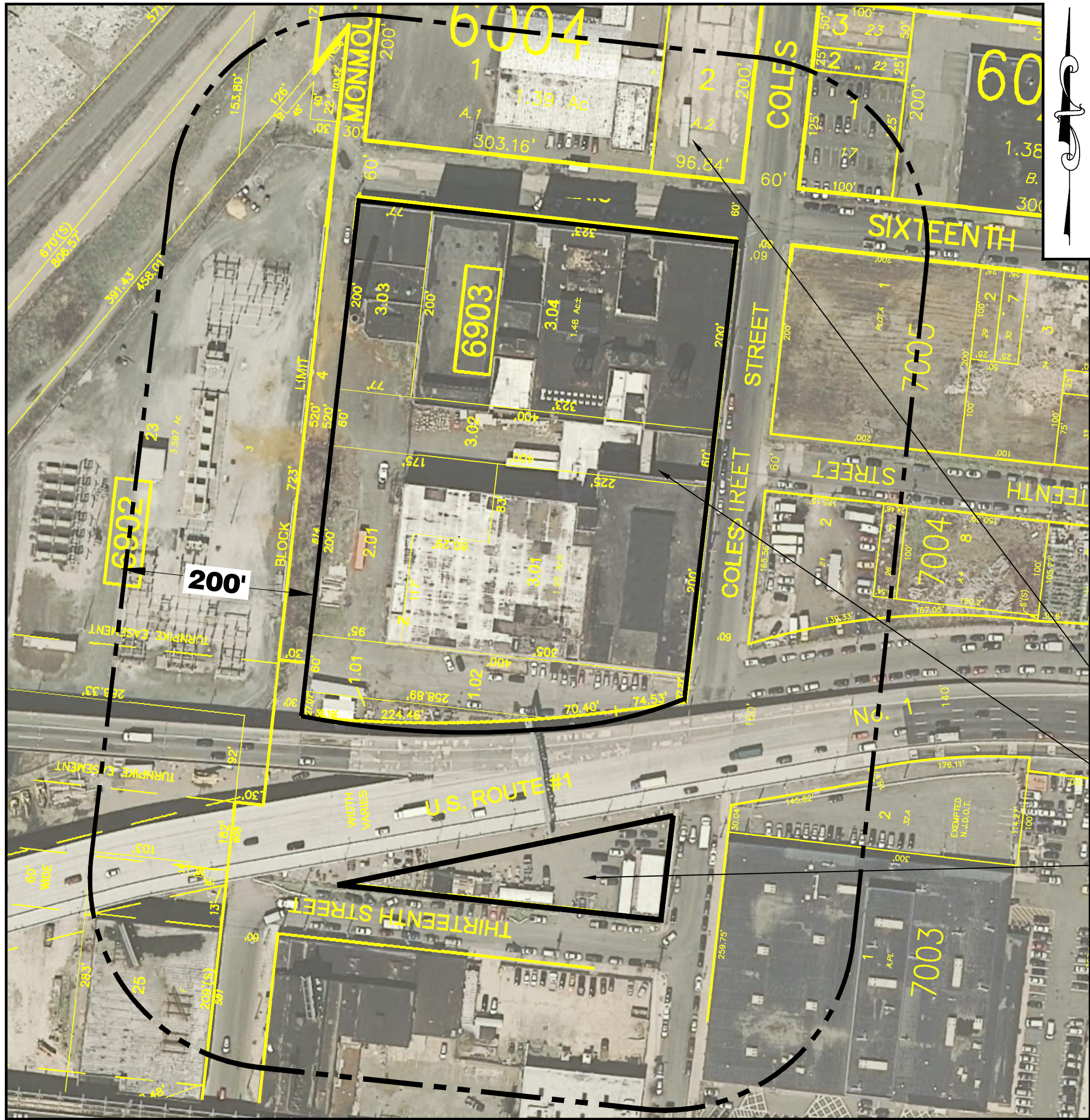


PLAN AMENDMENTS TO PHASE III
EMERSON BUILDING COMPLEX
SITE PLAN - ARCHITECTURAL DRAWING SET
BLOCK 6903, LOTS 3.04
CITY OF JERSEY CITY, COUNTY OF HUDSON, NEW JERSEY



200' FOOT RADIUS MAP

SOURCE: 1. PORTIONS OF THE CITY OF JERSEY CITY TAX MAP SHEETS 60, 66, 70 AND 71 WITH GOOGLE EARTH OVERLAY

HORIZONTAL SCALE: 1"=100'

CLIENT

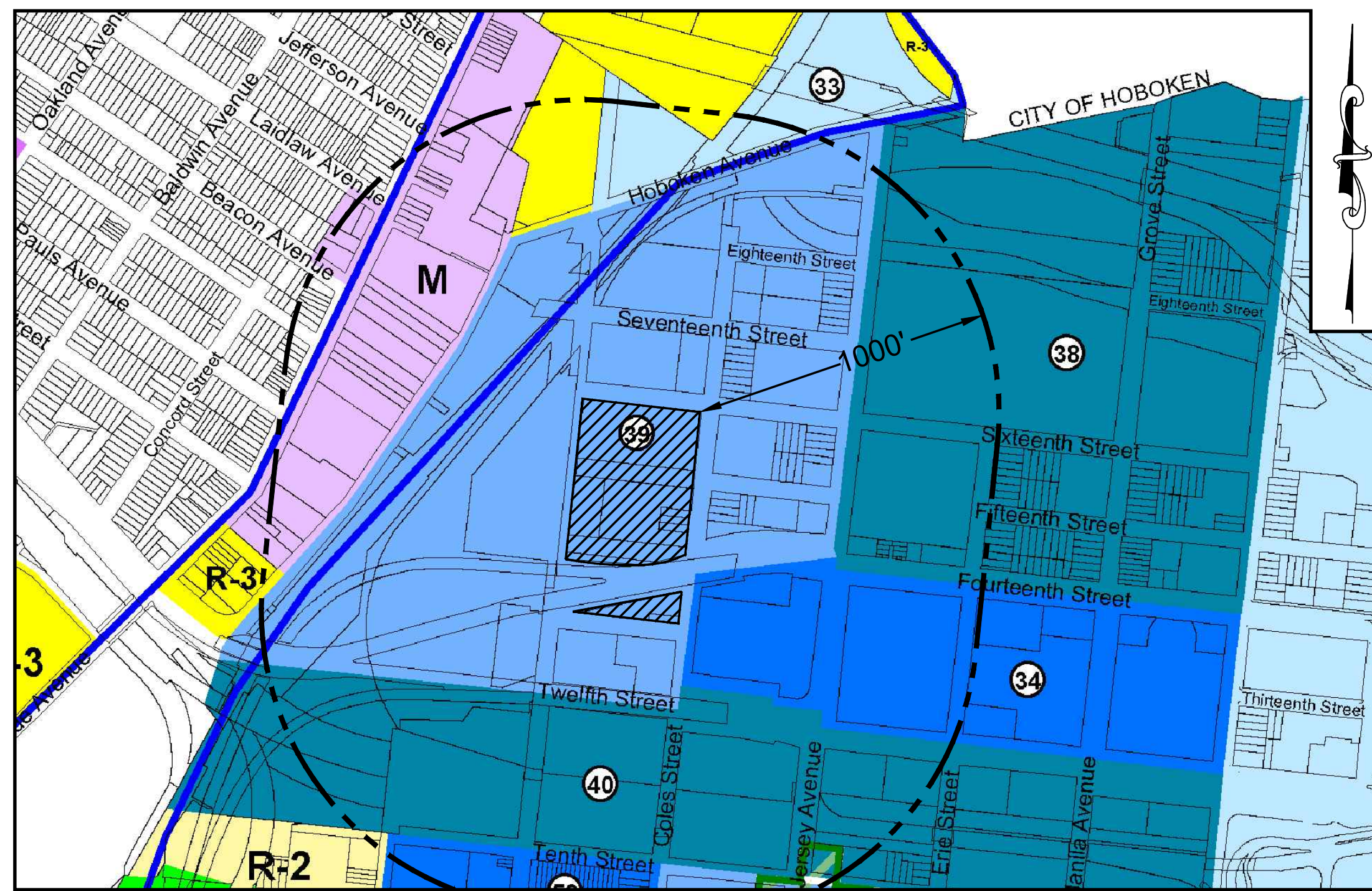
PHASE III: EMERSON
LEASING CO. III LLC
300 COLES STREET, SUITE 2
JERSEY CITY, NJ 07310
TEL: (201) 656-0314



JERSEY AVENUE PARK REDEVELOPMENT PLAN

SOURCE: JERSEY AVENUE PARK REDEVELOPMENT PLAN WITH AMENDED DATE OF JULY 19, 2017.

