



This aerial map shows the 7000 block of Sixteenth Street. A large black outline highlights a property on the west side of the street. A dashed line runs along the south side of the street, separating it from the 8000 block. The map includes a scale bar indicating 200 feet. Various lot numbers and street names are visible, including '7000', 'SIXTEENTH STREET', and '7004'. The map also shows a large industrial or construction area on the left side, with a '200' scale bar. The map is oriented with North at the top.

Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA28287900

GENERAL NOTES

1. SUBJECT PROPERTY FOR EMERSON BUILDING COMPLEX WAS KNOWN AS LOTS 1, 2 & 3 IN BLOCK 6903, BASED ON THE MUNICIPAL TAX MAP SHEET NUMBERS 89.
2. FILED SUBDIVISION OF PROPERTY THAT CREATED LOTS 1, 01, 1.02, 2.01, 3.01, 3.02, 3.03, 3.04 & 4 IN BLOCK 6903. SUBDIVISION FILED ON JULY 10, 2018 WITH RECEIPT NO. 1514807.
3. EXISTING STATCO USE: WAREHOUSE
PROPOSED EMERSON BUILDING COMPLEX USE: MIXED-USE DEVELOPMENT
4. SUBJECT PROPERTY LIES ENTIRELY WITHIN THE JERSEY AVENUE PARK REDEVELOPMENT PLAN.
5. OWNER:

COLES STREET ASSOCIATES, LLC
125 PARK AVENUE
NEW YORK, NY 10017
(TEL.) 212-372-2400
6. EXISTING BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY DATA SOURCE: "ALTA / ACSM LAND TITLE SURVEY," PREPARED BY DRESSNER ROBIN FOR EMERSON LOTS, LAST REVISION 11/06/18.

DEPICTED INFORMATION REGARDING EXISTING SITE TOPOGRAPHIC FEATURES, UTILITY SERVICES AND SUBSURFACE CONDITIONS ARE BASED ON INFORMATION FURNISHED BY OTHERS OR INTERPRETATION OF FEATURES READILY OBSERVABLE AT THE TIME OF URBAN ARCHITECTURE LLC SERVICE. UNLESS SPECIFICALLY NOTED, NO DETAILED OR INTRUSIVE INVESTIGATIONS OF UTILITY OR SUBSURFACE FEATURES HAVE BEEN UNDERTAKEN TO CONFIRM DEPICTED FEATURES AND URBAN ARCHITECTURE LLC ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION PROVIDED BY OTHERS.
7. MODIFICATIONS TO THESE DOCUMENTS, COPYING OF THESE DOCUMENTS, OR USE OF THESE DOCUMENTS FOR ANY PURPOSE OTHER THAN THEIR INTENDED USE IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF URBAN ARCHITECTURE LLC.
8. THESE DOCUMENTS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES PRIOR TO BEING "ISSUED FOR CONSTRUCTION" AND/OR NOTED TO URBAN ARCHITECTURE LLC COMPLETING A PRE-CONSTRUCTION PLAN REVIEW.
9. FOR ZONING TABLE SEE ARCHITECTURAL PLANS, SHEET G-001.
11. THE ENTIRE SUBJECT PREMISES LIES WITHIN AN AREA SUBJECT TO THE 1% ANNUAL CHANCE FLOOD DEPENDENT AS ZONE AE (DESIGN FLOOD ELEVATION = 1 FT.), AS SHOWN ON A MAP ENTITLED, "FIRM, FLOOD INSURANCE RATE MAP, HUDSON COUNTY, NEW JERSEY (ALL JURISDICTIONS)," PANEL 198 OF 118, COMMUNITY, JERSEY CITY, CITY OF JERSEY 340223, PANEL 0106, SUFFIX 00, MAP NUMBER: 340170106, PRELIMINARY DATE: JANUARY 30, 2015. ELEVATIONS ON THIS MAP ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1989 (NAVD 89).
12. ALL OR A PORTION OF THIS SITE LIES IN A FLOOD HAZARD AREA. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A PERMIT. CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 292-0060 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ONSITE.

NEIGHBORHOOD PHASING

STREET ADDRESS DESIGNATIONS			
Building	Phase	Lot/Block	Address
A	I	3.01/6903	315 15TH STREET
B	II	2.01/6903	325 15TH STREET
C	III	3.04/6903	316 15TH STREET
D	IV	3.03/6903	326 15TH STREET

CITY OF JERSEY CITY	
<p>APPROVED BY THE PLANNING BOARD OF THE CITY OF JERSEY CITY AT A MEETING HELD ON THE ____ DAY OF _____, 20__.</p>	
CHAIRMAN	DATE
SECRETARY	DATE
CITY ENGINEER	DATE

DRAWING TITLE:

CIVIL COVER SHEET

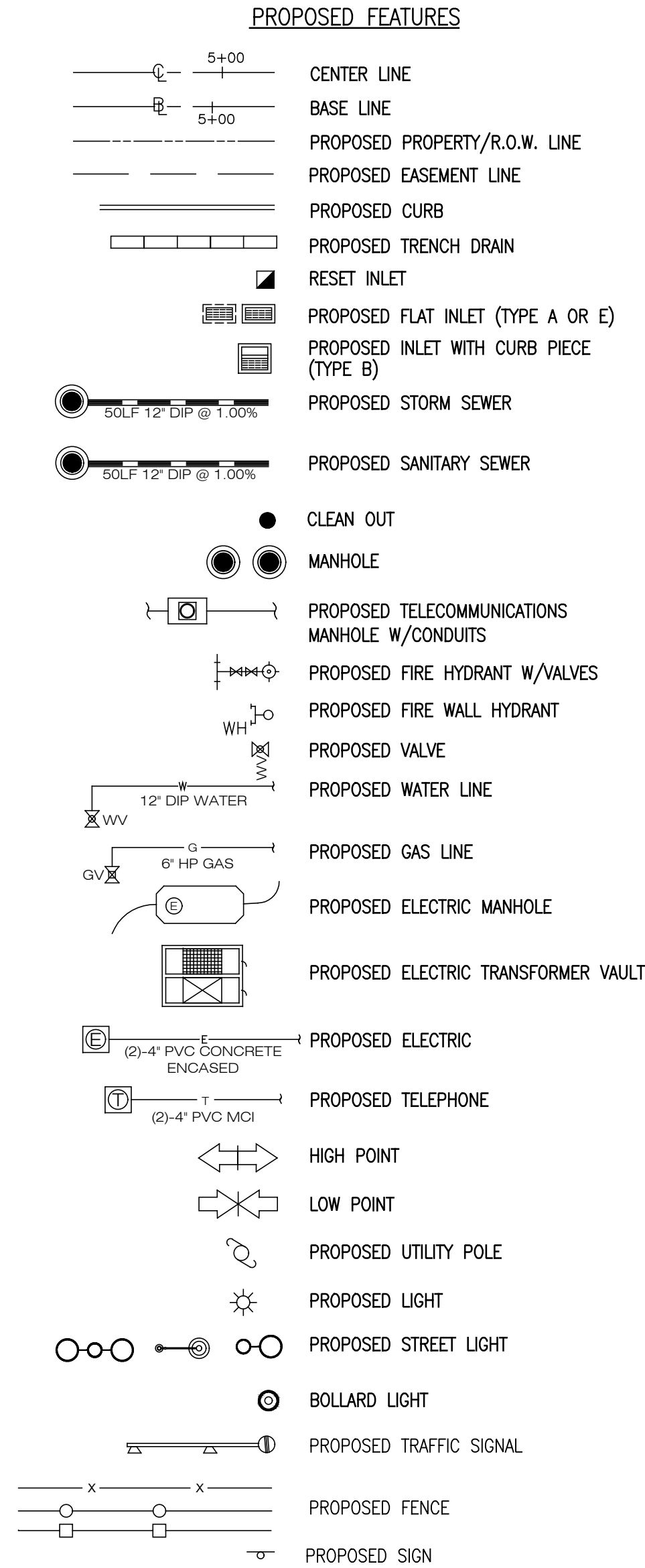
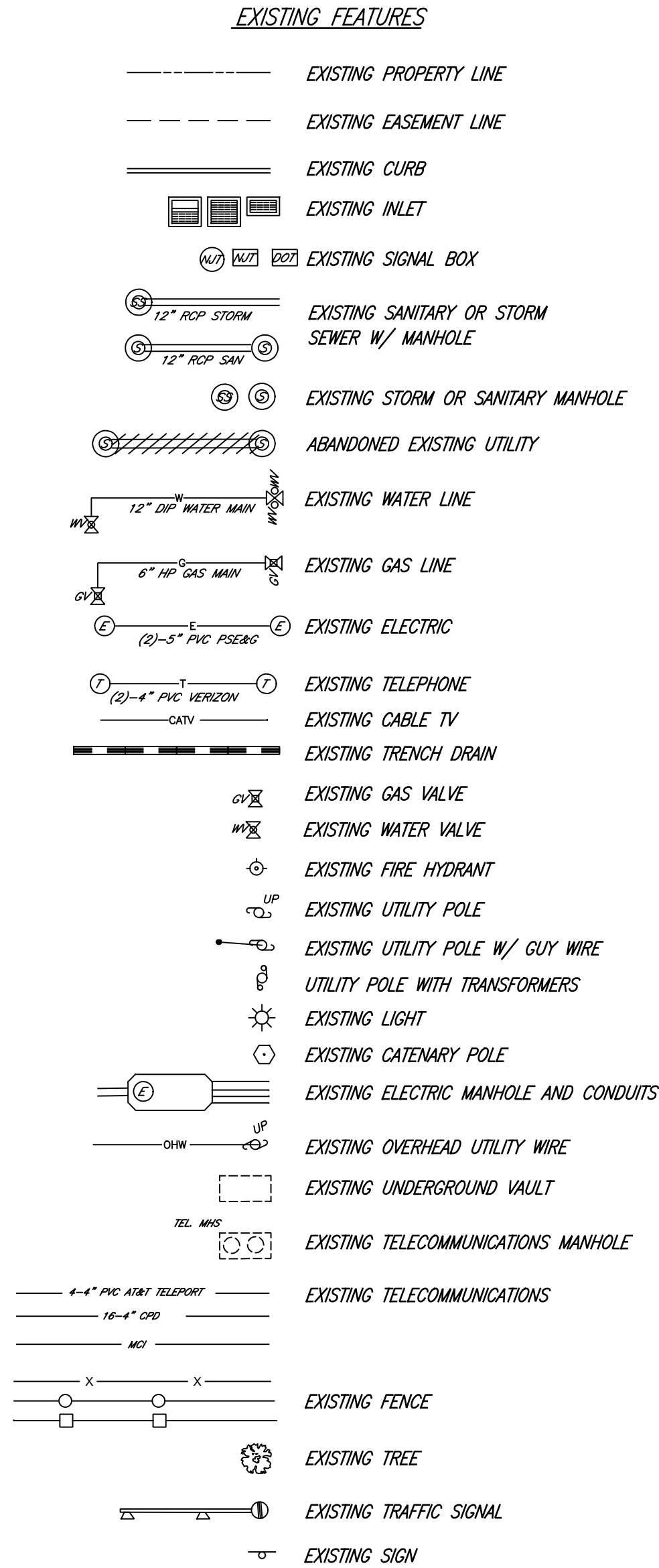
DRAWING NUMBER:

G-005

1

36

ABBREVIATIONS	
ACP	ASBESTOS CEMENT PIPE
BC	BOTTOM OF CURB
BW	BOTTOM OF WALL
BLDG	BUILDING
BLK	BLOCK
BIT	BITUMINOUS
BM	BENCHMARK
BOL	BOLLARD
CB	CATCH BASIN
CIP	CAST IRON PIPE
CL	CENTERLINE
CLF	CHAIN LINK FENCE
OMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CQNC	CONCRETE
DC	DEPRESSED CURB
DIP	DUCTILE IRON PIPE
D/W	DRIVEWAY
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EXIST	EXISTING
FC	FLUSH CURB
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
FF	FINISHED FLOOR
FND	FOUND
FR	FRAME
FT	FEET
GAR	GARAGE
GF	GARAGE FLOOR
GR	GRATE
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HYD	HYDRANT
INV	INVERT
IP	IRON PIPE
LF	LINEAR FEET
MB	MAIL BOX
MH	MANHOLE
MW	MONITORING WELL
N/F	NOW & FORMERLY
OH/W	OVERHEAD WIRE
PAVT	PAVEMENT
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
POB	POINT OF BEGINNING
PRC	POINT OF REVERSE CURVE
PVI	POINT OF VERTICAL INTERSECTION
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
SL	SANITARY
STM	STORM
STY	STORY
SW	SIDEWALK
TEL	TELEPHONE
TC	TOP OF CURB
T/L	TRAFFIC LIGHT
TW	TOP OF WALL
TG	TOP OF GRATE
TYP	TYPICAL
UC	UNDERGROUND CONDUIT
UGE	UNDERGROUND ELECTRIC
UP	UTILITY POLE
VOP	VITRIFIED CLAY PIPE
VV	WATER VALVE



JERSEY CITY DIVISION OF ENGINEERING NOTES

- JERSEY CITY DIVISION OF ENGINEERING OFFICE TO BE NOTIFIED AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK.
- TOWARD THE END OF CONSTRUCTION, JERSEY CITY DIVISION OF ENGINEERING RESERVES THE RIGHT TO INSPECT THE PROJECT AND IMPOSE ADDITIONAL IMPROVEMENTS TO ANY DAMAGED AREAS WITHIN THE CITY RIGHT OF WAY.
- UPON COMPLETION OF THE CONSTRUCTION, AS BUILT DOCUMENTS MUST BE SUBMITTED TO THE JERSEY CITY DIVISION OF ENGINEERING AND JCMJA SHOWING ALL IMPROVEMENTS BOTH ABOVE AND UNDERGROUND FOR THE PROJECT.
- ALL IMPROVEMENTS MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF JERSEY CITY, DIVISION OF ENGINEERING CONSTRUCTION GUIDELINES FOR STREET OPENINGS WITHIN THE PUBLIC RIGHT OF WAY.
- A SITE LOGISTICS PLAN AND CONSTRUCTION STAGING PLAN SHALL BE SUBMITTED TO THE JERSEY CITY BUILDING DEPARTMENT AND DIVISION OF ENGINEERING PRIOR TO CONSTRUCTION. PLANS TO INCLUDE BUT NOT BE LIMITED TO: COMMENCEMENT DATES, PEDESTRIAN PROTECTION METHODS, LOCATION OF PARKING, TRAILERS, VEHICLE LOADING AND UNLOADING, ETC.
- ALL REMOVED MATERIAL AND DEBRIS AND ALL ITEMS REMOVED FROM THE PROPERTY AND PUBLIC AREAS ADJACENT (EXCEPT AS NOTED), SHALL BE DISPOSED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH THE RULES AND REGULATIONS OF NJDEP

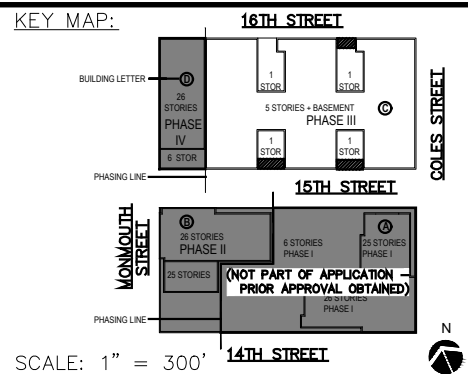
MAP REFERENCES:

- BASE MAP INFORMATION SHOWN BASED ON DRAWING TITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY DRESNDR ROBIN, DATED JUNE 3, 2016, LAST REVISED JUNE 27, 2016.
- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON DRAWING TITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY DRESNDR ROBIN DATED JUNE 3, 2016, LAST REVISED JUNE 27, 2016.
- CITY OF JERSEY CITY TAX ASSESSMENT MAP SHEET NO. 69.
- SURVEY BASE MAP SUPPLEMENTED WITH INFORMATION OBTAINED FROM UTILITY COMPANIES AND THROUGH URBAN FIELD OBSERVATIONS.
- "MAJOR SUBDIVISION, 614 MONMOUTH STREET, 255-259 COLES STREET, LOTS 1, 2 AND 3, BLOCK 6903, CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY" PREPARED BY DRESNDR ROBIN, DATED MARCH 26, 2018, REVISED THROUGH SEPTEMBER 26, 2018. MAP FILED WITH THE HUDSON COUNTY REGISTER OF DEEDS ON JULY 10, 2019, MAP RECEIPT NO. 1514807.
- THE ENTIRE SUBJECT PREMISES LIES WITHIN AN AREA SUBJECT TO THE 1% ANNUAL CHANCE FLOOD DESIGNATED AS ZONE AE (DESIGN FLOOD ELEVATION = 11 FT.), AS SHOWN ON A MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, HUDSON COUNTY, NEW JERSEY (ALL JURISDICTIONS), PANEL 106 OF 118, COMMUNITY: JERSEY CITY, CITY OF, NUMBER: 340223, PANEL: 0106, SUFFIX: E, MAP NUMBER: 34017C0106E, PRELIMINARY DATE: JANUARY 30, 2015". ELEVATIONS ON THIS MAP ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- ALL OR A PORTION OF THIS SITE LIES IN A FLOOD HAZARD AREA. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A PERMIT. CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 292-0060 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ONSITE.



