

PROPOSED 5 STORY
16 UNIT RESIDENTIAL BUILDING
WITH COMMERCIAL

325 NEWARK AVE
JERSEY CITY
HUDSON COUNTY, NEW JERSEY 07302

DRAWING LIST

- Z001Z002Z003Z100Z101Z200Z201Z400Z600Z700
- ZONING TITLE PAGE
SITE SURVEY
PROPOSED SITE, LIGTHING AND LANDSCAPE
PLAN
ZONING PLANS: LEVEL 1, 2, 4
ZONING PLANS: LEVEL 3, 5 AND ROOF
ZONING ELEVATIONS
ZONING ELEVATIONS
DETAILS
CURB AND SIDE WALK DETAILS
IMAGES

ZONING NOTES

ZONING DISTRICT
BLOCK
LOT

NC-NIGHBORHOOD COMMERCIAL
11101
6

NEIGHBORHOOD COMMERCIAL DISTRICT					<div>BUILDING AREA:</div> <div>1ST - 5TH FLOOR: FOOTPRINT = 3,446 SF LOT COVERAGE = 93%</div> <div>* = PRE-EXISTING NON-CONFORMING LOT CONDITION</div> <div>** BUILDING'S COMMERCIAL SPACE WILL NOT HAVE A LIQUOR LICENCE</div> <div>NOTE A - BICYCLE PARKING .5 BICYCLE SPACES PER RESIDENTIAL UNIT 8 REQUIRED INTERIOR</div> <div>NOTE B - ROOF APPURTENANCES COVERAGE CALCULATION:</div> <div>ROOF AREA = 3,446 SF ROOF COVERAGE = STAIR & ELEVATOR BULKHEADS =223 SF LOBBY + TOILET =437 SF ROOF MOUNTED MECHANICALS = 20 SF TOTAL=680 SF =19.7% LESS THAN 20% 19.7% LESS THAN 20%</div>
345-45 B(I)	PERMITTED USE	ORDINANCE	PROPOSED	VARIACE REQUIRED	
345-45 B(B)		RETAIL OFFICES	1 RETAIL UNIT**	NO	
345-45 E(2)	LOT AREA (MIN.)	RESIDENTIAL ABOVE GROUND FLOOR	16 RESIDENTIAL UNIT	NO	
345-45 E(3)	LOT WIDTH (MIN.)	2,500 SF	3,698 SF	NO	
345-45 E(4)	LOT DEPTH (MIN.)	87.71' ON NEWARK 121.52' ON FOURTH	25.00'	NO	
345-45 E(5)	FRONT YARD SETBACK	100.00'	84.23'	NO*	
345-45 E(6)	SIDE YARD SETBACK MIN.	NONE	0'-0" ON NEWARK 0'-0" ON FOURTH	NO	
345-45 E(7)	REAR YARD SETBACK MIN.	NONE	3'-1"	NO	
345-45 E(8)	BUILDING HEIGHT (MIN.)	15'-0" MIN.	N/A	YES	
345-45 E(9)	BUILDING HEIGHT (MAX.)	3 STORIES	5 STORIES, 55'-0" ABOVE BFF	NO	
345-45 E(9a)	MIN. FLOOR TO CEILING HGT. (ALL EXCEPT PARKING)	3 STORIES	9'-0"	NO	
345-45 E(9b)	MAX. FLOOR TO CEILING HGT. (ESIDENTIAL ONLY)	12'-0"	1ST FLOOR, 11'-0" (12'-0" FLR-TO-FLR) 2ND-4TH FLRS, 9'-8" (10'-8" FLR-TO-FLR) 2ND-5TH FLRS, 10'-0" (11'-0" FLR-TO-FLR)	NO	
345-45 F(1)	OFF-STREET PARKING	NOT PERMITTED ON NEWARK AVE. 0 REQUIRED LESS THAN 5 SPACES	0 OFF-STREET PARKING PROVIDED	NO	
345-45 F(2)					
345-45 F(2c)	PARKING SPACES (MIN.)	0	0	NO	
345-45 F(2g)					
345-60 G(2)	ROOF APPURTENANCES	SETBACK FROM FACADE BY 1'-1"	9'-1.5" SETBACK FROM 4TH ST 22'-6" SETBACK FROM NEWARK AVE	NO	
345-60 G(4)		20% MAX (SEE NOTE B)	19.6%	NO	
345-70 C	BICYCLE PARKING (MIN.)	0 (SEE NOTE A)	8	NO	

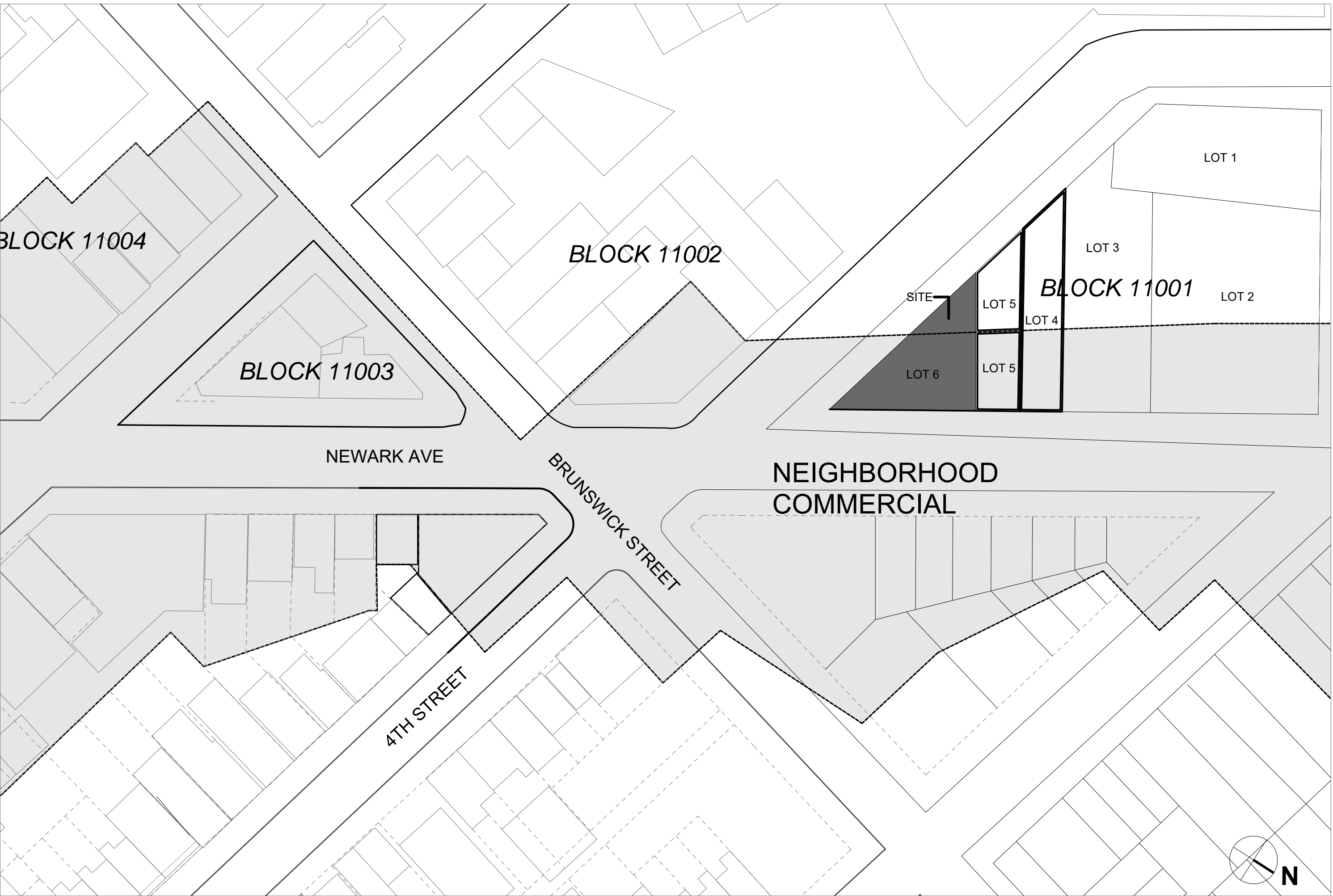
*THIS PROPERTY SITES WITHIN THE AE FLOOD ZONE. ALL MATERIALS BELOW BFE 11.0' SHALL BE MOLD RESISTANT (WET FLOOD PROOFING)

PROPOSED UNIT DISTRIBUTION

LEVEL:	STUDIO	1BED ROOM	2BED ROOM	TOTAL
LEVEL 1	0	0	0	0
LEVEL 2	0	3	1	4
LEVEL 3	0	3	1	4
LEVEL 4	0	3	1	4
LEVEL 5	0	3	1	4
SUB TOTAL	0	12	4	
	TOTAL UNITS			16