HORIZONTAL SCALE: 1"=400'



ZONING MAP

SOURCE: JERSEY CITY ZONING MAP WITH AMENDED DATE OF AUGUST 25, 2010.

HORIZONTAL SCALE: 1"=400'

LIST OF ARCHITECTURAL DRAWINGS	
ARCHITECTURAL	
1	G-001(PH3) GENERAL INFORMATION
2	G-002(PH3) ZONING TABLES, UNIT & PARKING COUNTS
3	A-114.1(PH3) BLDG CD - BASEMENT FLOOR PLAN
4	A-115(PH3) BLDG CD - FIRST FLOOR PLAN
5	A-116(PH3) BLDG CD - SECOND TO FIFTH FLOOR PLAN
6	A-117(PH3) BLDG CD - SIXTH FLOOR PLAN AND ROOF PLAN
7	A-204(PH3) BLDG B - EXISTING ELEVATIONS
8	A-204.1(PH3) BLDG CD- 15TH STREET BUILDING ELEVATION - SOUTH
9	A-205(PH3) BLDG CD - 16TH STREET BUILDING ELEVATION - NORTH

CERTIFICATIONS	
CITY OF JERSEY CITY	
APPROVED BY THE PLANNING BOARD OF THE CITY OF JERSEY CITY AT A MEETING HELD ON THE DAY OF 20 . . .	
CHAIRMAN	DATE
SECRETARY	DATE
CITY ENGINEER	DATE

PREPARED FOR:
**STATCO DEVELOPMENT
GROUP, LLC**

300 COLES STREET
SUITE 2
JERSEY CITY, NEW JERSEY 07310
T: 201.656.0314

PROJECT:
**EMERSON LOFTS
PHASE III**

BLOCK 6903, LOT 3.04
316 15TH STREET
JERSEY CITY, HUDSON COUNTY, NJ

Urban
architecture llc
300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314

RONALD J. RUSSELL, RA
NJ LICENSE NUMBER A-11489

ISSUES:	
NO.	DESCRIPTIONS
11	PHASE 3 AMENDMENTS-REVISED

ISSUES:	
NO.	DESCRIPTIONS
1	PLANNING BOARD SUBMISSION
2	PLANNING DEPT. RESUBMISSION
3	FINAL / PRELIMINARY SITE PLAN
4	FINAL SITE PLAN - PHASE I
5	FINAL SITE PLAN - PHASES 2, 3 & 4
6	FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION
7	FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION #2
8	FINAL SITE PLAN - PHASES 2, 3 & 4 AMENDMENT
9	CONFORMED SUBMITTAL
10	PHASE 3 AMENDMENTS

DRAWING TITLE:
GENERAL INFORMATION

DRAWING NUMBER:
G-001(PH3)

1
9

ZONING DISTRICT			
JERSEY AVENUE PARK REDEVELOPMENT PLAN - EMERSON DISTRICT - PHASE III			
STANDARD	REQUIRED/PERMITTED	PROVIDED	DEVIATION
PRINCIPAL PERMITTED USE	MULTI-FAMILY RESIDENTIAL, OFFICES, RETAIL, RESTAURANTS, THEATERS, PUBLIC USES, BILLBOARDS, MIXED-USE OF THE ABOVE, OPEN SPACE & PARKS	RESIDENTIAL, RETAIL	NO
REQUIRED RETAIL	RETAIL TO BE PROVIDED IN ACCORDANCE WITH GROUND FLOOR FRONTAGE MAP	RETAIL PROVIDED	NO
ACCESSORY USE	OFF STREET PARKING & LOADING, HOME OCCUPATION	OFF STREET LOADING (PARKING NOT REQUIRED)	NO
BUILDING HEIGHT			
STORIES	EXISTING 5 STORIES WITH NO APPARENT CHANGE TO HEIGHT	EXISTING 5 STORIES - NO CHANGE	NO
HEIGHT IN FEET	79'-8" GRADE TO ROOF (AT HIGHEST POINT)	EXISTING 79'-8"	NO
RESIDENTIAL CEILING HEIGHTS	EXISTING	EXISTING	NO
GROUND FLR & AMENITY CEILING HEIGHTS	EXISTING	EXISTING	NO
ROOFTOP ELEVATOR LOBBY ADDITION HEIGHT	BUILDINGS 49'-100' IN HEIGHT - 12' OR 20% OF BUILDING HEIGHT, WHICHEVER IS GREATER FOR BUILDINGS WITHOUT COMMON ROOFTOP AMENITY SPACE. FOR BUILDINGS WITH COMMON ROOFTOP AMENITY SPACES A TOTAL OF 20 FEET SHALL BE PERMITTED.	12'-0". NOT VISIBLE FROM NEIGHBORING STREETS	NO
STAIR/ELEVATOR BULKHEAD HEIGHT	EXISTING	EXISTING BULKHEADS RECONSTRUCTED. NO HEIGHT CHANGE	NO
ROOFTOP WATER TOWERS	EXISTING TO REMAIN. 1 NEW TOWER PERMITTED ON ROOF OF 5 STORY BASE (D.9.g)	EXISTING TO REMAIN	NO
DENSITY			
GROSS DENSITY	0%	PHASE I (COMPLETED) = 350 UNITS, PHASE II (UNDER CONSTRUCTION) = 340 UNITS, PHASE III = 140 UNITS, PHASE IV = 253 UNITS, TOTAL = 1083 UNITS	NO
BUILDING DESIGN REQUIREMENTS			
STRUCTURE TO REMAIN	NORTHEAST STRUCTURE TO BE RETAINED AND RESTORED (D.13.a)	COMPLIES	NO
ROOFTOP USE OF EXISTING STRUCTURE	AMENITY - RECREATION SPACES, ROOF DECKS, ELEVATOR/STAIR BULKHEADS & ROOFTOP ADDITIONS (D.13.b)	COMPLIES	NO
EXISTING WATER TOWERS	RETAIN AND RESTORE EXISTING ROOFTOP WATER TOWERS (D.13.d)	COMPLIES	NO
SETBACK			
LOT SIZE	N/A	N/A	N/A
SETBACK	EXISTING	COMPLIES	NO
BUILDING & LOT COVERAGE			
LOT AREA	NO REQUIREMENTS	64,600 SF (1.483 ACRES.)	NO
LOT SIZE	NO REQUIREMENTS	323 FEET X 200 FEET	NO
BUILDING COVERAGE	100% EXISTING	100% EXISTING	NO
LOT COVERAGE	100% EXISTING	100% EXISTING	NO
IMPERVIOUS AREA COVERAGE	100% EXISTING	100% EXISTING	NO
SIGNAGE			
RESIDENTIAL	MAX. TWENTY (20) SQUARE FEET (E.2)	TBD	NO
RETAIL	ONE (1) EXTERIOR SIGN PER RETAIL (MAX. 5% OF STORE FRONT) (E.3)	TO BE SUBMITTED BY TENANTS	NO
TEMPORARY CONSTRUCTION SIGNS	ONE (1) SIGN PER PROJECT (MAX. 32 SQUARE FEET) (E.6)	WILL COMPLY	NO
PARKING			
RESIDENTIAL	PARKING NOT REQUIRED FOR EXISTING STRUCTURES	PARKING NOT PROVIDED	NO
RETAIL/REST.	PARKING NOT REQUIRED FOR EXISTING STRUCTURES	PARKING NOT PROVIDED	NO
TOTAL PARKING SPACES	MINIMUM TOTAL REQUIRED = 0	PROVIDED = 0	NO
BICYCLE STORAGE SPACE/BIKE RACKS	.5 PER DU RESIDENTIAL; 4 PER 6,000 SF GFA OFFICE/COMMERCIAL	70' RESIDENTIAL; 26 COMMERCIAL = 96 PROVIDED	NO
LOADING			
OFF STREET LOADING	2 LOADING BERTHS REQUIRED BASED ON 38,400 SF RETAIL TOTAL SF	2 BERTHS PROVIDED	NO
BERTH REQUIREMENTS	MINIMUM BERTH SIZE = 40' LONG X 10' WIDE	40' LONG (EXISTING) X 14' & 15' WIDE	NO
CURB CUTS			
LOADING BERTH #1	LOADING WIDTH 14'-0"	15'-0"	NO
LOADING BERTH #2	LOADING WIDTH 14'-0"	14'-0"	NO
APRON		40'-0"	NO
UNIT SIZES			
STUDIOS	NO SIZE REQUIREMENTS	916 SF	NO
1 BEDROOM	NO SIZE REQUIREMENTS	1,092 SF	NO
2 BEDROOM	NO SIZE REQUIREMENTS	1,388 SF	NO
3 BEDROOM	NO SIZE REQUIREMENTS	1,828 SF	NO
LANDSCAPING/STREET TREES			
STREET TREES	19 STREET TREES ALONG PHASE 3 FRONTAGE - PRIOR APPROVALS	20 STREET TREES (1 TREE ADDED)	NO
LANADSCAPING	EXISTING BUILDING IS FULL LOT COVERAGE - 0% LANDSCAPING - PRIOR APPROVALS	0%	NO
NOTES:			
THERE WILL BE NO FAÇADE MOUNTED LIGHTS. ALL SIDE WALL LIGHTING WILL BE PROVIDED BY STREET LIGHT POLES AS SHOWN ON DRAWING C-16 "LANDSCAPING AND LIGHTING PLAN 1" WHICH INCLUDES PHOTOMETRICS. ALL STREET LIGHTING HAS BEEN APPROVED BY THE CITY OF JERSEY CITY AND PSE&G. THE STREET POLE DETAIL IS INDICATED ON DRAWING C-65.			