GENERAL NOTES

- URBAN ARCHITECTURE ACCEPTS NO RESPONSIBILITY FOR THE MODIFICATION, COPYING OR USE OF THESE DOCUMENTS BY ANY PARTY. THESE DOCUMENTS ARE ONLY INTENDED FOR USE BY THE CLIENT TO WHICH WE ARE CONTRACTED FOR OUR SERVICES.
- THE USE OF THIS PLAN, OR SET OF PLANS, MAY BE DEFICIENT ON ITS OWN TO PROPERLY COMPLETE THE IMPROVEMENTS SHOWN HEREIN. THIS PLAN MAY BE PART OF A MORE COMPREHENSIVE SET OF PLANS AND MAY ONLY PARTIALLY REPRESENT THE INTENDED IMPROVEMENTS OR WORK. EACH INDIVIDUAL PLAN CONTAINS RELEVANT INFORMATION FOR A SPECIFIC PURPOSE, BUT INTENDED TO BE USED IN CONJUNCTION WITH THE REMAINDER OF THE PLAN SET. FURTHERMORE, THE ENTIRE PLAN SET MAY REQUIRE ADDITIONAL INFORMATION REPRESENTED IN DESIGN DOCUMENTS BY OTHERS (I.E. ARCHITECTURAL PLANS, ROADWAY PLANS, STRUCTURAL PLANS, GEOTECHNICAL REPORTS, ETC.) IN ORDER TO PROPERLY PERFORM THE WORK.
- THESE DOCUMENTS ARE PREPARED FOR THE PURPOSES OF REVIEW BY VARIOUS REGULATORY AGENCIES AND ARE NOT REPRESENTED AS SUITABLE FOR ANY OTHER PURPOSE. INFORMATION SHOWN HEREIN GENERALLY DEPICTS A PROJECT LOCATION, PROPERTY LIMIT, USE, SCOPE AND NATURE OF IMPROVEMENTS. PLAN DIMENSIONS ARE FURNISHED SOLELY IN SUPPORT OF THE FOREGOING DEFINITION AND ARE NOT REPRESENTED AS BEING SUITABLE FOR ANY OTHER USE.
- EXISTING TOPOGRAPHIC FEATURES, UTILITIES AND SUBSURFACE CONDITIONS SHOWN HEREIN ARE BASED ON SURVEY INFORMATION OR INFRASTRUCTURE RECORDS FURNISHED BY OTHERS OR AN INTERPRETATION OF FEATURES READILY OBSERVABLE AT THE TIME OF URBAN ARCHITECTURES SERVICE. UNLESS SPECIFICALLY NOTED, NO DETAILED OR INTRUSIVE INVESTIGATIONS OF UTILITY OR SUBSURFACE FEATURES HAVE BEEN UNDERTAKEN TO CONFIRM DEPICTED FEATURES. URBAN ARCHITECTURE ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION PROVIDED BY OTHERS.
- FOUR DAYS PRIOR TO COMMENCING WORK, PURSUANT TO NEW JERSEY'S UNDERGROUND FACILITY PROTECTION ACT (N.J.S.A. 48:2-73), THE CONTRACTOR MUST CONTACT THE NEW JERSEY ONE CALL SYSTEM AT (800) 272-1000 OR 811 FOR A MARKOUT OF ALL PUBLIC UTILITY LINES ON AND ADJACENT TO THE WORKSITE. AS REQUIRED BY THE REGULATIONS AT N.J.A.C. 14:2, THE CONTRACTOR MUST ALLOW FOR THE REQUIRED WAITING PERIOD TO EXPIRE PRIOR TO EXCAVATION IN ORDER TO ENSURE THAT ALL PUBLIC UTILITY LINES ARE MARKED. PRIVATE UTILITY LINES MAY EXIST WITHIN THE WORK AREA AND MAY OR MAY NOT BE MARKED. CARE SHOULD BE TAKEN TO AVOID DAMAGING ALL UTILITY LINES (MARKED AND UNMARKED) DURING EXCAVATION WORK.
- UTILITY AND OTHER CONSTRUCTION NOTES, WHERE SHOWN ON THE DOCUMENTS, ARE PROVIDED AS REQUESTED BY REGULATORY REVIEW AGENCIES AND/OR QUASI-GOVERNING AGENCIES SUCH AS UTILITY PROVIDERS.
- EXISTING INFORMATION SHOWN HEREIN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION, CONSTRUCTION LAYOUT OR ORDERING MATERIALS. THE ENTITY RESPONSIBLE FOR CONSTRUCTION LAYOUT SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF INFORMATION SHOWN WITHIN THESE DOCUMENTS UTILIZING AN INDEPENDENT VERIFICATION AND IMMEDIATELY REPORT ANY DEVIATIONS TO URBAN ARCHITECTURE PRIOR TO CONSTRUCTION.
- THE IMPLEMENTATION OF ALL APPLICABLE WORKSITE SAFETY REGULATIONS, INCLUDING THOSE REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OSHA WORKSITE SAFETY REGULATIONS ARE PUBLISHED AT 29 CFR 1926 WITHIN VARIOUS SUBPARTS RELATIVE TO SPECIFIC TYPES OF WORK. URBAN ARCHITECTURE TAKES NO RESPONSIBILITY FOR WORKSITE SAFETY PROVISIONS RELATIVE TO THE ONSITE WORK FORCE.
- THE CONTRACTOR SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODED AND SHALL OBTAIN ALL NECESSARY LICENSES AND PERMITS.
- ALL REMOVALS SHALL BE SHOWN ON THE DRAWINGS AND/OR AS DIRECTED BY THE ENGINEER AND OWNER, TO THE SATISFACTION OF THE ENGINEER AND OWNER.
- THE CONTRACTOR SHALL EXERCISE CARE DURING THE REMOVAL OPERATIONS TO PROTECT EXISTING FACILITIES TO REMAIN, INCLUDING: PAVEMENTS, CURBS, UTILITIES, STRUCTURES, TREES, ETC. ANY FACILITIES THAT ARE TO REMAIN THAT ARE DAMAGED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE RESTORED AT THE CONTRACTORS EXPENSE.
- ALL PAVED WALKWAYS AND ROADS MUST BE KEPT CLEAN AND FREE OF DEBRIS FOR THE DURATION OF THE CONTRACT.
- EXISTING CURBS AND PAVEMENTS TO BE REMOVED SHALL BE SAW CUT AS REQUIRED TO A STRAIGHT LINE SECTION AS TO PROVIDE A CLEAN SMOOTH AND EVEN TRANSITION OF NEW CURBS AND PAVEMENTS WITH NO TRIP HAZARDS.
- ALL WORK TO BE DONE OUTSIDE OF THE CONSTRUCTION FENCE IS TO BE PROTECTED AT ALL TIMES. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL WORK AREAS AND EXISTING TREES ADJACENT TO WORK AREAS
- ALL WORK TO BE DONE IN ACCORDANCE WITH:
A. CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN
B. CITY OF JERSEY CITY STANDARDS
- ALL ABANDONED SUBSURFACE UTILITIES ENCOUNTERED OR MARKED FOR ABANDONMENT ARE TO BE FILLED AND SEALED AS PER JERSEY CITY STANDARDS.
- SHOULD FIELD CONDITIONS VARY FROM THE DRAWINGS, CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO REMOVAL.
- ALL SIGNAGE THAT IS TO BE REMOVED SHALL BE PHOTOGRAPHED, CATALOGUED AND SUBMITTED TO THE ENGINEER PRIOR TO REMOVAL.
- ALL TRAFFIC CONTROL SIGNALS, JUNCTION BOXES, VALVE COVERS, CLEANOUTS, MANHOLES, ELECTRIC TRANSFORMER GRATES, AND MANHOLES, HANDHOLES, ECT. THAT REQUIRE RESETTING DUE TO REGRADING OF THE R.O.W. ARE THE RESPONSIBILITY OF THE CONTRACTOR. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANY IN ADVANCE PRIOR TO RESETTNG.
- CONTRACTOR SHALL KEEP A COPY OF THE APPROVED SOIL EROSION CONTROL, DRAWINGS AND PERMIT ON SITE AT ALL TIMES IN ACCORDANCE WITH HEP-SESC REQUIREMENTS. ALL FINES AS A RESULT OF FAILURE TO COMPLY WITH THE PERMIT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