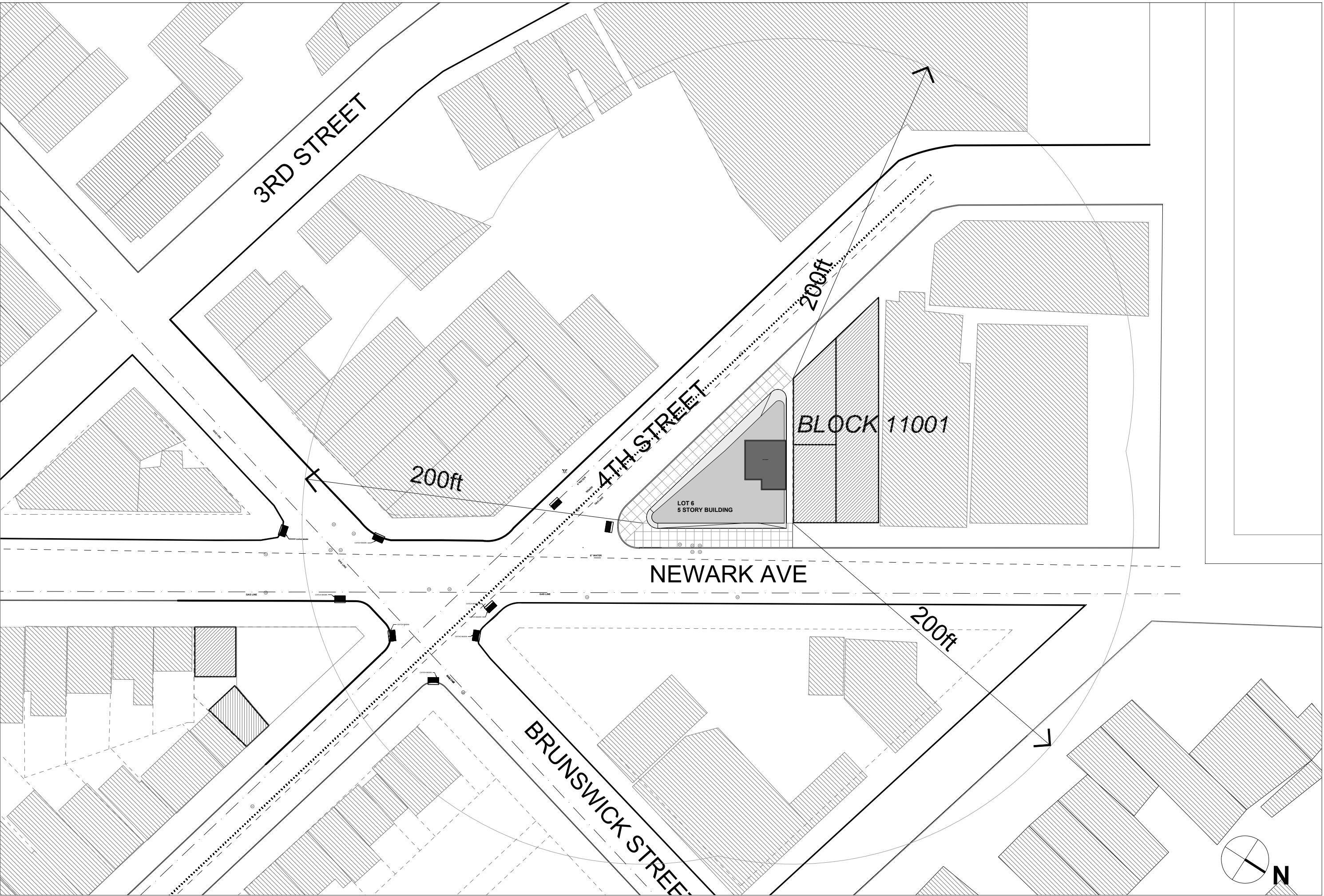
PROPOSED USE AND AREA DISTRIBUTION

LEVEL:	USE	GROSS FLOOR AREA	RESIDENTIAL SELLABLE FLOOR AREA	COMMERCIAL FLOOR AREA	NON-SELLABLE FLOOR AREA
LEVEL 1	RETAIL OR RESTAURANT USE LOBBY, BIKE ROOM	3,269SF	0 SF	1,976 SF	1293 SF
LEVEL 2	4 APARTMENTS	3,637 SF	3,005 SF	0 SF	632 SF
LEVEL 3	4 APARTMENTS	3,875 SF	3,243 SF	0 SF	632 SF
LEVEL 4	4 APARTMENTS	3,637 SF	3,005 SF	0 SF	632 SF
LEVEL 5	4 APARTMENTS	3,875 SF	3,243 SF	0 SF	632 SF
TOTAL	16 APARTMENTS 10 BIKE SPACES	18,293 SF	12,496 SF	1,976 SF	3,821SF



ZONING MAP

SCALE: 1" = 50'-0"



PROPERTYIES WITHIN 200'

SCALE: 1" = 50'-0"

PROJECT NAME:

JC325

OWNER NAME:
BGT Enterprises
189 BRUNSWICK STREET,
JERSEY CITY NJ 07302
T: 201-656-7200

PROJECT ADDRESS:

325 NEWARK AVE
JERSEY CITY
HUDSON COUNTY, NEW JERSEY 07302

ARCHITECT OF RECORD:

MURAT MUTLU, AIA

225 West 36th Street #506, New York NY 10018
T: 212 564 0094

DESIGNER:

INOA | International Office of Architects
42 Fayette Street, Cambridge MA 02138
Tel: 607-262-0368
email: info@in-oa.com

ENGINEERS:

△ DATE REVISION

KEY PLAN:

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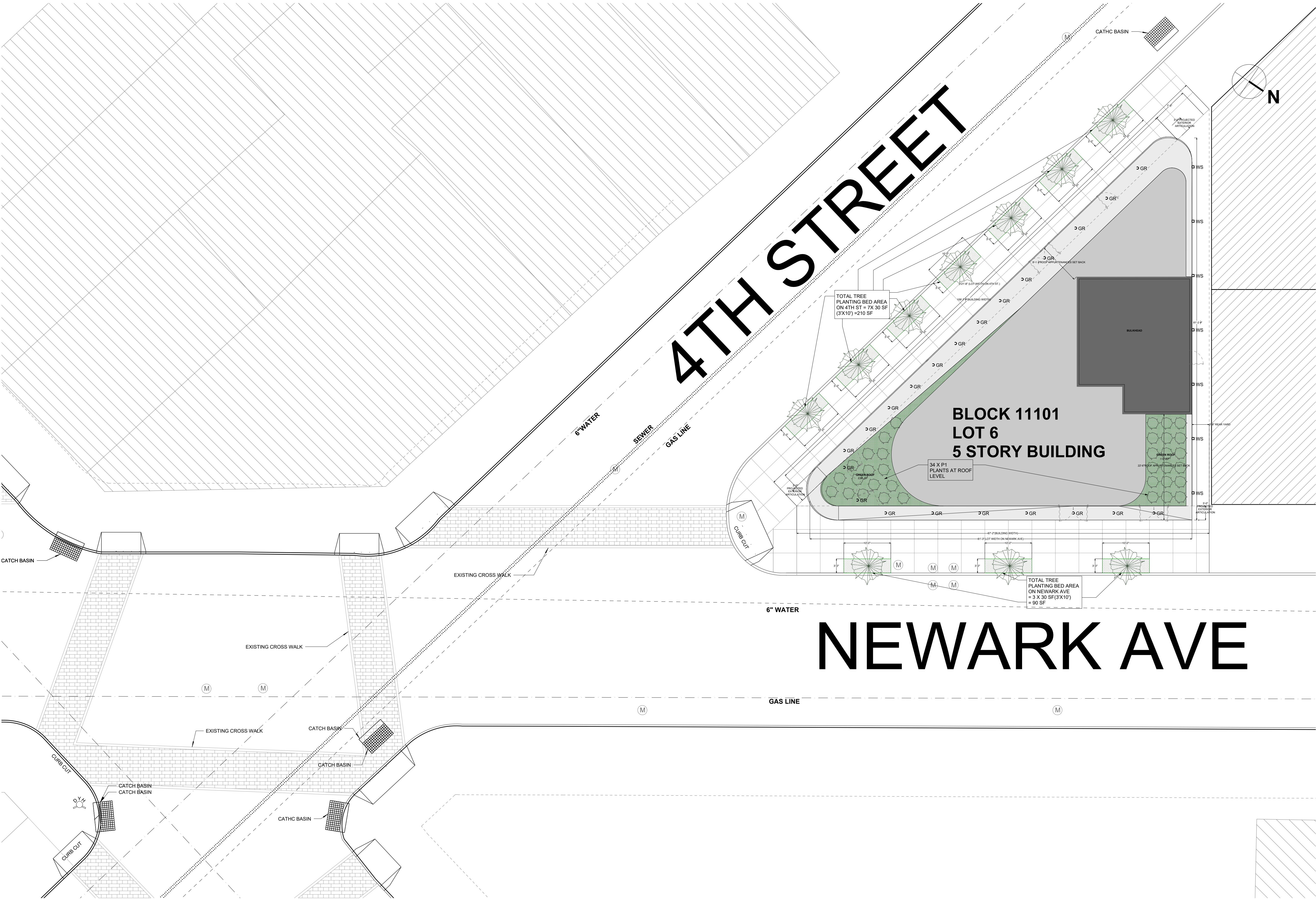
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SITE PLAN

LANDSCAPING SCHEDULE


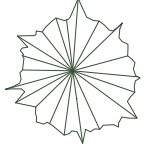



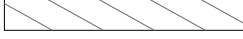

DESCRIPTION	LOCATION	COMMON OR BOTANICAL NAME	SIZE	NUMBER	ID
STREET TREE	SIDEWALK	HONEY LOCUST	35' <	10	T1
PLANTING BOX PLANTS	WITHIN PLANTING BOX ON ROOF	LITTLE GIANT DWARF ARBORVITAE	48' <	34	P1

*NOTEN: MAINTENANCE SCHEDULE OF ALL LANDSCAPING SHALL BE PROVIDED BY THE OWNER

SITE LIGHTING SCHEDULE

DESCRIPTION	LOCATION	LIGHTING NAME	SIZE	QUANTITY	MANUFACTOR	MODEL NUMBER
SITE LIGHTING	SIDEWALK	GR - INGROUND RECESSED ROUNG LIGHTING FIXTURE	6 1/8" Dia x 3 1/8 Dep	24	BEGA	77 812
	FACADE	WS-WALL SURFACE MOUNTING	8 1/2" Wx4 3/8" Lx4"D	7	BEGA	22 359

KEY

-  TREE PIT
-  STREET TREE:
-  CONCRETE SIDEWALK JOINT LINES
-  HYDRANT
-  MANHOLE
-  EXISTING BUILDING
-  NEW BUILDING

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SITE PLAN

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EXISTING BUILDINGS SHALL BE DEMOLISHED BY THE OWNER AND LOT SHALL BE VACANT PRIOR TO THE PROPOSED NEW BUILDING DEVELOPMENT. CONTRACTOR SHALL HIRE DEMOLITION AND SITE SAFETY ENGINEER TO SAFELY DEMOLISH EXISTING STRUCTURES WITHOUT INTERFERENCE WITH THE PUBLIC RIGHT OF WAY AND ADJACENT PROPERTIES

4TH STREET

EXISTING ONE STORY MASONRY GARAGE

EXISTING ONE STORY BRICK

EXISTING BUILDING THREE STORY FRAME

LOT 5
4 STORY
MANSORY

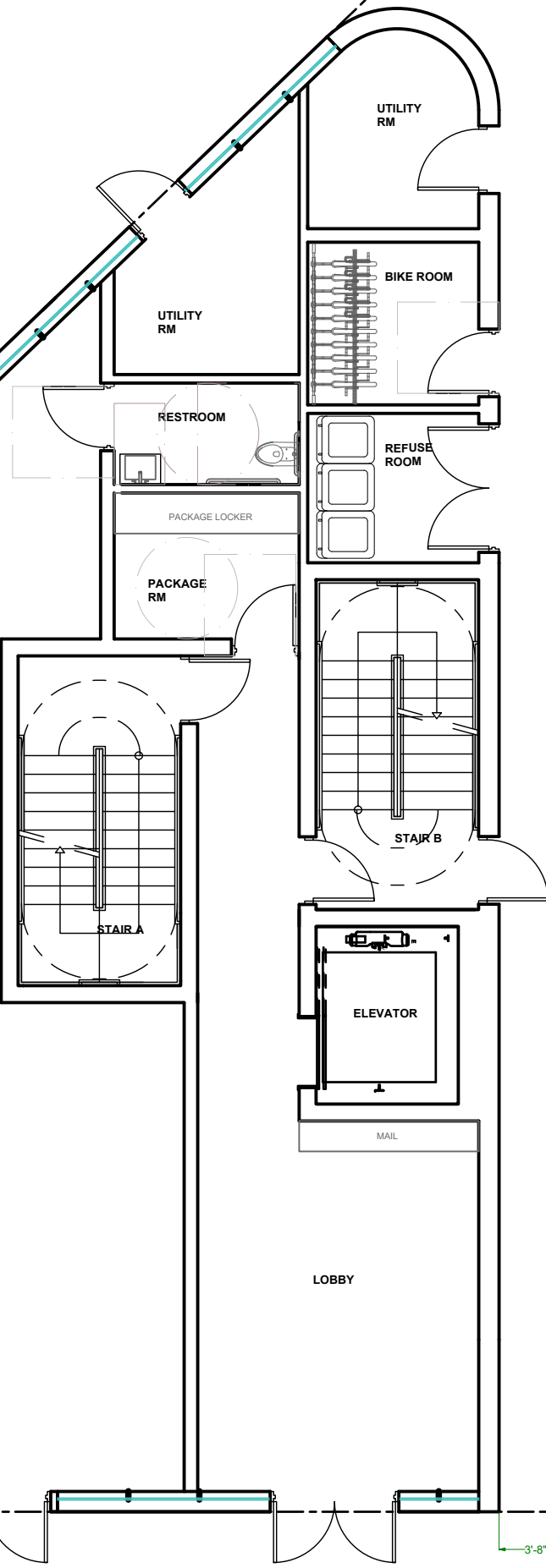
LOT #35
3 STORY
FRAME BUILDING

LOT 5
4 STORY
MANSORY

EXISTING CONDITIONS PLAN

4TH STREET

RETAIL
1075 SF



LOT 5
4 STORY
MANSORY

LOT #35
3 STORY
FRAME BUILDING

LOT 5
4 STORY
MANSORY

REFUSE REMOVAL STRATEGY:
- RESIDENTS WILL STORE THEIR REFUSE INSIDE THE REFUSE ROOM ON THE FIRST FLOOR.
- BUILDING MAINTENANCE STAFF WILL TAKE OUT THE TRASH TO SIDEWALK AT THE TIME TRASH COLLECTION