1 ZONING TABLES

GROSS SQUARE FOOTAGE	
JERSEY AVENUE PARK REDEVELOPMENT PLAN - EMERSON DISTRICT - PROJECT PHASE III	
	PHASE I (C)
	256,400

3 GROSS SQUARE FOOTAGE

* PHASE III (BUILDING C) ROOFTOP AMENITIES TO BE PROVIDED AFTER CONSTRUCTION OF PHASE 4 FOR RESIDENT SAFETY

UNIT TYPES				TOTAL
STU	1BR	2BR	3BR	
16	84	32	8	140

2A UNIT TYPES

		BUILDING "C" (PHASE III)							
FLOORS		RETAIL	PARKING	STUDIOS	1 BR	2 BR	3 BR	4 BR	5 BR
BSMNT			0						
1	38,383		0	0	0	0	0		
2				4	21	8	2		
3				4	21	8	2		
4				4	21	8	2		
5				4	21	8	2		
TOTALS	38,383	0	16	84	32	8	0	0	140
			11%	60%	23%	6%	0%	0%	

PARKING COUNTS - PHASE III			TYPES			
USE	REQUIRED	PROVIDED	REGULAR	COMPACT	VALET	
RETAIL	0					
RESIDENTIAL	0					
TOTAL PHASE III	0	0	0	0	0	0

PARKING NOTES:
SECTION VI, D.: "THE OFF STREET PARKING REQUIREMENTS SHALL APPLY TO ALL NEW CONSTRUCTION.
REQUIRED PARKING MAY BE PROVIDED ON-SITE OR OFF-SITE ON OTHER PROPERTIES WITH REVIEW AND APPROVAL BY THE PLANNING BOARD AND THE LINKING OF THE PROPERTIES BY DEED." NO PARKING REQUIRED FOR PHASE III

2 UNIT & PARKING COUNTS

PREPARED FOR:

STATCO DEVELOPMENT GROUP, LLC

300 COLES STREET
SUITE 2
JERSEY CITY, NEW JERSEY 07310
T: 201.656.0314

PROJECT:

EMERSON LOFTS
PHASE III

BLOCK 6903, LOT 3.04
316 15TH STREET
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RONALD J. RUSSELL, RA
NJ LICENSE NUMBER A-11489

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ISSUES:

NO.	DESCRIPTIONS	DATE
11	PHASE 3 AMENDMENTS-REVISED	11.08.23

ISSUES:

NO.	DESCRIPTIONS	DATE
1	PLANNING BOARD SUBMISSION	03.29.19
2	PLANNING DEPT. RESUBMISSION	05.08.19
3	FINAL / PRELIMINARY SITE PLAN	09.04.19
4	FINAL SITE PLAN - PHASE I	10.02.19
5	FINAL SITE PLAN - PHASES 2, 3 & 4	11.08.19
6	FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION	04.24.20
7	FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION #2	06.11.20
8	FINAL SITE PLAN - PHASES 2, 3 & 4 AMENDMENT	09.01.20
9	CONFORMED SUBMITTAL	01.07.21
10	PHASE 3 AMENDMENTS	09.18.23

DRAWING TITLE:

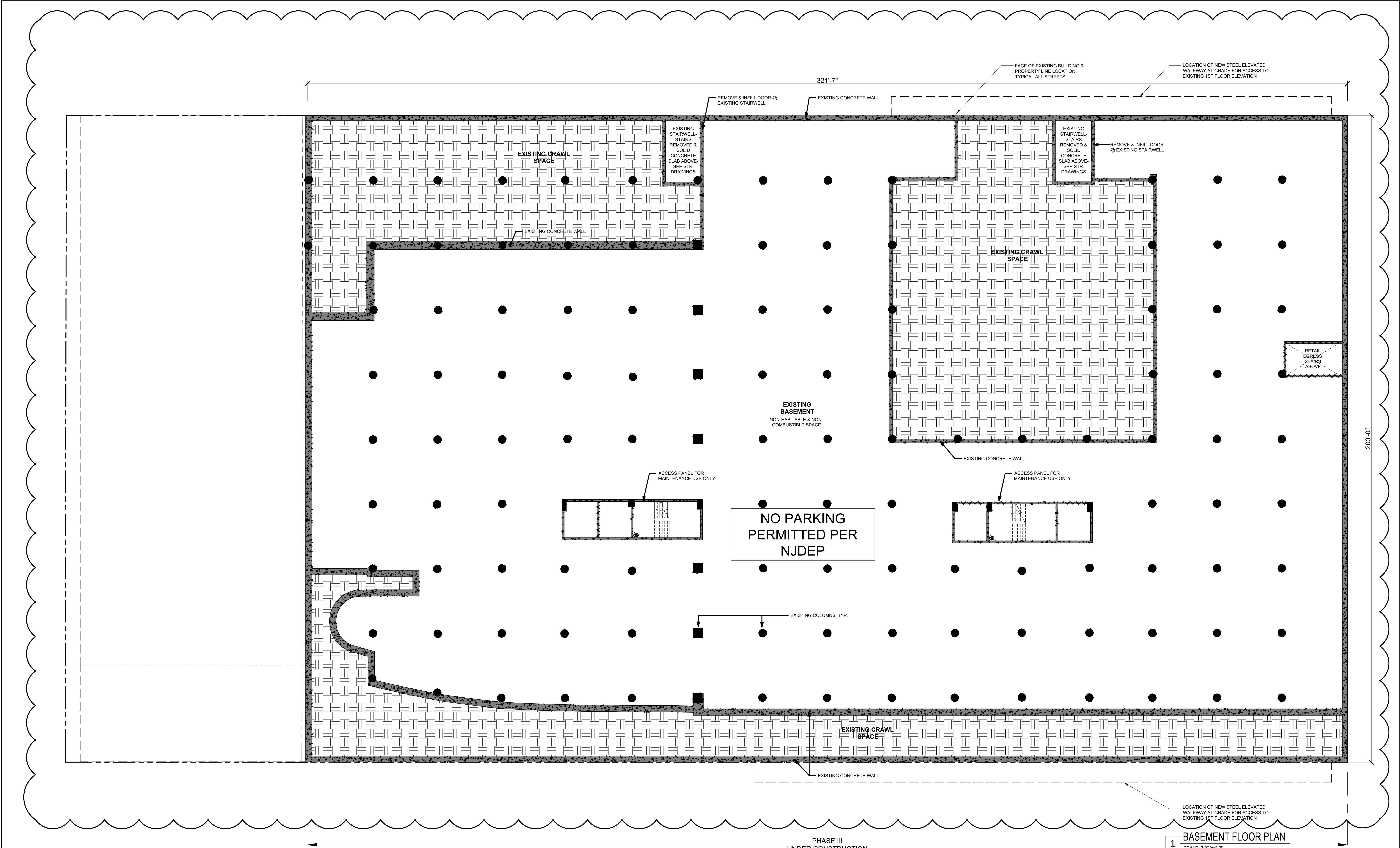
ZONING TABLES
UNIT & PARKING COUNTS

DRAWING NUMBER:

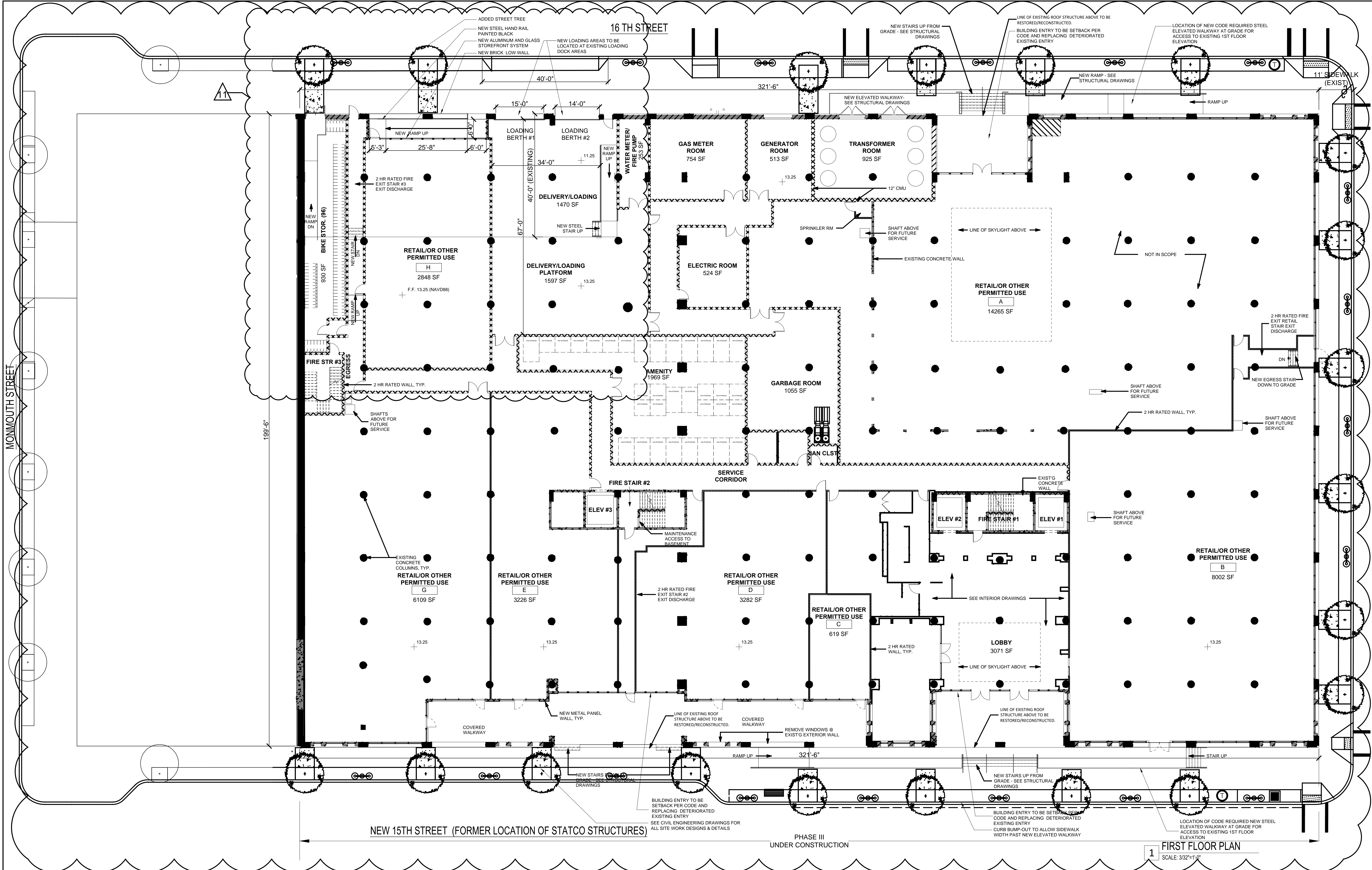
G-002(PH3)

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<div>PREPARED FOR: STATCO DEVELOPMENT GROUP, LLC 300 COLES STREET SUITE 2 JERSEY CITY, NEW JERSEY 07310 T: 201.656.0314</div>	<div>PROJECT: EMERSON LOFTS PHASE III BLOCK 6903, LOT 3.04 316 15TH STREET JERSEY CITY, HUDSON COUNTY, NJ</div>	<div>Urban architecture llc 300 Coles Street, Suite 2 Jersey City, New Jersey 07310 T 201.656.0314</div>	<div> RONALD J. RUSSELL, RA N.J. LICENSE NUMBER 111405 <small>All rights reserved. The drawings are the intellectual property of Urban Architecture LLC. They are to be used only for the project and cannot be used for any other project without the written consent of Urban Architecture LLC.</small></div>	<div>ISSUES:</div> <table><thead><tr><th>NO.</th><th>DESCRIPTIONS</th><th>DATE</th></tr></thead><tbody><tr><td>11</td><td>PHASE 3 AMENDMENTS-REVISED</td><td>11.08.23</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> 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1 FIRST FLOOR PLAN
SCALE: 3/32"=1'-0"