SCALE:

AS SHOWN

DRAWN BY: HJD
CHECKED BY: JDR



NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22
32	EMERSON PHASE II - RED LINE	04.26.22
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23
37	PHASE II - REDLINE UPDATE	04.26.23
38	PHASE II - REDLINE UPDATE	07.17.23
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23
40	PHASE III - SITE PLAN AMENDMENT SUBMISSION	09.18.23

NO.	DESCRIPTIONS	DATE
21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
22	UPDATED PHASE I PER ARCHITECTS	06.12.21
23	REVISED RUMPOUT WIDTH AT 15TH STREET	06.29.21
24	ADDED CONCRETE ADA RAMPS	09.13.21
25	UPDATED LIGHTING	11.03.21
26	PH I - BUILDING PERMIT	11.16.21
27	PH II CRANE - UPDATE	01.04.22
28	REVISED 14TH STREET	01.05.22
29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
30	REVISED PH I CRANE	01.29.22

NO.	DESCRIPTIONS	DATE
31	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
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39	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
40	REVISED PH I CRANE	01.29.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 2460400670
2460400670
The Professional Engineer Seal of the State of New Jersey is hereby acknowledged.

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:
LEGEND AND GENERAL NOTES

DRAWING NUMBER:
G-006

2

36

Digitally signed
by Jeffrey D. Reeves
Date: 2023.11.28
10:50:16-05'00'

REMOVALS NOTES:

1. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER.
2. ALL WORK MUST BE PERFORMED IN SUCH A MANNER TO PROTECT AND PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENABLE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND COORDINATED INTERRUPTIONS.
3. THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IF AN ADJACENT STRUCTURE APPEARS TO BE IN DANGER OF DAMAGE AND WILL TAKE NECESSARY ACTION TO STABILIZE THE SITUATION.
4. THE CONTRACTOR SHALL EXERCISE CARE DURING REMOVAL OPERATIONS TO PROTECT EXISTING FACILITIES TO REMAIN, INCLUDING: PAVEMENTS, CURBS, UTILITIES, STRUCTURES, ETC. ANY FACILITIES THAT ARE TO REMAIN THAT ARE DAMAGED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE ENGINEER AND OWNER.
5. THE CONTRACTOR SHALL USE CAUTION WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES. ANY DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR SHALL MAINTAIN ACTIVE UTILITIES, REQUIRED FOR SERVICE, AND PROTECT AGAINST DAMAGE DURING REMOVALS AND EXCAVATION OPERATIONS.
7. FOUR DAYS PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT NEW JERSEY ONE-CALL: 1-800-272-1000 FOR UTILITY MARK-OUT AND CONTACT THE CITY, COUNTY AND OTHER JURISDICTIONS FOR MARK-OUT OF ALL UTILITIES. ALL DISCONNECTION, TERMINATION, RELOCATION OR BYPASSING OF WATER, SEWER, GAS, ELECTRIC, CABLE TELEVISION, AND OTHER FACILITIES THAT ARE UNDERTAKEN AS PART OF THE WORK SHALL BE DONE IN CONFORMANCE WITH WRITTEN APPROVAL, AND WITH THE REQUIREMENTS OF THE MUNICIPALITY OR UTILITY COMPANY.
8. THE LOCATION AND DEPTH OF ALL SUBSURFACE UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES. THE CONTRACTOR IS TO FIELD VERIFY EXISTING UTILITIES THAT APPEAR TO BE IN CONFLICT PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD VERIFIED UTILITIES AND THOSE SHOWN ON THE DRAWING SHALL BE REPORTED TO THE ENGINEER AND OWNER.
9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, PAY ALL NECESSARY FEES, ETC. AS REQUIRED TO PERFORM THE WORK.
10. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK. THE CONTRACTOR SHALL COORDINATE REMOVALS WITH APPLICABLE AGENCIES AND UTILITY COMPANIES.
11. EXISTING CURB AND PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AS REQUIRED IN A STRAIGHT LINE TO PROVIDE A CLEAN SMOOTH AND EVEN TRANSITION FOR NEW CURBS AND PAVEMENTS WITH NO TRIP HAZARDS.
12. ALL REMOVED MATERIALS, ITEMS, AND DEBRIS FROM THE PROJECT, SHALL BE DISPOSED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH THE RULES AND REGULATIONS OF JERSEY CITY'S ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH THE REGULATIONS AND LAWS OF THE NJDEP OR AS SHOWN ON THE APPROVED DRAWING.
13. ALL PAVED WALKWAYS AND ROADS MUST BE KEPT CLEAN AND FREE OF DEBRIS FOR THE DURATION OF THE PROJECT.
14. ALL TRAFFIC CONTROL SIGNALS, JUNCTION BOXES, VALVE COVERS, CLEANOUTS, MANHOLES, ELECTRIC TRANSFORMER GRATES AND MANHOLES, HANDHOLES, ETC. THAT REQUIRE RESETTING DUE TO DEGRADING OF THE R.O.W. ARE THE RESPONSIBILITY OF THE CONTRACTOR, IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANY IN ADVANCE PRIOR TO RESETTING.
15. CONTRACTORS SHALL KEEP A COPY OF THE APPROVED SOIL EROSION CONTROL DRAWINGS AND PERMIT ON SITE AT ALL TIMES IN ACCORDANCE WITH HEP-SESC REQUIREMENTS. ALL FINES AS RESULT OF FAILURE TO COMPLY WITH THE PERMIT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PSE&G NOTES:

1. ALL GAS LINES TO BE CUT/CAPPED BY PSE&G.
2. UTILITY POLES, WIRES, ETC. SHALL BE CUT, CAPPED ABANDONED, OR REMOVED BY PSE&G.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SCHEDULING REMOVALS WITH PSE&G. PLEASE NOTE THAT THE SCHEDULING REMOVALS AND/OR RELOCATIONS BY PSE&G MAY INCLUDE LONG LEAD TIMES AND IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND SCHEDULE THE WORK IN ADVANCE SO AS TO NOT DELAY THE PROJECT.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED INSPECTIONS AND/OR SIGN-OFFS.
5. CONTRACTOR SHALL CONTACT PSE&G DEMOLITION DIVISION AT (908) 709-6861 FOR INSPECTION OF THE ITEMS TO BE REMOVED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE PSE&G UNTIL THE NECESSARY APPROVALS ARE PRODUCED. ADEQUATE NOTICE & TIME SHALL BE GIVEN TO WORK ASSOCIATED WITH PSE&G AS IT MAY AFFECT THE OVERALL CONSTRUCTION SCHEDULE.

GENERAL NOTES:

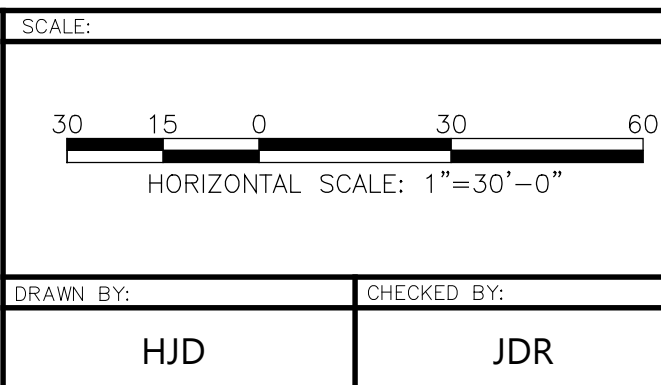
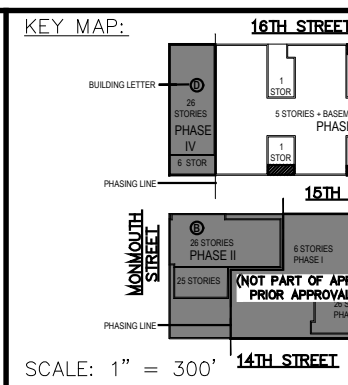
1. EXISTING CONDITIONS AS OF SITE PLAN SUBMISSION, OCTOBER 31, 2018.
2. EXISTING LOTS AND BLOCKS SHOWN ARE PRIOR TO EMERSON LOFTS MAJOR SUBDIVISION DATED SEPTEMBER 23, 2018.

LEGEND

- SAWCUT LINE
- REMOVE EXISTING PIPE / UTILITY
- BUILDING / STRUCTURE TO BE REMOVED
- REMOVE EXISTING SIDEWALK, ASPHALT, CONCRETE, ETC.
- REMOVE ITEM
- ITEM TO BE PROTECTED

MATCH LINE STA. 3+50

(SEE DRAWING NO. C-16)



ISSUES:	NO.	DESCRIPTIONS	DATE	ISSUES:	NO.	DESCRIPTIONS	DATE	ISSUES:	NO.	DESCRIPTIONS	DATE
	31	UPDATED UTILITY LAYOUT	03.14.22		21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21				
	32	EMERSON PHASE III - RED LINE	04.26.22		22	UPDATED PHASE III PER ARCHITECTS	08.12.21				
	33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22		23	REVISED BUILDOUT WIDTH AT 15TH STREET	08.26.21				
	34	EMERSON PHASE III - BUILDING PERMIT SUBMISSION	07.12.22		24	ADDED CONCRETE ADA RAMPS	09.13.21				
	35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22		25	UPDATED LIGHTING	11.03.21				
	36	PHASE III - GAS & TELECOM LATERAL UPDATE	03.13.23		26	PHASE III - BUILDING PERMIT	11.16.21				
	37	PHASE III - REDLINE UPDATE	06.29.23		27	PHASE III - BUILDING PERMIT	01.09.22				
	38	PHASE III - REDLINE UPDATE	07.17.23		28	REVISED 14TH STREET	01.05.22				
	39	PHASE III - ENTRANCE STAIR ELEVATION UPDATE	08.29.23		29	REVISED 14TH ST SOUTH CURB PER AS-BUILT COND.	01.28.22				
	40	PHASE III - SITE PLAN AMENDMENT SUBMISSION	09.18.23		30	REVISED PH II GRADES	01.28.22				