LEVEL 1

*ALL GROUND FLOOR SPACES SHALL BE PROTECTED BY DRY-FLOODING PROOFING PROTECTION METHODS TO THE DESIGN FLOOD ELEVATION. OWNER SHALL STORE FLOOD GATES ON SITE OR OFF SITE AS REQUIRED BY ASCE, FEMA AND NJ DEP GUIDELINES AND ANY OTHER APPLICABLE BUILDING CODES

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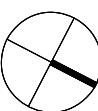
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LEVEL 1, LEVEL 2,
and LEVEL 4 PLANS

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DATE:
01/07/2021

SCALE:
1/16" = 1'

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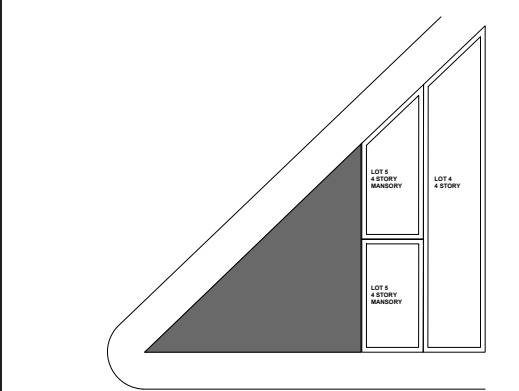
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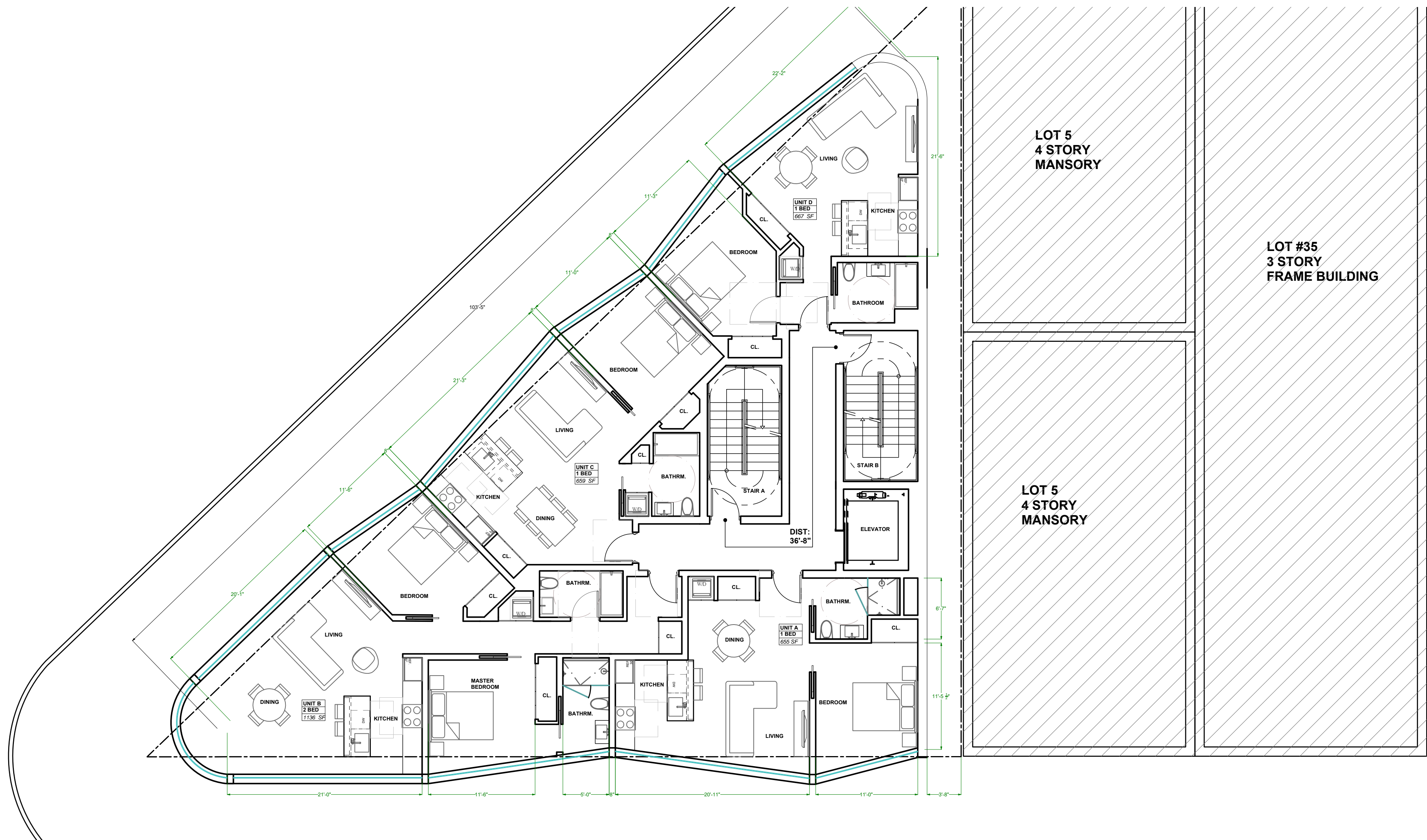
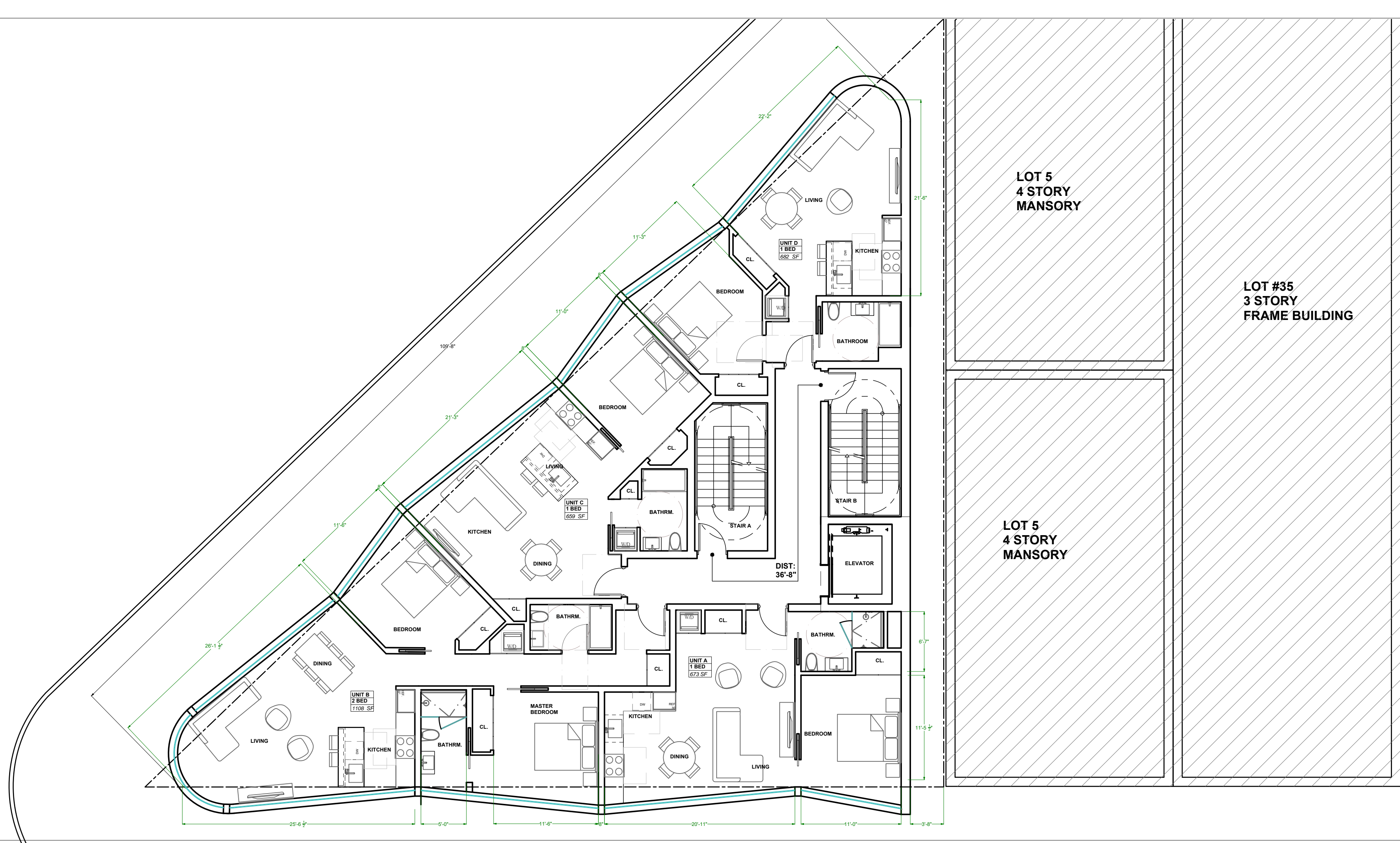
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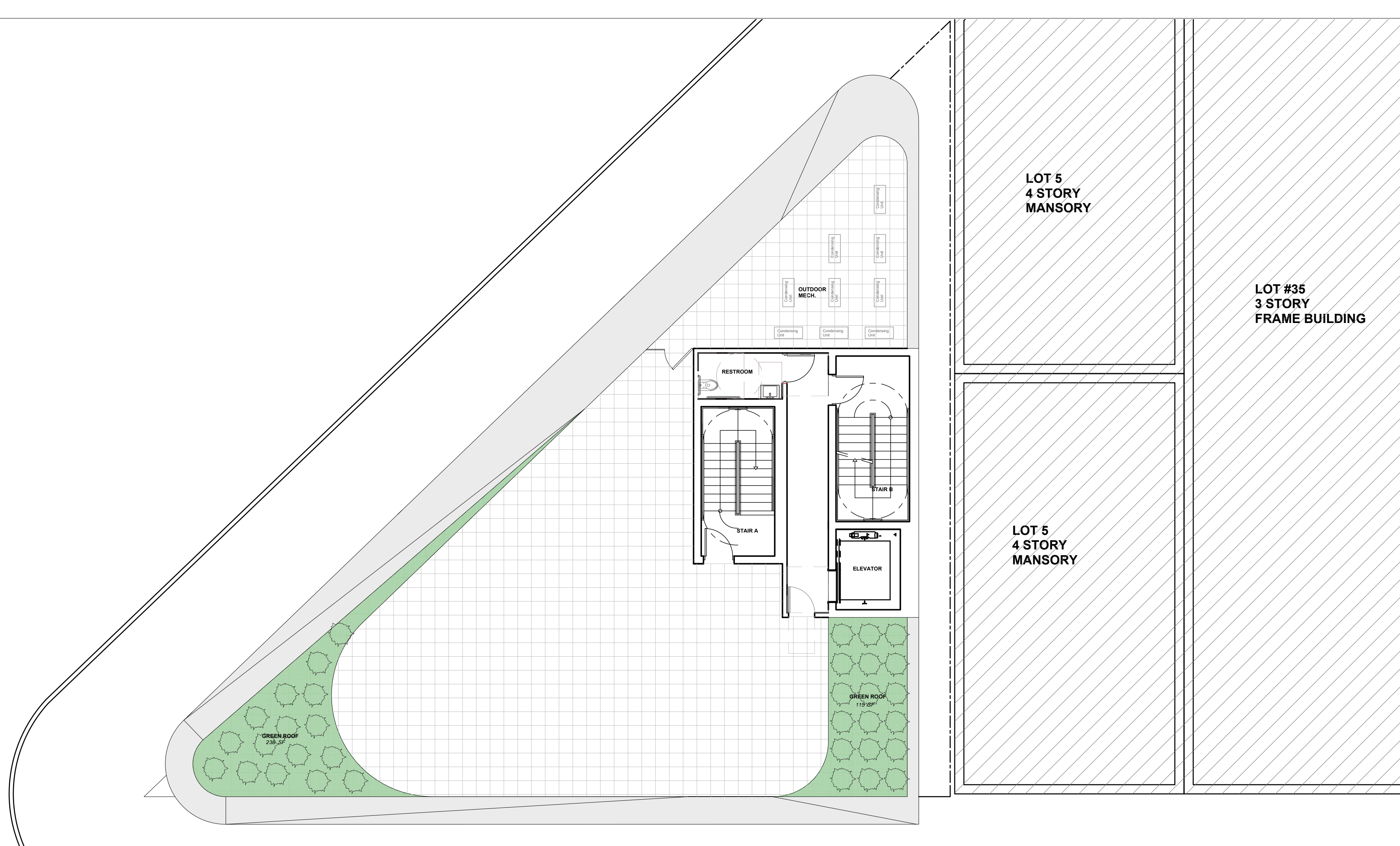