PREPARED FOR:
STATCO DEVELOPMENT GROUP, LLC

300 COLES STREET
SUITE 2
JERSEY CITY, NEW JERSEY 07310
T: 201.656.0314

PROJECT:
**EMERSON LOFTS
PHASE III**

BLOCK 6903, LOT 3.04
316 15TH STREET
JERSEY CITY, HUDSON COUNTY, NJ

Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314

RONALD J. RUSSELL, RA
N.J. LICENSE NUMBER 11405

ISSUES:		
NO.	DESCRIPTIONS	DATE
11	PHASE 3 AMENDMENTS-REVISED	11.08.23

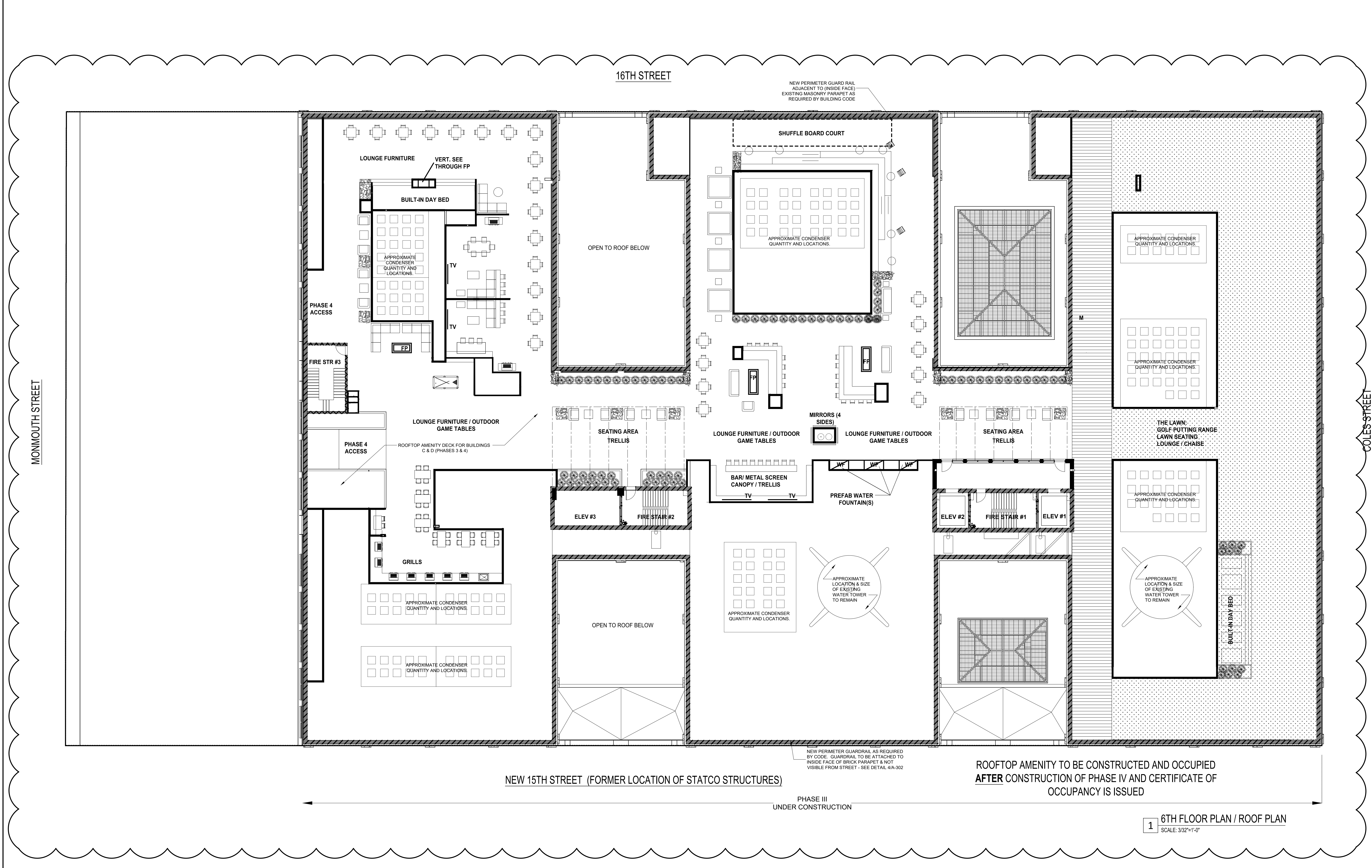
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NO.	DESCRIPTIONS	DATE
1	PLANNING BOARD SUBMISSION	03.29.19
2	PLANNING DEPT. RESUBMISSION	05.08.19
3	FINAL / PRELIMINARY SITE PLAN	09.04.19
4	FINAL SITE PLAN - PHASE I	10.02.19
5	FINAL SITE PLAN - PHASES 2, 3 & 4	11.08.19
6	FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION	04.24.20
7	FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION #2	06.11.20
8	FINAL SITE PLAN - PHASES 2, 3 & 4 AMENDMENT	09.01.20
9	CONFORMED SUBMITTAL	01.07.21
10	PHASE 3 AMENDMENTS	09.18.23

DRAWING TITLE:
EXISTING BUILDING "C" (PHASE III)

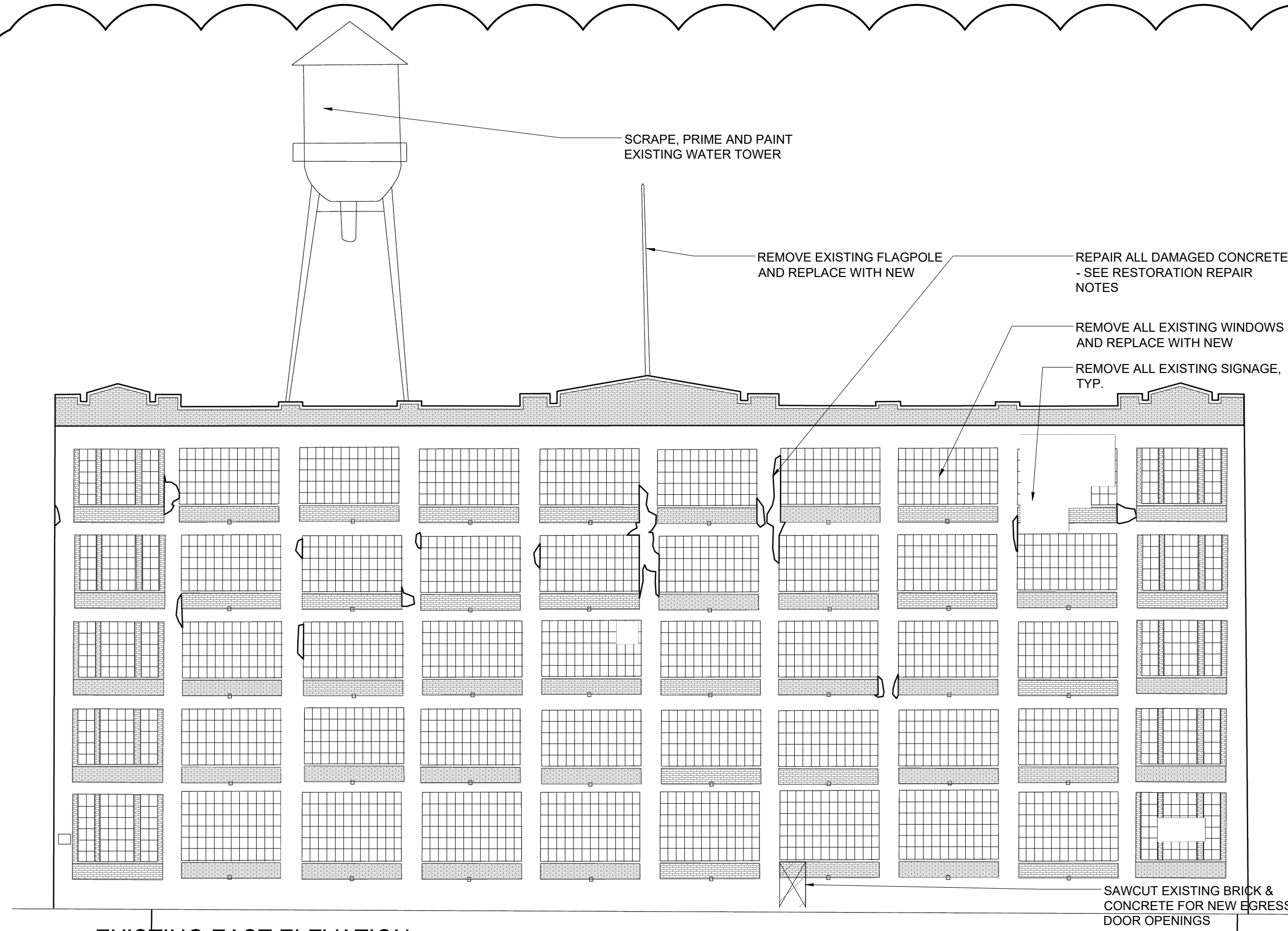
FIRST FLOOR PLAN

DRAWING NUMBER:
A-115 (PH3)

