2 Fayette Street, Cambridge MA 02138
Tel: 607-262-0368
Email: info@in-oa.com

ENGINEERS:

[illegible]

KEY PLAN:



APPROVAL:

WG TITLE:

IMAGES

SEAL & SIGNATURE:



DATE: 06/04/2021

SALE:

DRAWING NO:



SCALE 3"=1'-0"

TYPICAL FACADE CLADDING DETAIL AT CONCRETE WALL

10

SCALE 3"=1'-0"

TYPICAL FACADE CLADDING DETAIL AT STUD WALL

11



Z800.00