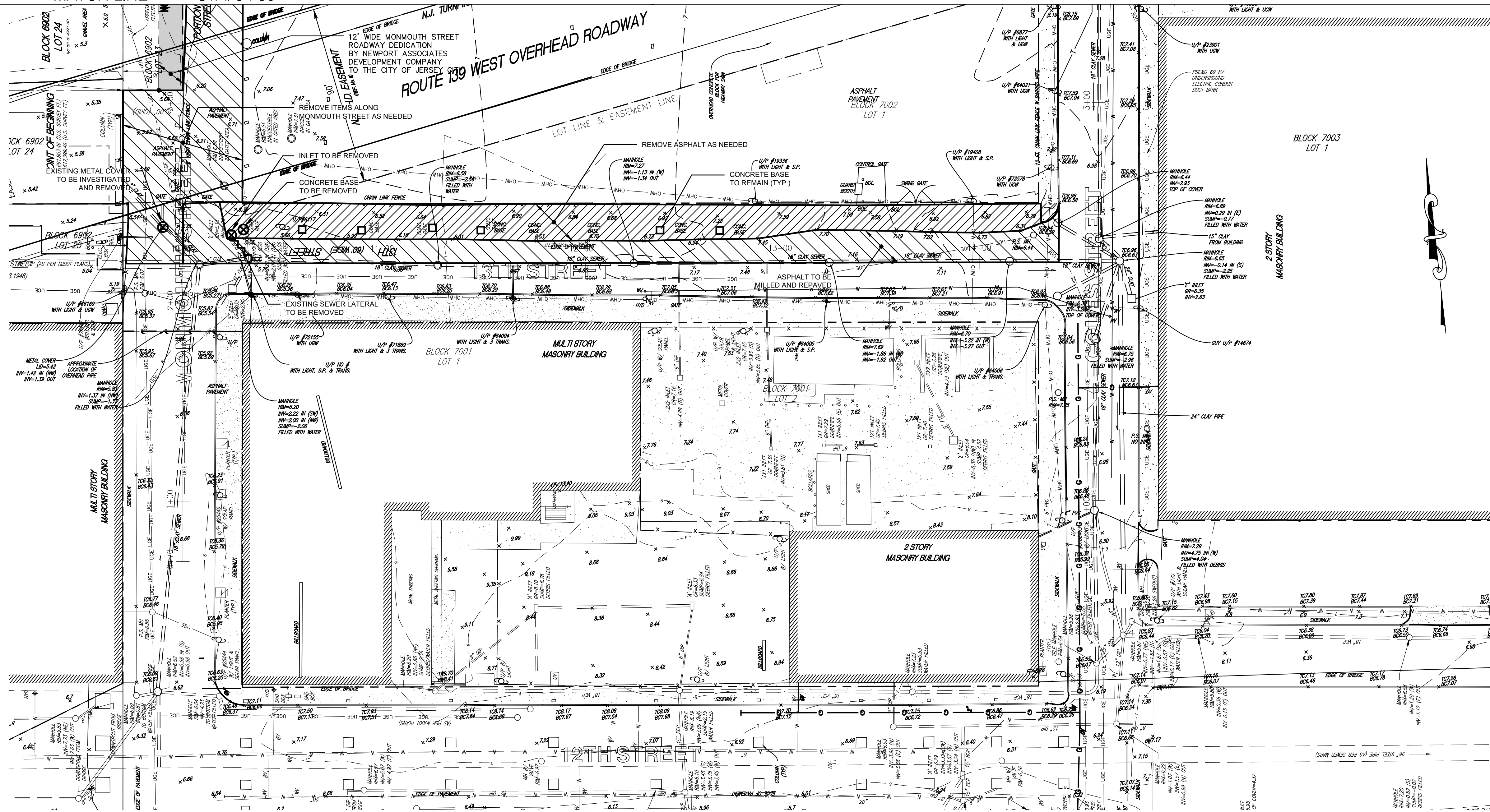
JEFFREY D. REEVES
NJ LICENSE NUMBER: 24G0403070
Professional Engineer
Date: 10/23/23 11:28
10:51:21-0500

PROJECT: EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE: REMOVALS PLAN 1
DRAWING NUMBER: C-15
3

MATCH LINE STA. 3+50

(SEE DRAWING NO. C-15)

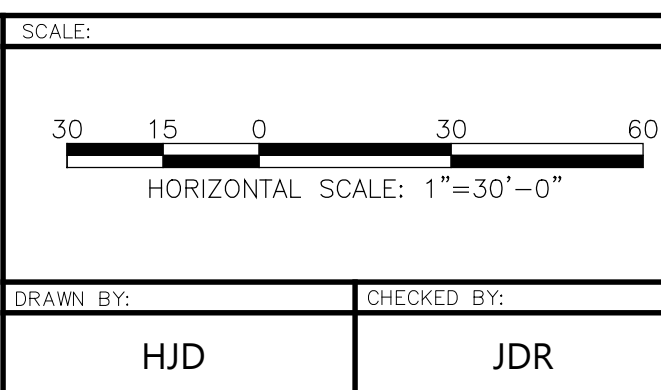
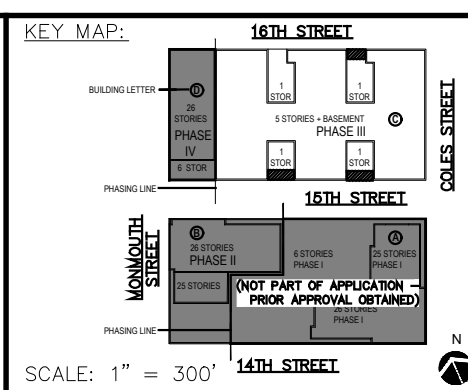


GENERAL NOTES:

- EXISTING CONDITIONS AS OF SITE PLAN SUBMISSION, OCTOBER 31, 2018.
- EXISTING LOTS AND BLOCKS SHOWN ARE PRIOR TO EMERSON LOFTS MAJOR SUBDIVISION DATED SEPTEMBER 23, 2018.