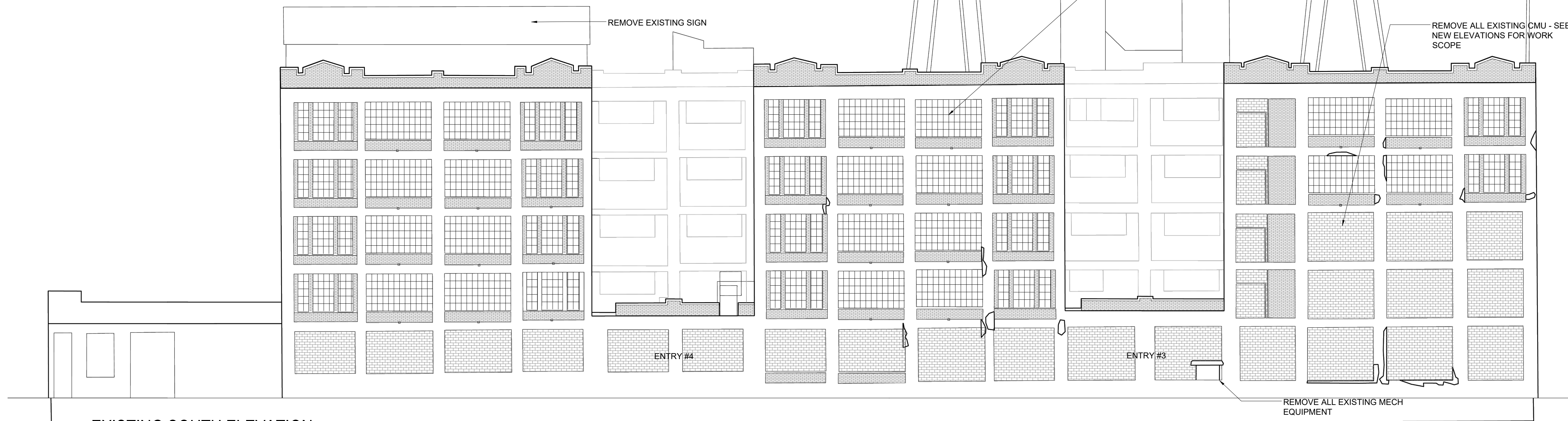
4
9



<div>PREPARED FOR:</div> <div>STATCO DEVELOPMENT GROUP, LLC</div> <div>300 COLES STREET SUITE 2 JERSEY CITY, NEW JERSEY 07310</div> <div>T: 201.656.0314</div>	<div>PROJECT:</div> <div>EMERSON LOFTS PHASE III</div> <div>BLOCK 6903, LOT 3.04 316 15TH STREET JERSEY CITY, HUDSON COUNTY, NJ</div>	<div><div>Urban architecture llc</div><div>300 Coles Street, Suite 2 Jersey City, New Jersey 07310 T 201.656.0314</div></div>	<div><div>RONALD J. RUSSELL, RA NJ LICENSE NUMBER A-11485</div><div><small>All rights reserved. The Urban architecture llc and the Intellectual property of Urban Architecture LLC. No part may be copied, altered, or used without express written consent by Urban Architecture LLC.</small></div></div>	<div>ISSUES:</div> <table><thead><tr><th>NO.</th><th>DESCRIPTIONS</th><th>DATE</th></tr></thead><tbody><tr><td>11</td><td>PHASE 3 AMENDMENTS-REVISED</td><td>11.08.23</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></tbody></table>			NO.	DESCRIPTIONS	DATE	11	PHASE 3 AMENDMENTS-REVISED	11.08.23																															<div>ISSUES:</div> <table><thead><tr><th>NO.</th><th>DESCRIPTIONS</th><th>DATE</th></tr></thead><tbody><tr><td>1</td><td>PLANNING BOARD SUBMISSION</td><td>03.29.19</td></tr><tr><td>2</td><td>PLANNING DEPT. RESUBMISSION</td><td>05.08.19</td></tr><tr><td>3</td><td>FINAL / PRELIMINARY SITE PLAN</td><td>09.04.19</td></tr><tr><td>4</td><td>FINAL SITE PLAN - PHASE I</td><td>10.02.19</td></tr><tr><td>5</td><td>FINAL SITE PLAN - PHASES 2, 3 & 4</td><td>11.08.19</td></tr><tr><td>6</td><td>FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION</td><td>04.24.20</td></tr><tr><td>7</td><td>FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION #2</td><td>06.11.20</td></tr><tr><td>8</td><td>FINAL SITE PLAN - PHASES 2, 3 & 4 AMENDMENT</td><td>09.01.20</td></tr><tr><td>9</td><td>CONFORMED SUBMITTAL</td><td>01.07.21</td></tr><tr><td>10</td><td>PHASE 3 AMENDMENTS</td><td>09.18.23</td></tr></tbody></table>			NO.	DESCRIPTIONS	DATE	1	PLANNING BOARD SUBMISSION	03.29.19	2	PLANNING DEPT. RESUBMISSION	05.08.19	3	FINAL / PRELIMINARY SITE PLAN	09.04.19	4	FINAL SITE PLAN - PHASE I	10.02.19	5	FINAL SITE PLAN - PHASES 2, 3 & 4	11.08.19	6	FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION	04.24.20	7	FINAL SITE PLAN - PHASES 2, 3 & 4 RESUBMISSION #2	06.11.20	8	FINAL SITE PLAN - PHASES 2, 3 & 4 AMENDMENT	09.01.20	9	CONFORMED SUBMITTAL	01.07.21	10	PHASE 3 AMENDMENTS	09.18.23	<div>DRAWING TITLE:</div> <div>EXISTING BUILDING "C" (PHASE III)</div> <div>SIXTH FLOOR PLAN / ROOF PLAN</div> <div><div>DRAWING NUMBER:</div><div>A-117(PH3)</div><div>69</div></div>	
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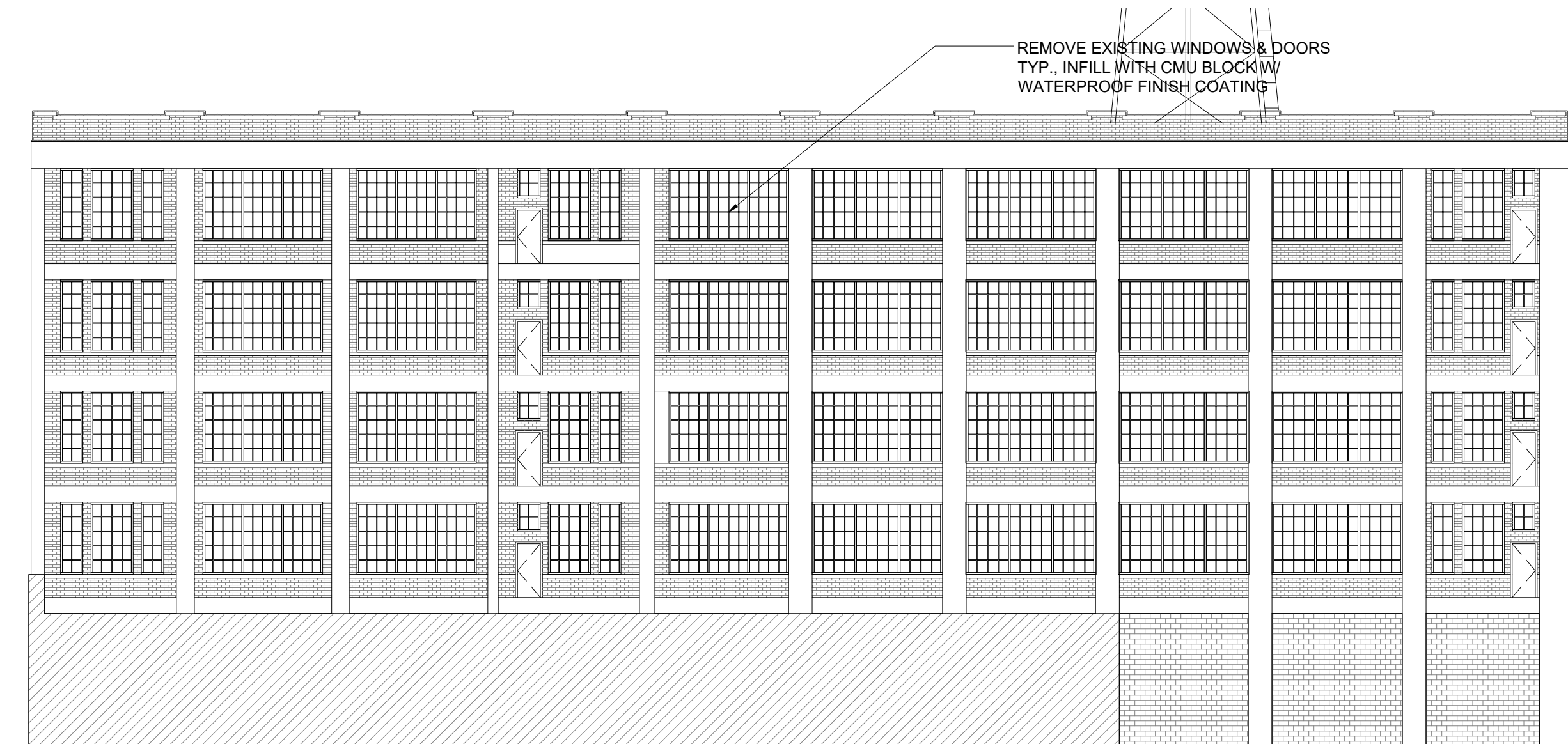
1 EXISTING EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 EXISTING SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 EXISTING NORTH ELEVATION
SCALE: 1/16" = 1'-0"