LEVEL 3, LEVEL 5 and ROOF

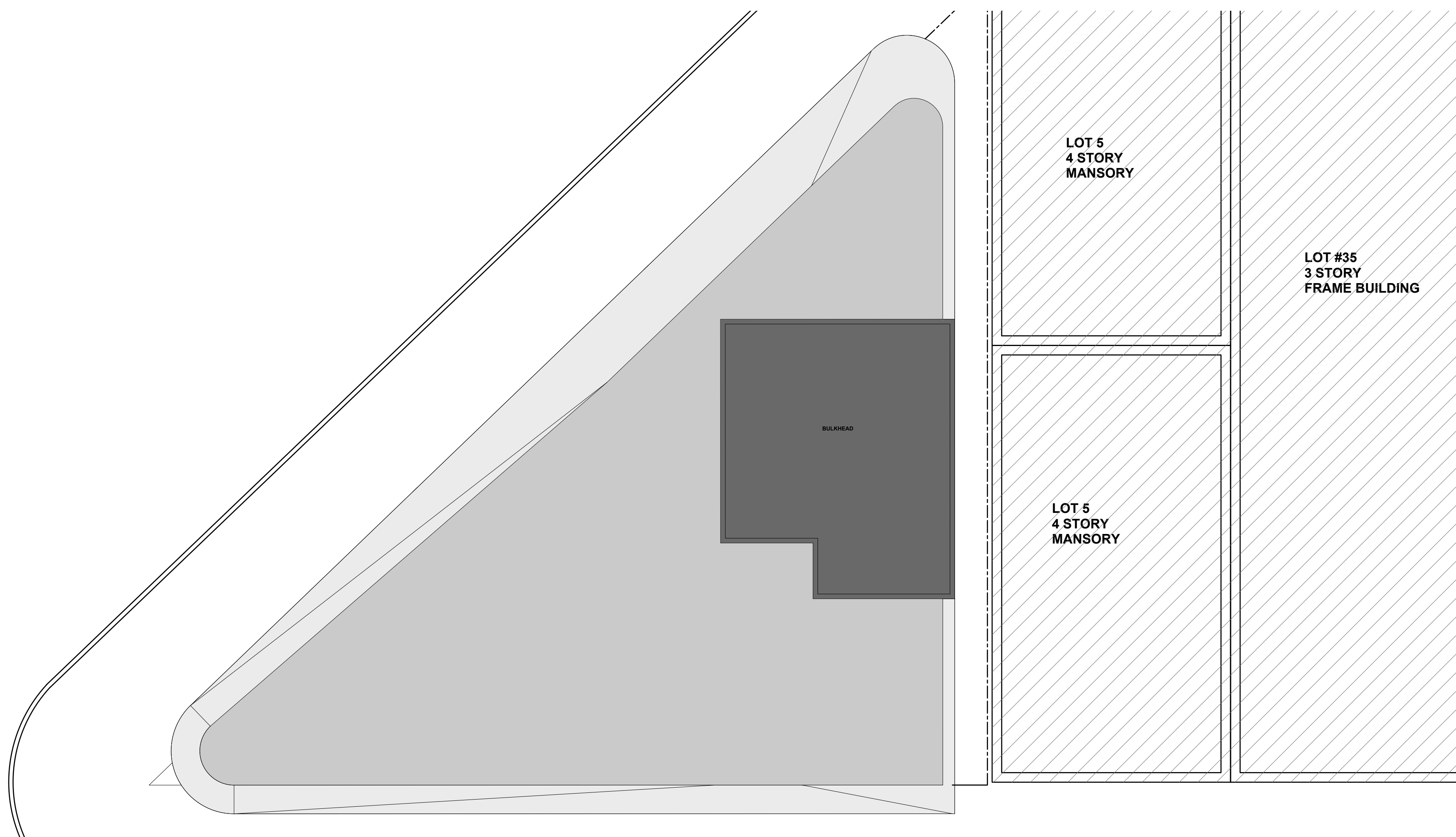
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1

2



ROOF



BULKHEAD

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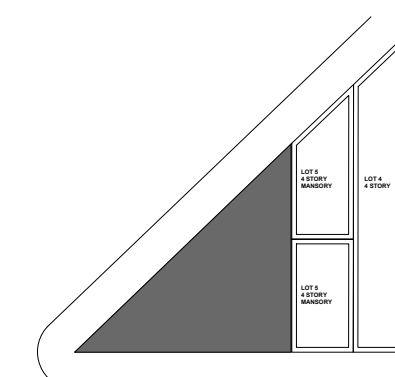
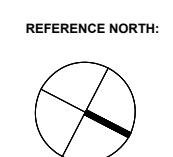
DESIGNER.

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ENGINEERS.

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KEY PLAN:



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DWG TITLE

LEVEL 3, LEVEL 5 and ROOF

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DATE: 01/07/2021

SCALE: $1/16" = 1'$

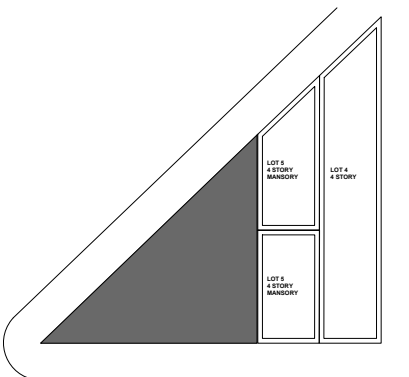
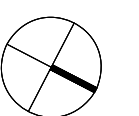
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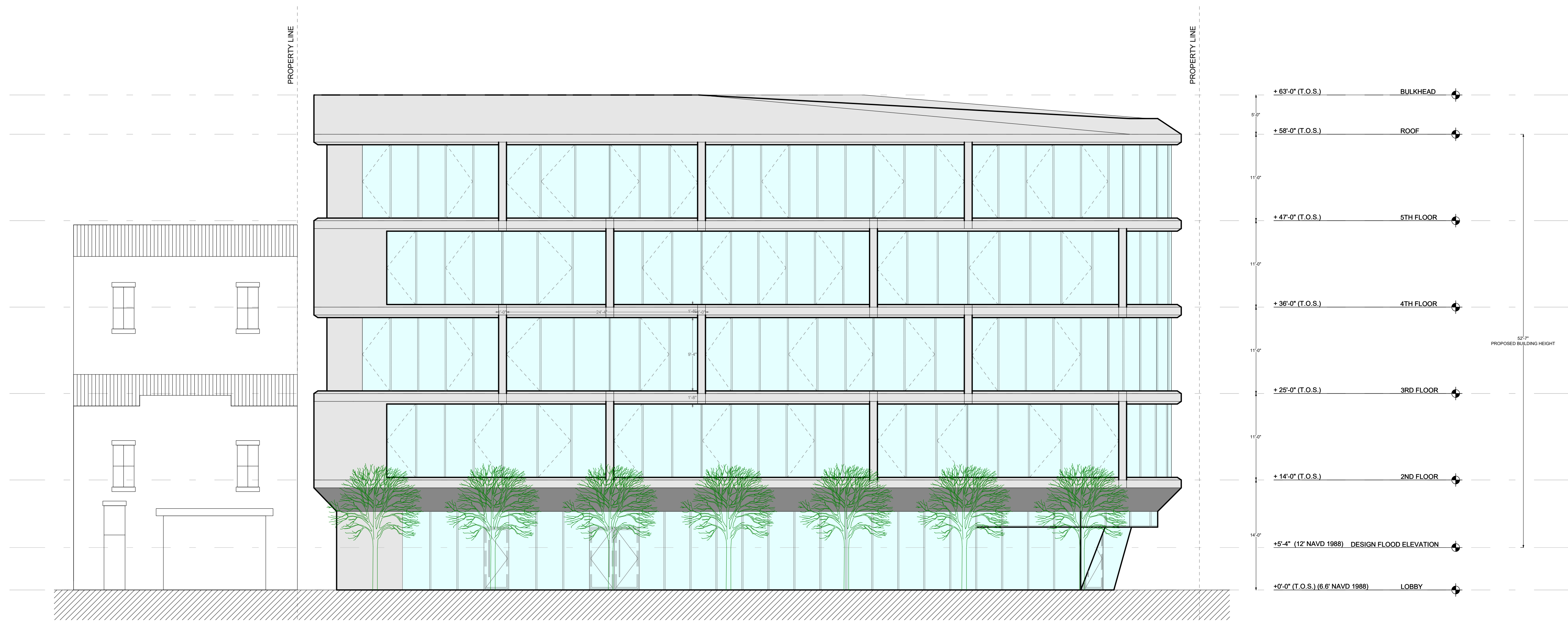
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ELEVATIONS

Z200.00

1

1

JC325

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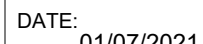
ENGINEERS:

KEY PLAN:

REFERENCE NORTH:

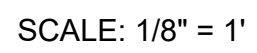


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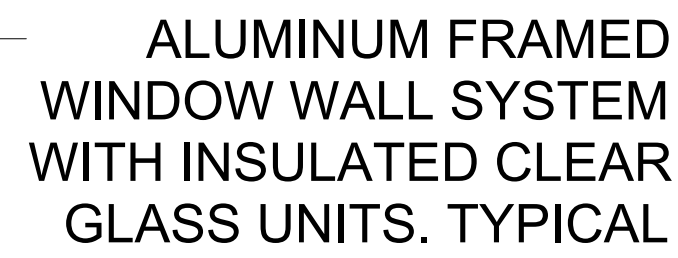


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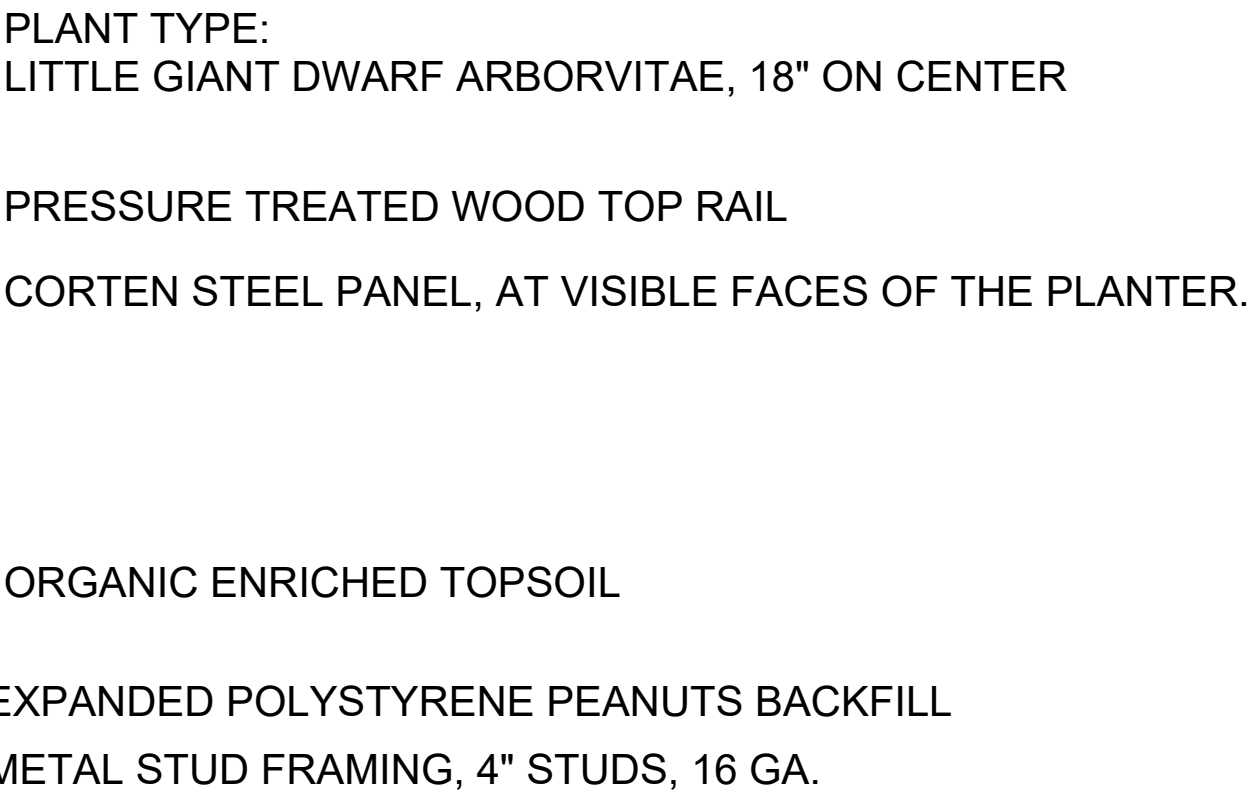


1



SCALE: 1/2" = 1'

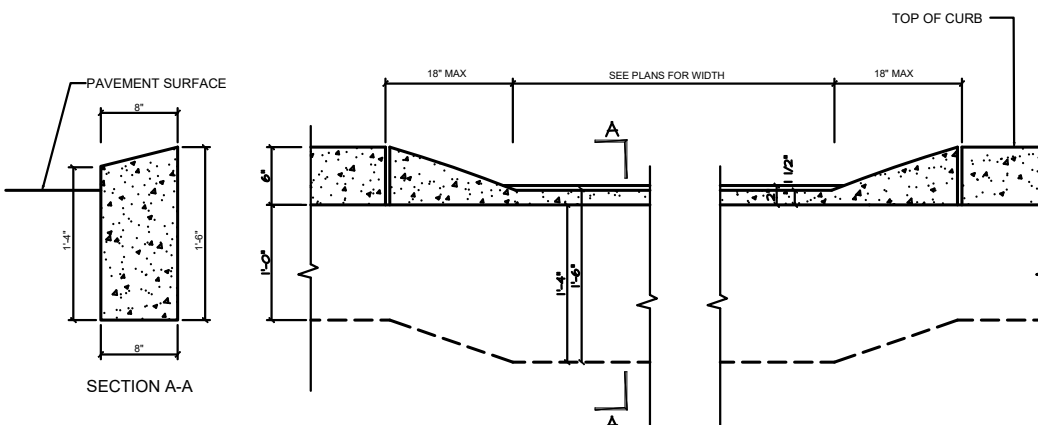
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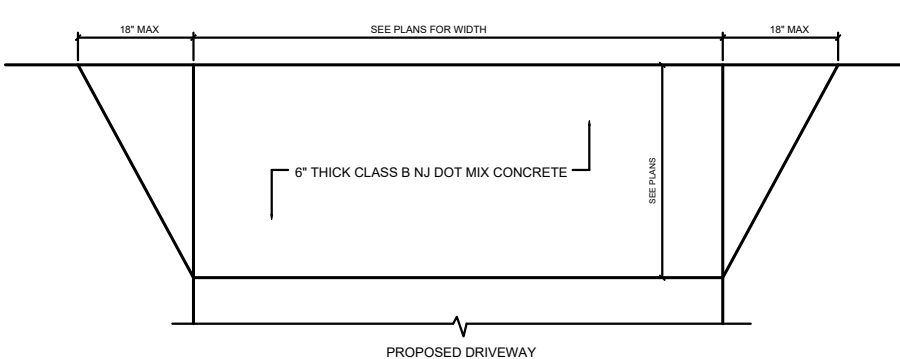
The image contains three main technical drawings illustrating trenchless sewer repair methods:

- Top Drawing (Pipe Jacking):** Shows a cross-section of a sewer pipe being installed. Labels include:
 - 8" 4" T-WYE
 - 45 DEGREE SADDLE
 - EXISTING SEWER MAIN: CHAMFER VARES
 - PROPOSED STAINLESS STEEL CLEAVING RANGER
 - SAWTOOTH HOLE IN EXISTING SEWER
 - EXISTING BRICK SEWER: RICE AND SHAW'S VARES
 - NON-SHRINK GROUT: MUST BE FILLED IN BETWEEN LATERAL AND BRICK WALL
 - PROPOSED CONCRETE: ENCASEMENT (CONCRETE) SUBGRADE
- Middle Drawing (Pipe Ramming):** Shows a cross-section of a sewer pipe being installed. Labels include:
 - EXISTING
 - GRADE
 - PLUG
 - CURBLINE (CHISEL "S" IN CURB AT SERVICE LEVEL)
 - 6" PVC PIPE (CLEAN OUT)
 - 6" OR 8" T-WYE
 - 45 DEGREE SADDLE
 - 6" PVC PIPE
 - 6" PVC 45 DEGREE STREET ELL
 - 6" PVC WYE OR TEE
 - SADDLE TURNED 45 DEGREE
 - FOUNDATION MATERIAL
 - GRAVEL OR SPREADING OF WYE
 - VARES
 - GRADE
 - PLUG
 - CURBLINE (CHISEL "S" IN CURB AT SERVICE LEVEL)
 - 6" OR 8" T-WYE (CLEAN OUT)
 - 6" PVC PIPE
 - 45 DEGREE PVC STREET ELL
 - PLUG
 - 45 DEGREE WYE
 - 6" PVC PIPE (SUPPORT AGAINST SHEATHING WHICH IS TO BE LEFT IN PLACE)
 - SHIELDING TO BE LEFT IN PLACE MUST BE CUT MIN. 6" BELOW FINISHED ROADWAY GRADE
 - SEWER TRENCH TO BE COMPACTED IN 6" LIFTS OR LESS
 - EXISTING SANITARY SEWER MAIN
- Bottom Drawing (Pipe Bursting):** Shows a cross-section of a sewer pipe being installed. Labels include:
 - GRADE
 - PLUG
 - CURBLINE (CHISEL "S" IN CURB AT SERVICE LEVEL)
 - 6" OR 8" T-WYE (CLEAN OUT)
 - 6" PVC PIPE
 - 45 DEGREE PVC STREET ELL
 - PLUG
 - 45 DEGREE WYE
 - 6" PVC PIPE (SUPPORT AGAINST SHEATHING WHICH IS TO BE LEFT IN PLACE)
 - SHIELDING TO BE LEFT IN PLACE MUST BE CUT MIN. 6" BELOW FINISHED ROADWAY GRADE
 - SEWER TRENCH TO BE COMPACTED IN 6" LIFTS OR LESS
 - EXISTING SANITARY SEWER MAIN

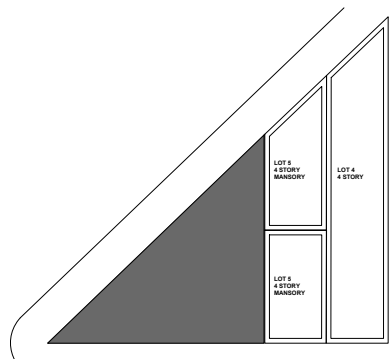
SIDEWALK SECTION

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CONCETE CURB SECTION



CONCETE CURB SECTION



APPROVAL

DETAILS

SCALE:

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CURB AND SIDEWALK
DETAILS

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City of Jersey City
Division of Engineering
575 ROUTE 440
JERSEY CITY, NEW JERSEY 07305
(201) 547-4412