3 EXISTING WEST ELEVATION
SCALE: 1/16" = 1'-0"



5 ENTRY 3 & 4 EXISTING CONDITIONS PHOTO
SCALE: NTS



6 EXISTING PHASE III WEST ELEVATION
SCALE: NTS



7 EXISTING PHASE III SOUTH ELEVATION
SCALE: NTS



8 ENTRY 1 EXISTING CONDITIONS PHOTO
SCALE: NTS



9 ENTRY 2 EXISTING CONDITIONS PHOTO
SCALE: NTS

PREPARED FOR:
STATCO DEVELOPMENT GROUP, LLC

300 COLES STREET
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T: 201.656.0314

PROJECT:
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PHASE III**

BLOCK 6903, LOT 3.04
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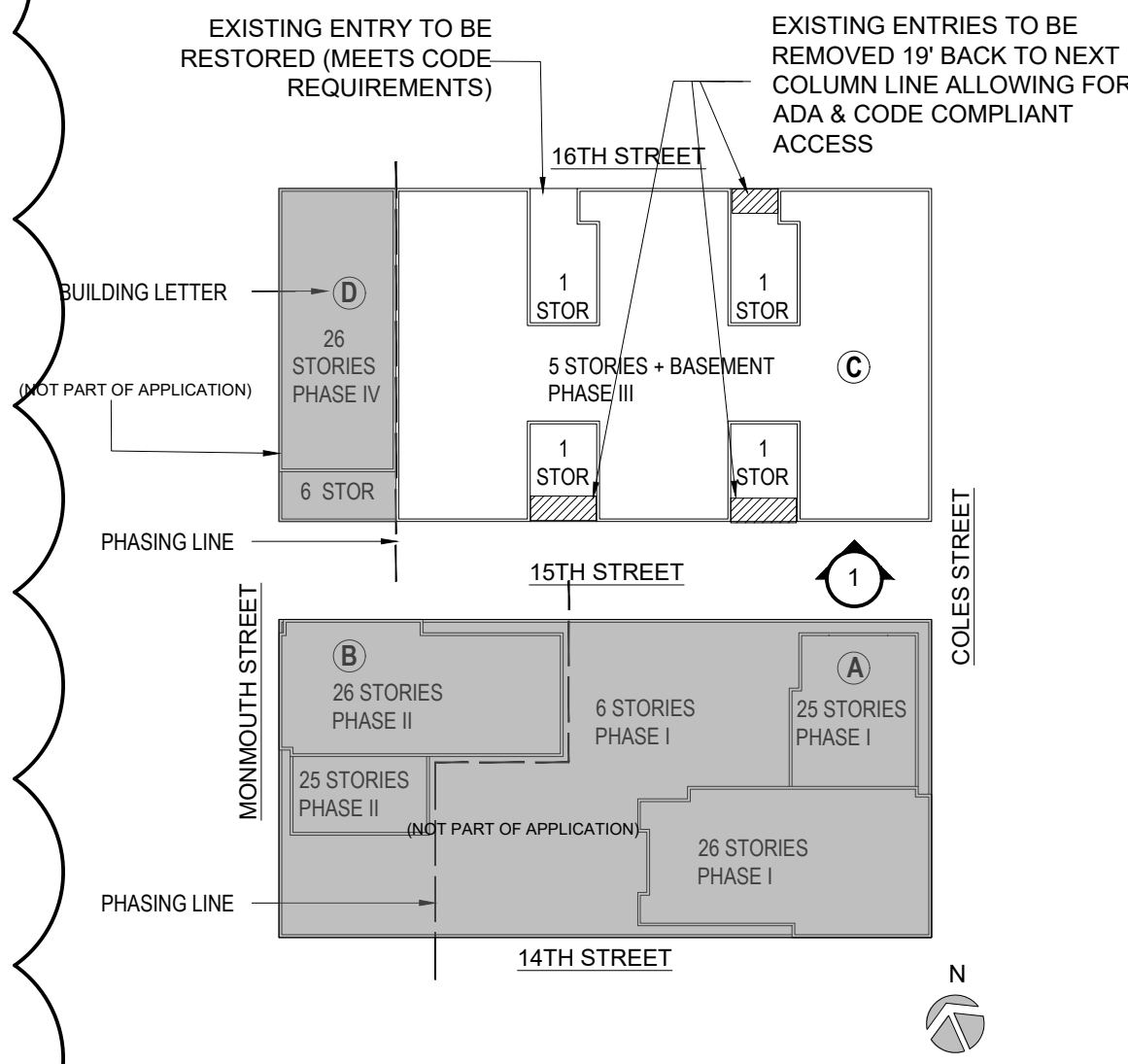
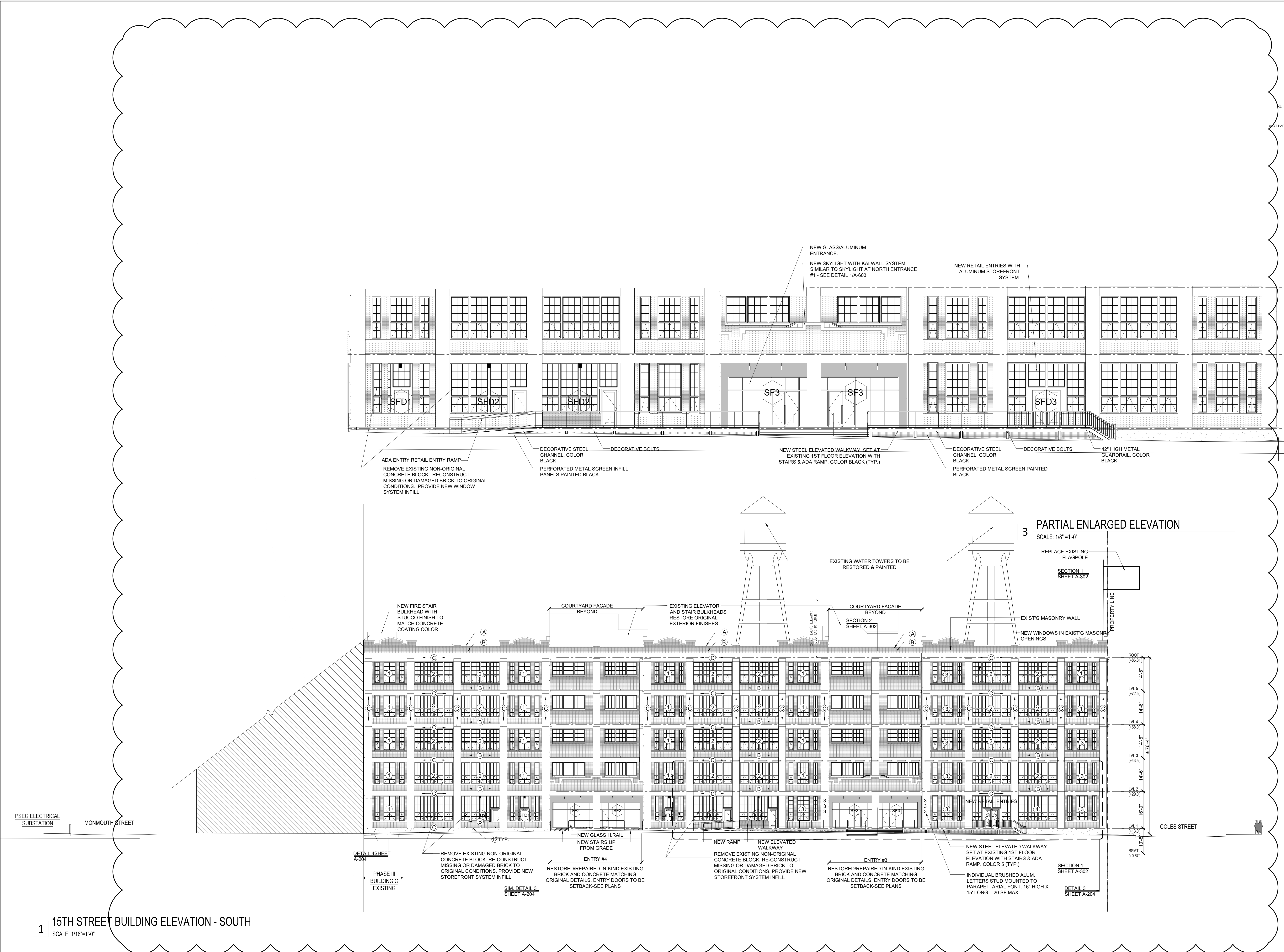
RONALD J. RUSSELL, RA
N.J. LICENSE NUMBER 14086