NO.	REVISIONS	DATE
1	Extensive Changes Made	7/09

CITY OF JERSEY CITY
STANDARDS

NO.	REVISIONS	DATE

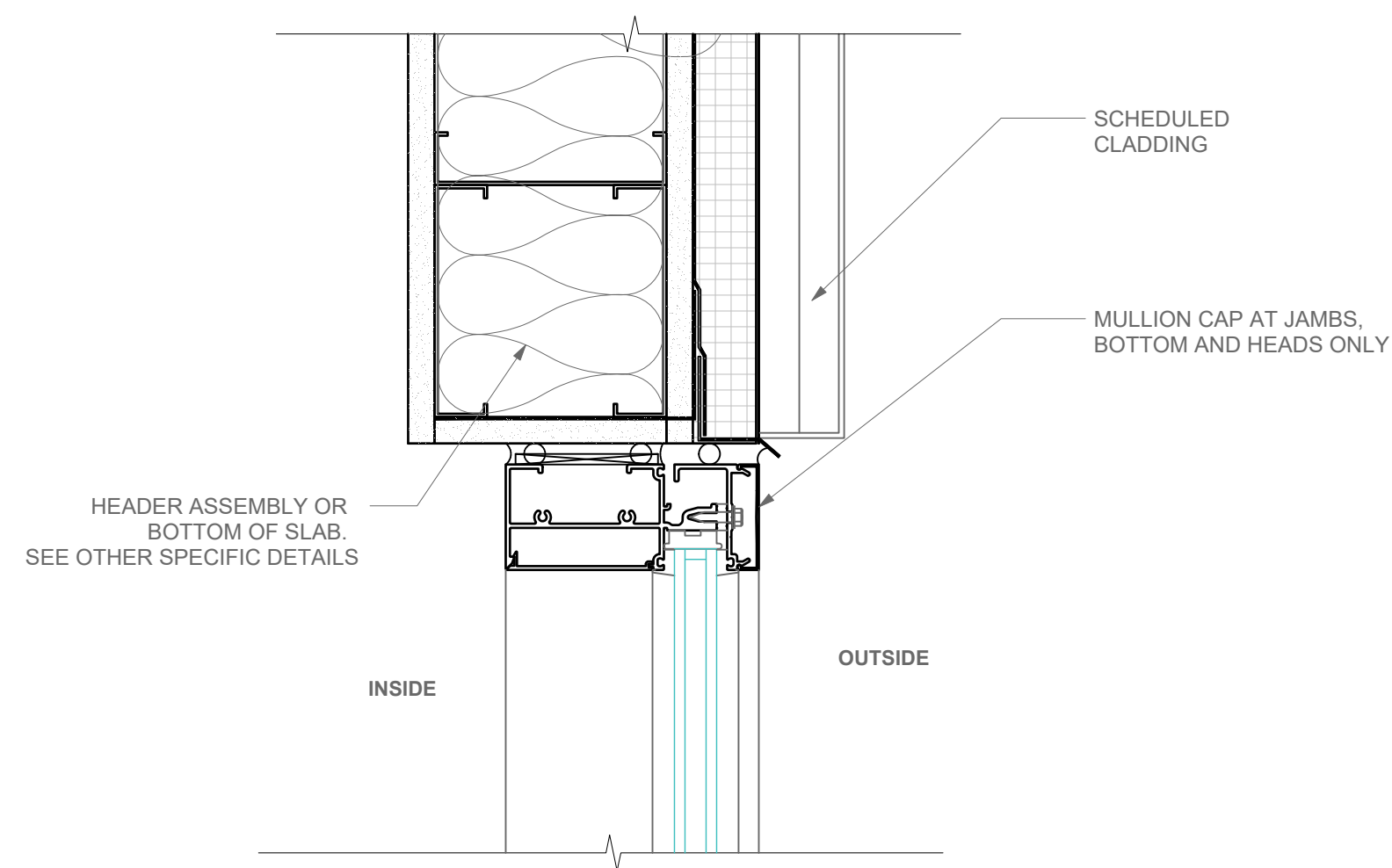
William R. Goble, P.E.
Director
Division of Engineering
NJ P.E. Lic. No. 24798

Construction Standards
Curb and Sidewalk

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PROJECT NO.	CADD FILE	SCALE

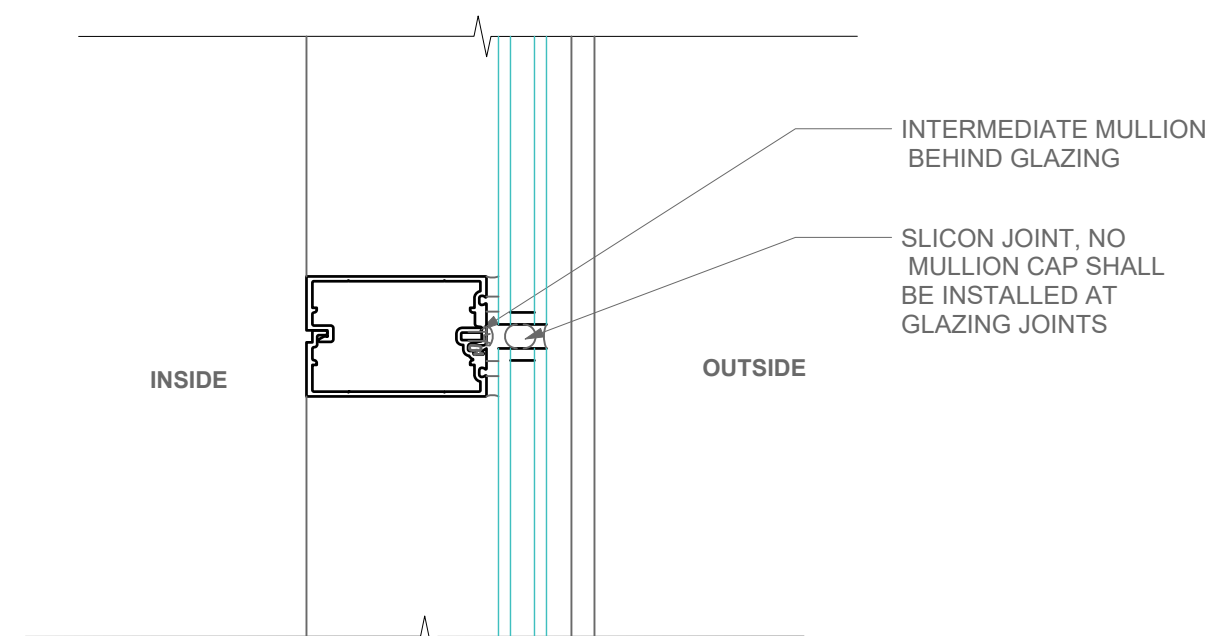
Date

NOTE: ALL NEW SIDEWALK CONCRETE SHALL BE TINTED CHARCOAL GRAY OR EQUIVALENT TINT WITH MICA ELECKS TO PROVIDE NIGHTTIME EFFECTS



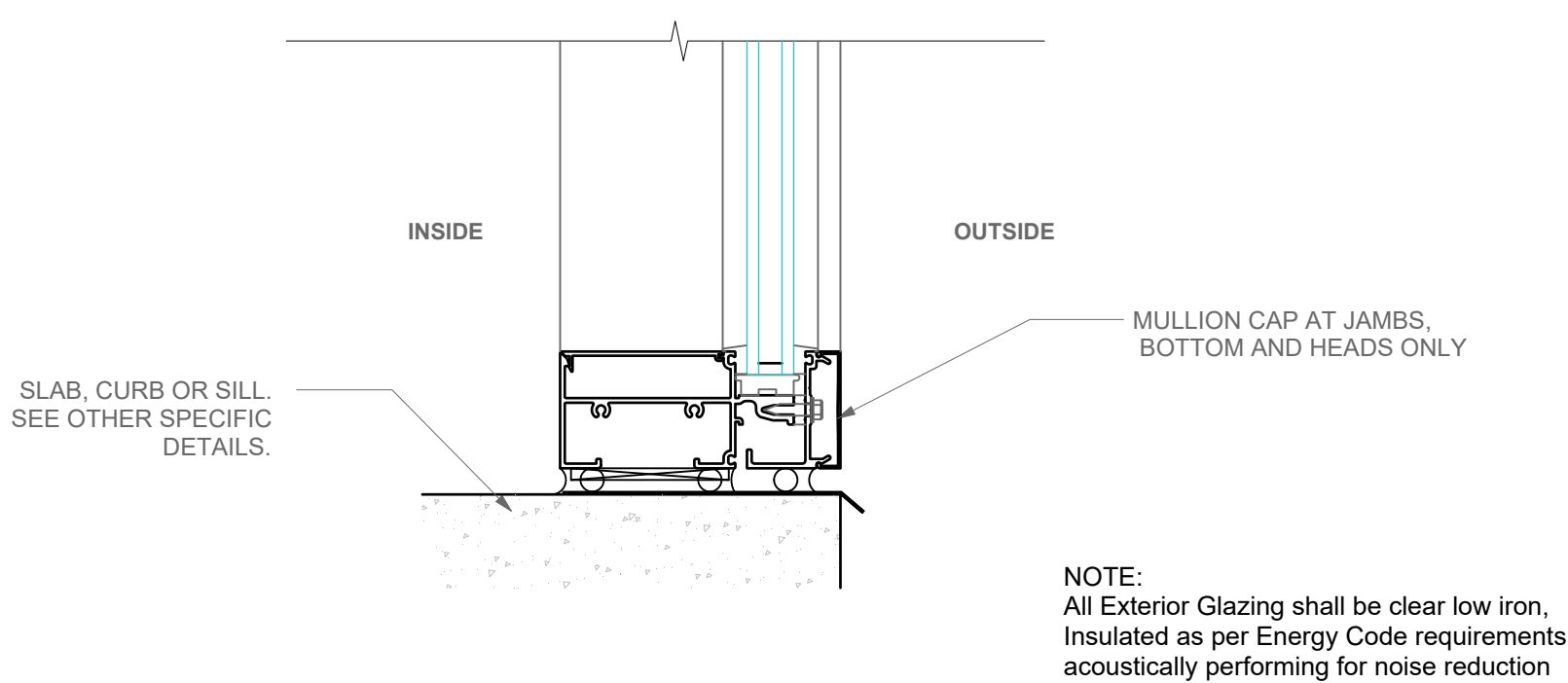
SCALE 3"=1'-0"

TYPICAL WINDOW WALL HEAD DETAIL



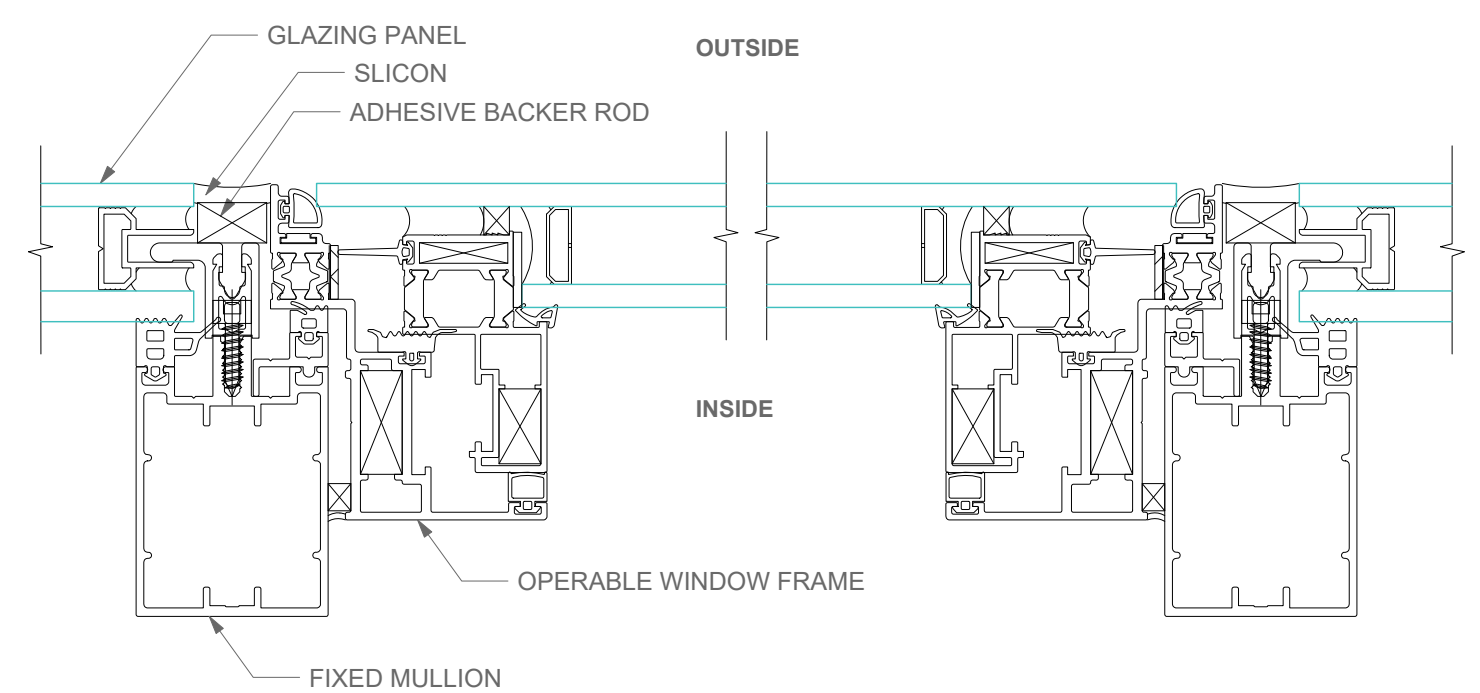
SCALE 3"=1'-0"

TYPICAL WINDOW WALL HORIZONTAL OR
VERTICAL GLAZING JOINT



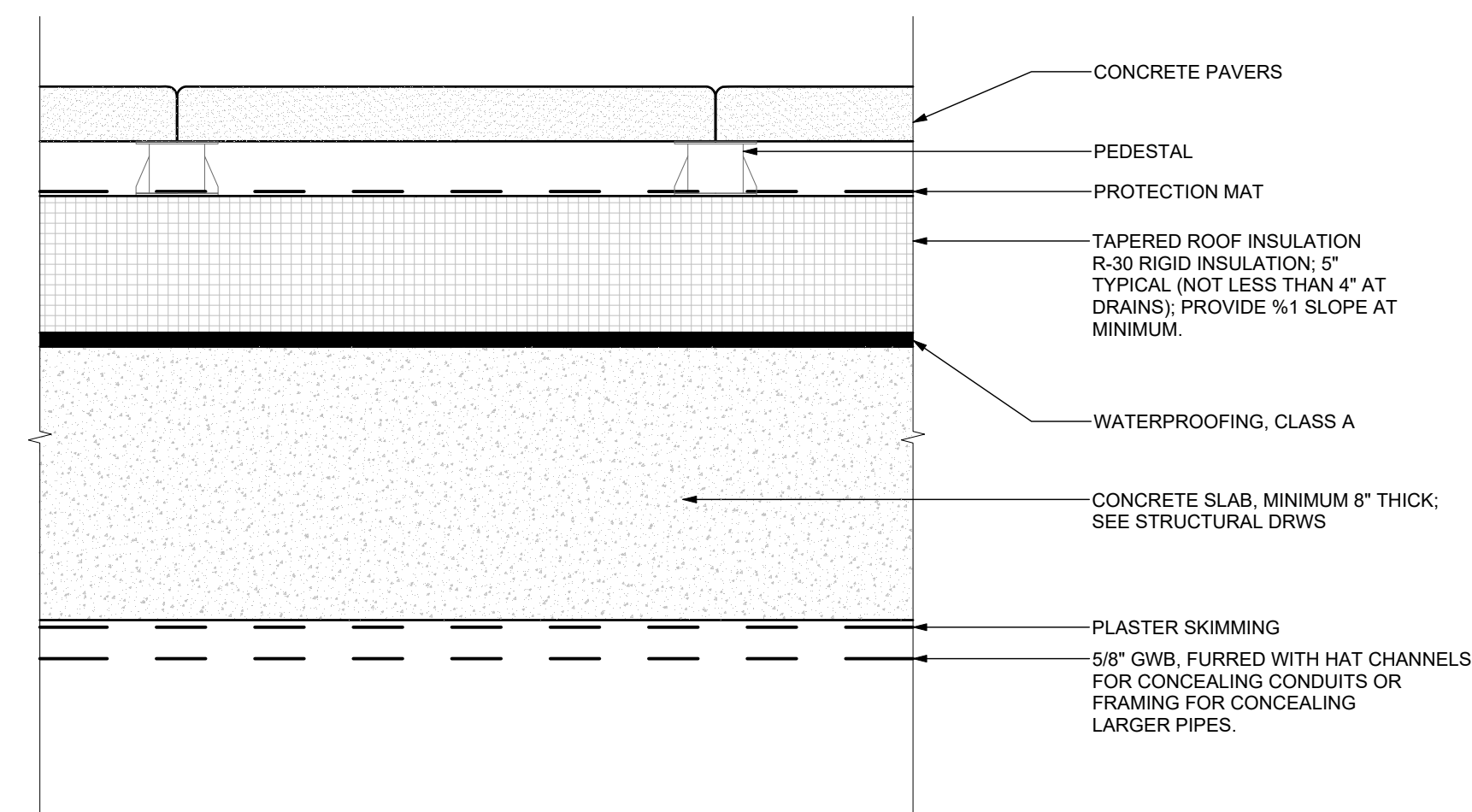
SCALE 3"=1'-0"

TYPICAL WINDOW WALL SILL OR JAMB DETAIL



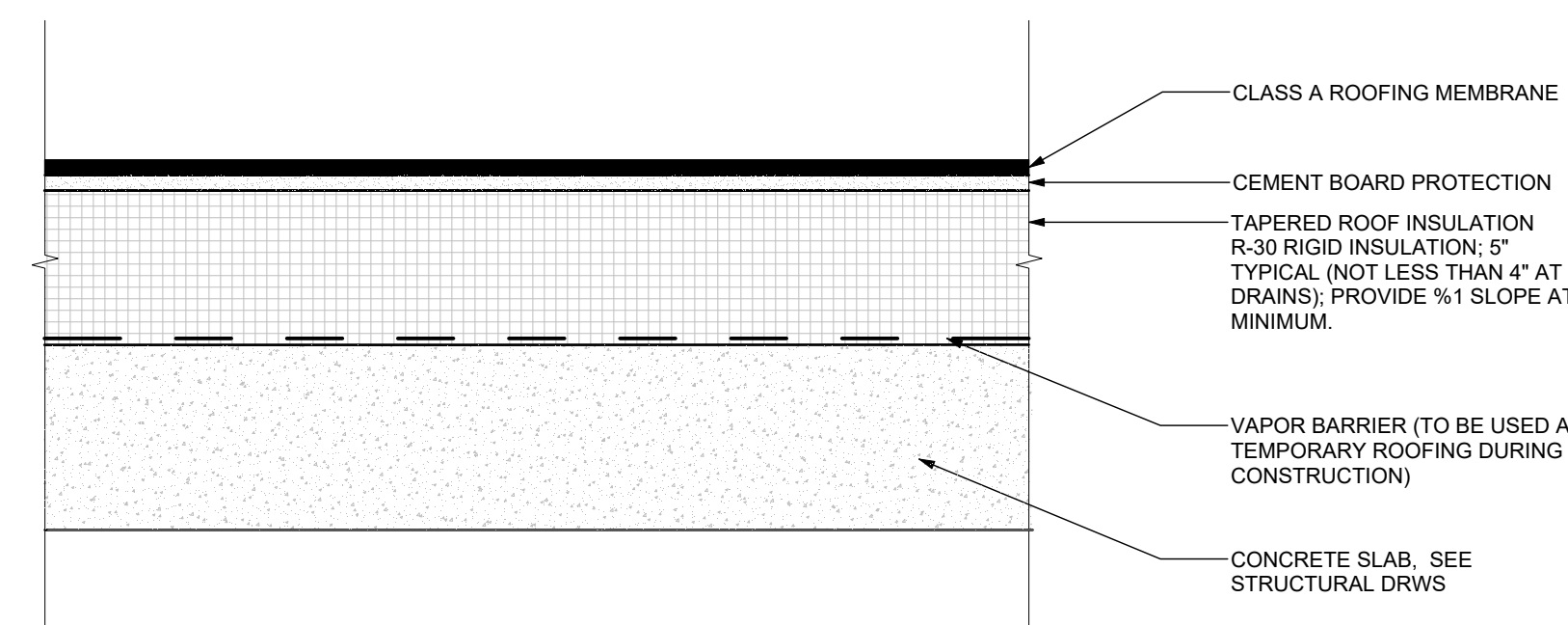
SCALE 3"=1'-0"

TYPICAL PROJECTING WINDOW MULLION DETAIL



SCALE 2"=1'-0"

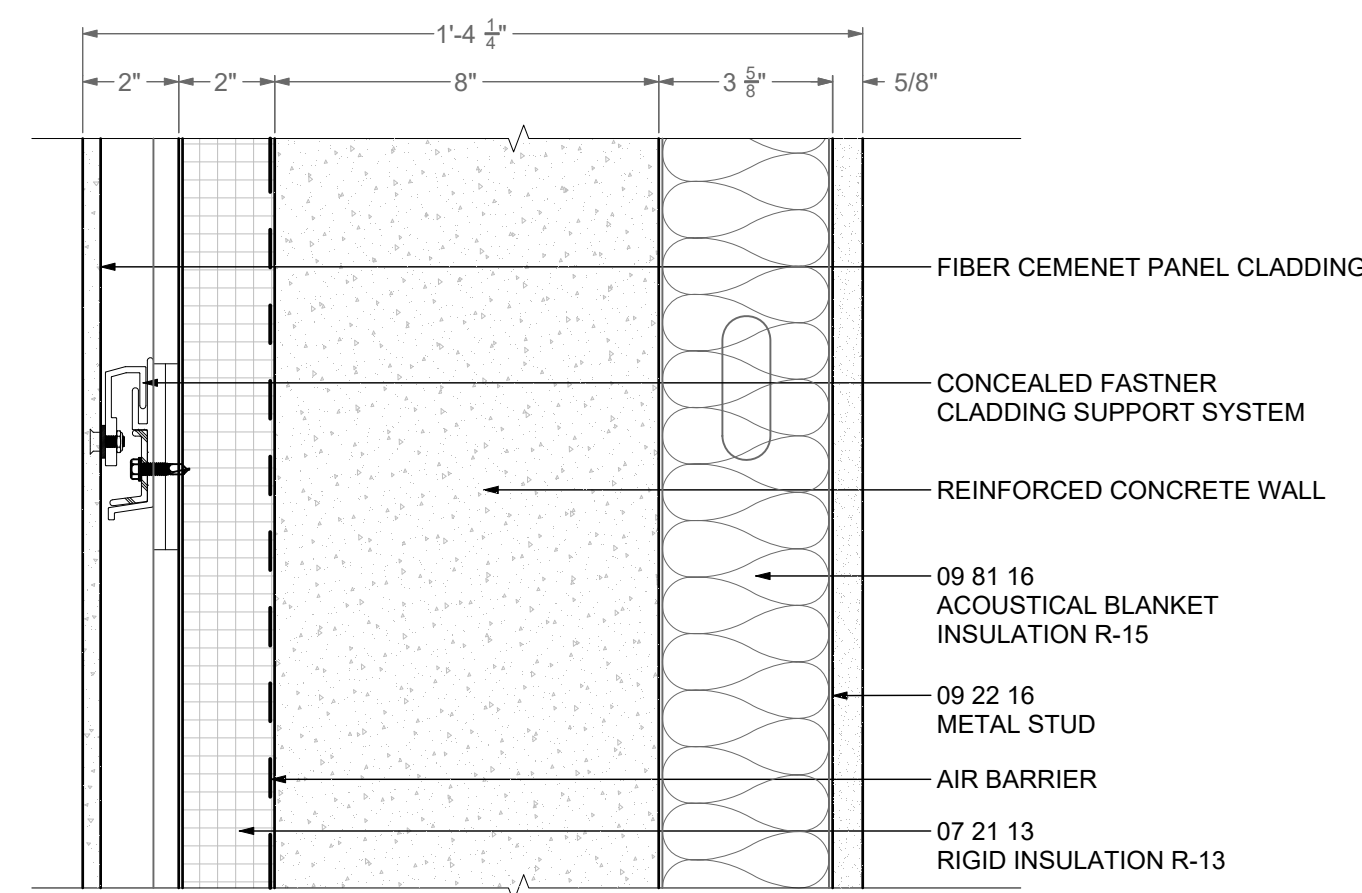
TYPICAL WALKABLE ROOF ASSEMBLY



SCALE 2"=1'-0"