ISSUES:		DATE
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11	PHASE 3 AMENDMENTS-REVISED	11.08.23

ISSUES:		DATE
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1	PLANNING BOARD SUBMISSION	03.29.18
2	PLANNING DEPT. RESUBMISSION	05.08.18
3	FINAL / PRELIMINARY SITE PLAN	09.04.18
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9	CONFORMED SUBMITTAL	01.07.21
10	PHASE 3 AMENDMENTS	09.18.23

DRAWING TITLE:
**BUILDING C
EXISTING ELEVATIONS**

DRAWING NUMBER:
A-204(PH3)



KEY PLAN

BUILDING 'C' REHABILITATION FAÇADE GUIDELINES (NORTH, SOUTH & EAST FACING FAÇADES):

"Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." (1)

- ALL EXTERIOR FAÇADE REPAIRS SHALL BE DONE IN ACCORDANCE WITH THE SECRETARY OF INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES AND THEIR GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS.
- SEE SHEET A-802 FOR WINDOW DETAILS, MASONRY CLEANING, REPAIR AND FINISH COATING SPECIFICATION CUT SHEETS INCLUDING THE FOLLOWING:

(1) THE SECRETARY OF THE INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS

RESTORATION PRODUCTS:

- REPLACEMENT WINDOW TO BE GRAHAM SR8700T OR EQUIVALENT
- CONCRETE AND BRICK CLEANING MATERIALS TO BE: PROSOCCO SURE-KLEAN "LIGHT DUTY RESTORATION CLEANER"
- STEEL REINFORCEMENT BONDING AND COATING PROTECTION TO BE SIKA ARIMATEC-10 EPOCEM
- CONCRETE REPAIR MATERIAL TO BE SIKA SIKATOP 123 PLUS ELASTOCOLOR
- CONCRETE FINISH COATING TO BE SIKA SIKAGUARD 550W ELASTOCOLOR
- COLOR AND TOOLING OF JOINTS TO MATCH EXISTING BRICK MORTAR

SPECIFIC MASONRY REPAIR NOTES (SEE ELEVATIONS WITH CORRESPONDING LETTERS WITHIN CIRCLES):

- A. REPAIR OR REPLACE DAMAGED OR DETERIORATED CONCRETE COPINGS. INSTALL RUBBER MEMBRANE AT TOP TO SEAL FROM WATER INFILTRATION.
- B. CLEAN AND REPOINT EXISTING BRICK WHERE NEEDED OR REQUIRED BY ARCHITECT.
- C. REMOVE ALL DAMAGED, SPALLING OR DETERIORATED CONCRETE. CLEAN EXPOSED REBAR AND COAT. REPLACE WHERE DETERIORATED. PATCH ALL DAMAGED OR DETERIORATED CONCRETE AREAS, HOLES, ETC... APPLY FINISH COATING THROUGHOUT.
- D. CUT BACK EXISTING BRICK KNEEWALL AND CONCRETE TO ACCEPT NEWLY REQUIRED MEANS OF EGRESS DOOR OPENING

MASONRY COLOR CHART		PAINT COLOR CHART	
1	ART DECO TOWER - RED BRICK: COLONIAL RED (373) MANF: REDLAND SIZE: MODULAR MORTAR COLOR: WESTBROOK WCB8083	1	NOT USED
2	BASE BUILDING - RED BRICK: 50% STURBRIDGE TYPE 2 & 50% BURGUNDY TYPE 3 MANF: WATSONTOWN SIZE: NORMAN MORTAR COLOR: WESTBROOK 111	2	NOT USED
3	DARK BRICK HIGHLIGHTS: CAPITAL IS VELOUR MANF: YANKEE HILL SIZE: NORMAN MORTAR COLOR: WESTBROOK WCB-73	3	NOT USED
4	TOWER "WHITE BRICK" SILVERSTONE VELOUR MANF: GENERAL SHALE SIZE: UTILITY MORTAR COLOR: LEHIGH BDN588	4	
5	NOT USED MANF: - SIZE: - MORTAR COLOR: -	5	BLACK
6	"PRECAST CONCRETE" MANF: WESTBROOK CONCRETE BLOCK COLOR: +1 SQUARE EDGE MORTAR COLOR: LEHIGH 588	6	IRON ORE

15TH STREET BUILDING ELEVATION - SOUTH

SCALE: 1/16"=1'-0"

PREPARED FOR:
STATCO DEVELOPMENT GROUP, LLC
300 COLES STREET
SUITE 2
JERSEY CITY, NEW JERSEY 07310
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PROJECT:
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Urban
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RONALD J. RUSSELL, RA
NJ LICENSE NUMBER 41148

ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	DATE
11	PHASE 3 AMENDMENTS-REVISED	11.08.23	

ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	DATE
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9	CONFORMED SUBMITTAL	01.07.21	
10	PHASE 3 AMENDMENTS	09.18.23	

DRAWING TITLE:
**BUILDING C (PHASE III)
15TH STREET BUILDING ELEVATION
SOUTH ELEVATION**

DRAWING NUMBER:
A-204.1(PH3)

8
9



**BUILDING 'C' REHABILITATION FAÇADE GUIDELINES
(NORTH, SOUTH & EAST FACING FAÇADES):**

"Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values."(1)

1. ALL EXTERIOR FAÇADE REPAIRS SHALL BE DONE IN ACCORDANCE WITH THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES AND THEIR GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS.
2. SEE SHEET A-602 FOR WINDOW DETAILS, MASONRY CLEANING, REPAIR AND FINISH COATING SPECIFICATION CUT SHEETS INCLUDING THE FOLLOWING:

(1) THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS

RESTORATION PRODUCTS:

- REPLACEMENT WINDOW TO BE GRAHAM SR8070T OR EQUIVALENT
- CONCRETE AND BRICK CLEANING MATERIALS TO BE: PROSOCO SURE-KLEAN "LIGHT DUTY RESTORATION CLEANER".
- STEEL REINFORCEMENT BONDING AND COATING PROTECTION TO BE SIKA, ARMADEC 110 EPOXIM
- CONCRETE REPAIR MATERIAL TO BE SIKA, SIKATOP 123 PLUS
- CONCRETE FINISH COATING TO BE SIKA, SIKAGUARD 550W ELASTOCOLOR
- COLOR AND TOOLING OF JOINTS TO MATCH EXISTING BRICK MORTAR

SPECIFIC MASONRY REPAIR NOTES (SEE ELEVATIONS WITH CORRESPONDING LETTERS WITHIN CIRCLES):

A. REPAIR OR REPLACE DAMAGED OR DETERIORATED CONCRETE COPINGS. INSTALL RUBBER MEMBRANE AT TOP TO SEAL FROM WATER INFILTRATION.

B. CLEAN AND REPOINT EXISTING BRICK WHERE
NEEDED OR REQUIRED BY ARCHITECT.

C. REMOVE ALL DAMAGED, SPALLING OR DETERIORATED CONCRETE. CLEAN EXPOSED REBAR AND COAT. REPLACE WHERE DETERIORATED. PATCH ALL DAMAGED OR DETERIORATED CONCRETE AREAS, HOLES, ETC... APPLY FINISH COATING THROUGHOUT.

D. CUT BACK EXISTING BRICK KNEEWALL AND CONCRETE TO ACCEPT NEWLY REQUIRED MEANS OF EGRESS DOOR OPENING