TYPICAL NON-WALKABLE ROOF ASSEMBLY

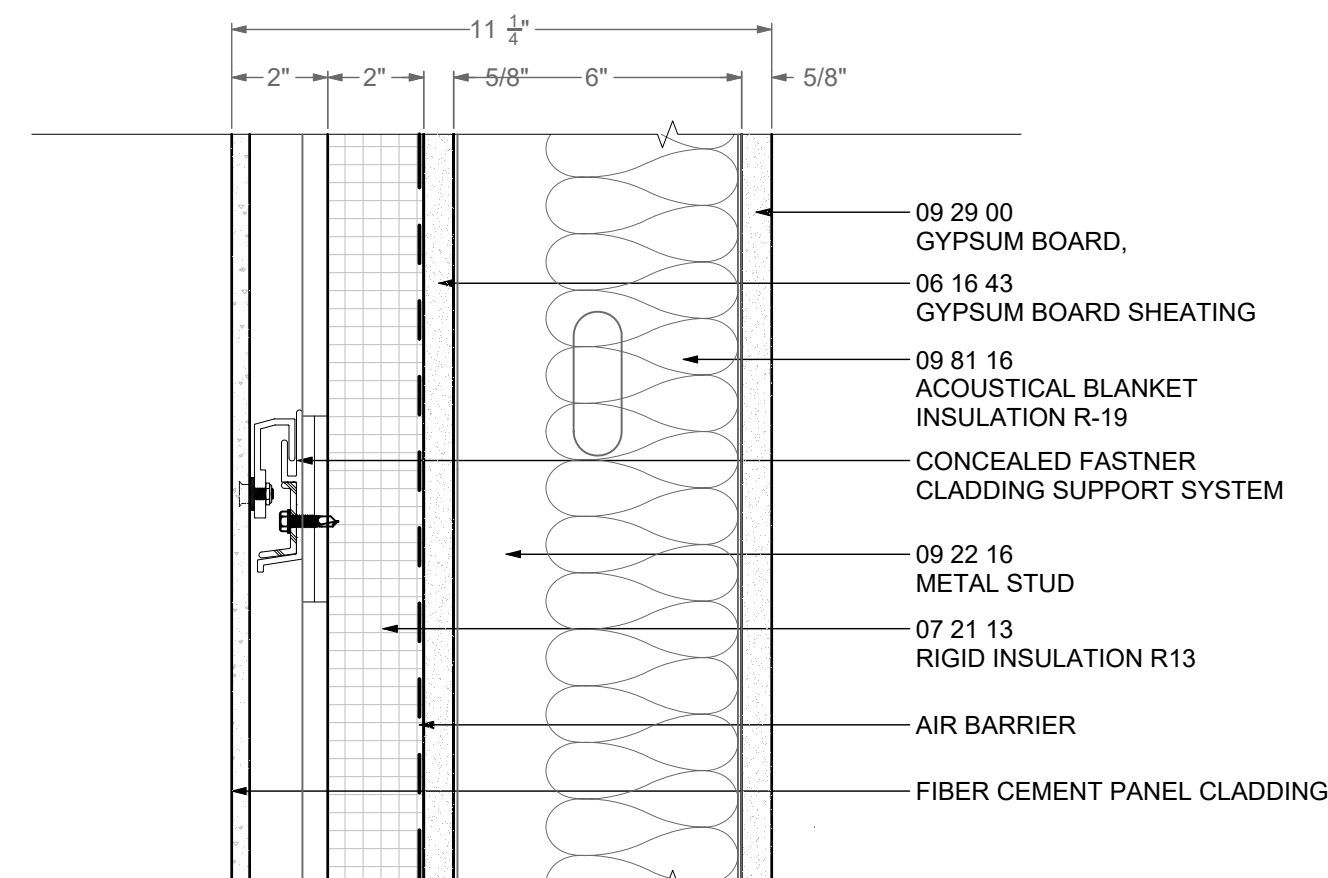
NOTE:
All facade assembly has to be non-combustible
Only non-combustible mineral wool insulation shall be used.



SCALE 3"=1'-0"

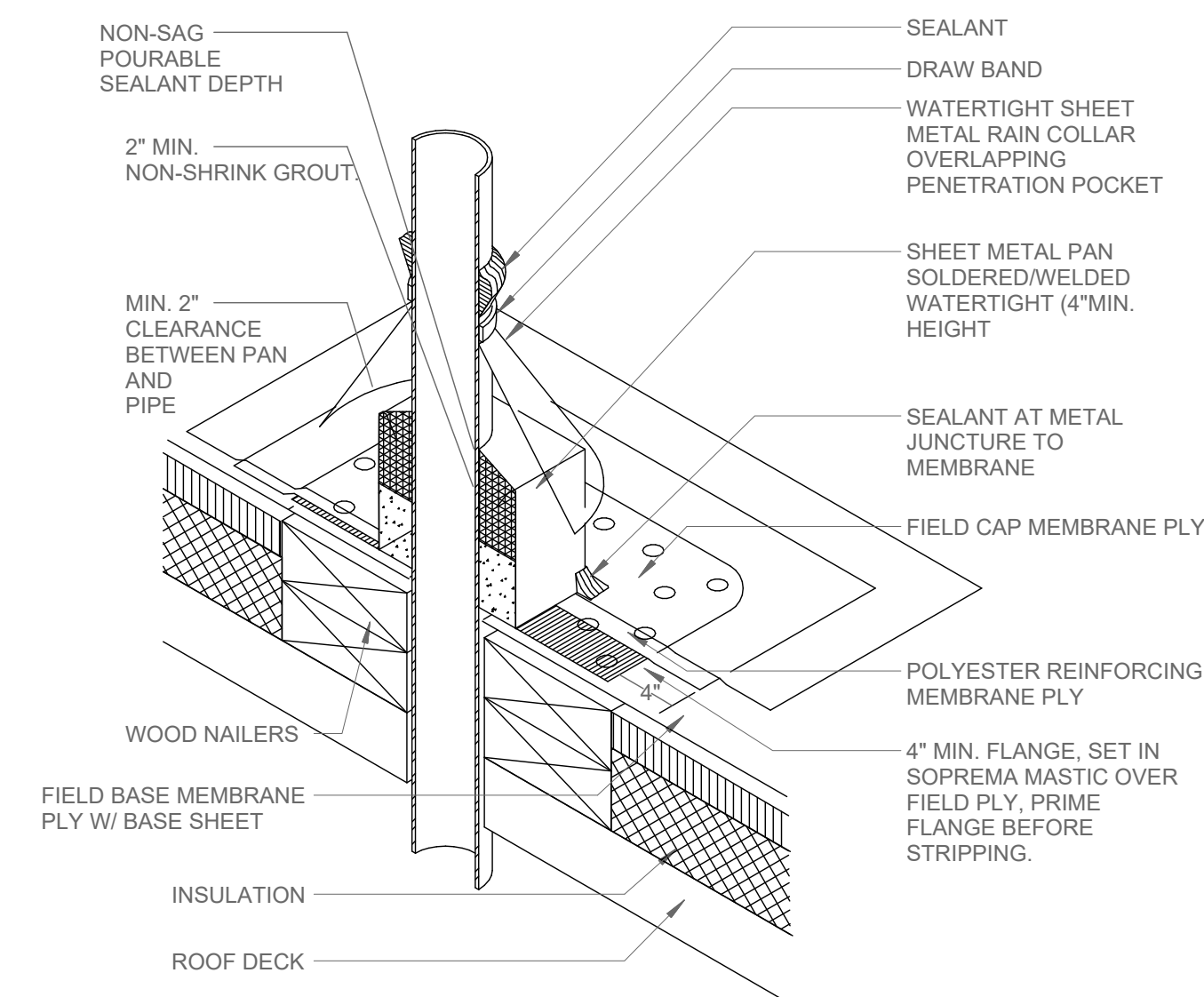
TYPICAL FACADE CLADDING DETAIL AT CONCRETE WALL

NOTE:
All facade assembly has to be
non- combustible
Only non-combustible mineral wool
insulation shall be used.



SCALE 3"=1'-0"

TYPICAL FACADE CLADDING DETAIL AT STUD WALL



TYP ROOF PENETRATION DETAIL 3

PROJECT NAME:

JC325

OWNER NAME:
BGT Enterprises
189 BRUNSWICK STREET,
JERSEY CITY NJ 07302
T 201-656-7200

PROJECT ADDRESS

325 NEWARK AVE
JERSEY CITY
HUDSON COUNTY, NEW JERSEY 07302

ARCHITECT OF RECORD

MURAT MUTLU, AIA

225 West 36th Street #506, New York NY 10018
T: 212 564 0094

DESIGNER

INOA | International Office of Architects

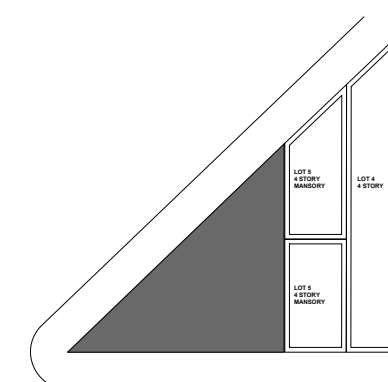
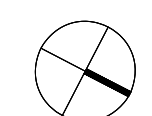
42 Fayette Street, Cambridge MA 02138

Tel: 607-262-0368
email: info@in-oa.com

ENGINEERS.

[illegible]

KEY PLAN:



APPROVAL

DWG TITLE

TYPICAL ENVELOPE DETAILS

SEAL & SIGNATURE

DATE: 01/07/2021

SCALE:

DRAWING NO:

Z800.00