LEGEND

- - - SAWCUT LINE
- ~ ~ ~ REMOVE EXISTING PIPE / UTILITY
- [Hatched Box] - BUILDING / STRUCTURE TO BE REMOVED
- [Hatched Box] - REMOVE EXISTING SIDEWALK, ASPHALT, CONCRETE, ETC.
- X - REMOVE ITEM
- [Circle with X] - ITEM TO BE PROTECTED



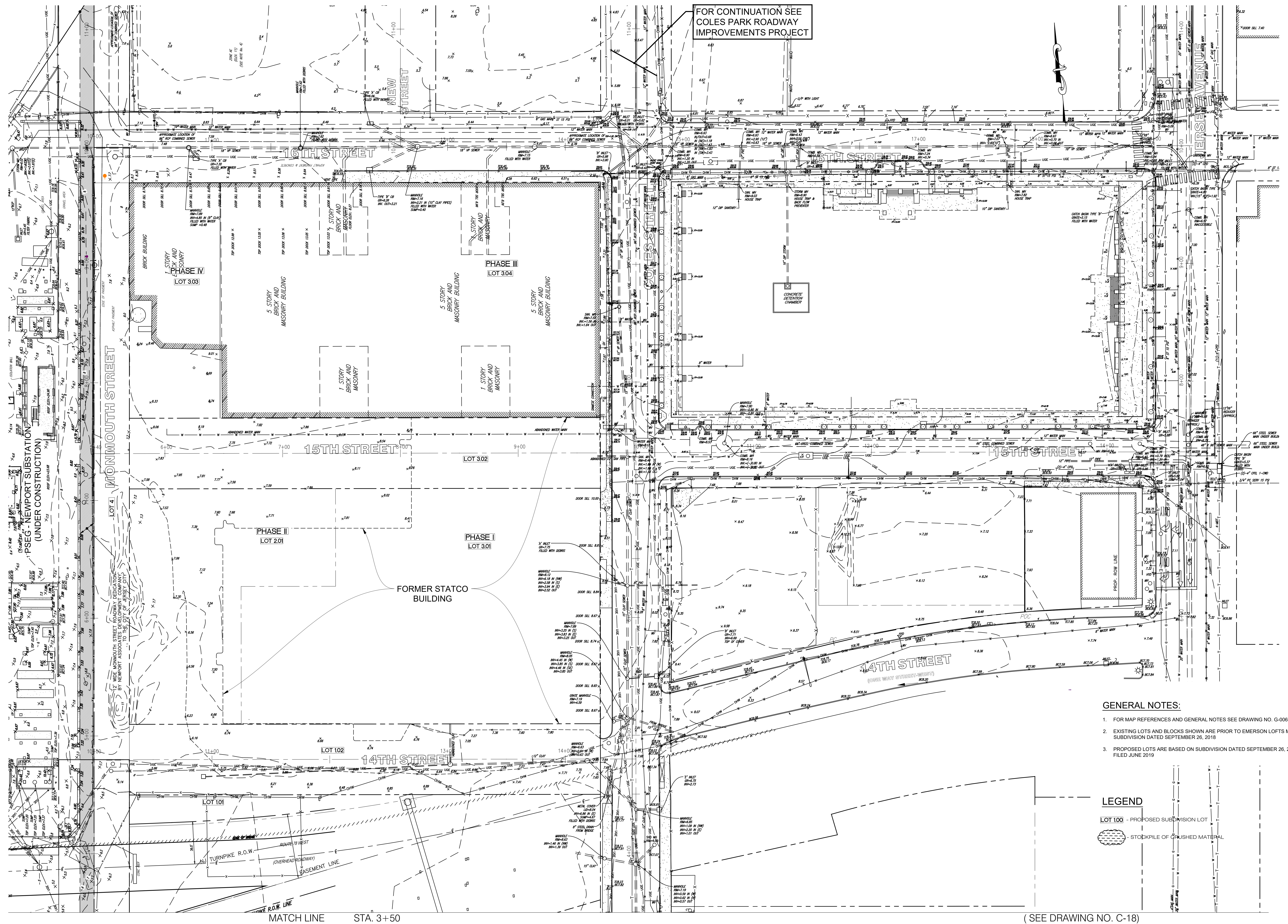
Urban
architecture llc
300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA28287900

ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE III - RED LINE	04.26.22	22	UPDATED PHASE II PER ARCHITECTS	08.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED BUILDOUT WIDTH AT 13TH STREET	08.28.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23	26	PM 18 - BUILDING PERMIT	11.18.21
37	PHASE II - REDLINE UPDATE	06.29.23	27	PM 18 - CRANE - UPDATE	01.04.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.06.22
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.28.22

JEFFREY D. REEVES
REGISTERED PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER A960400700
01.28.22

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:		DRAWING NUMBER:	
REMOVALS PLAN 2		C-16	
DRAWN BY: HJD		CHECKED BY: JDR	
DATE: 2023.11.28		TIME: 10:51:44-05'00"	



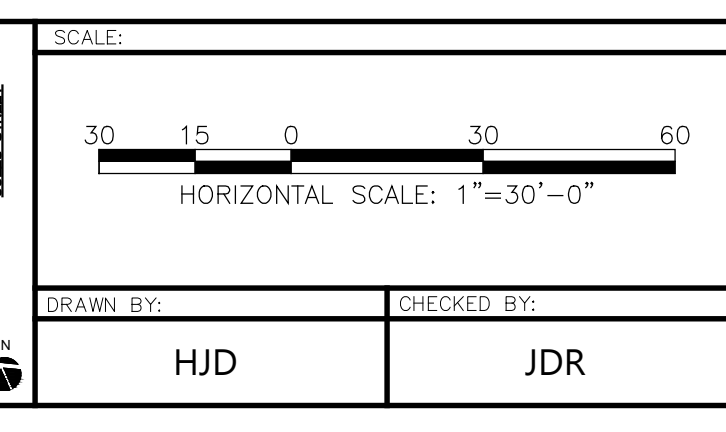
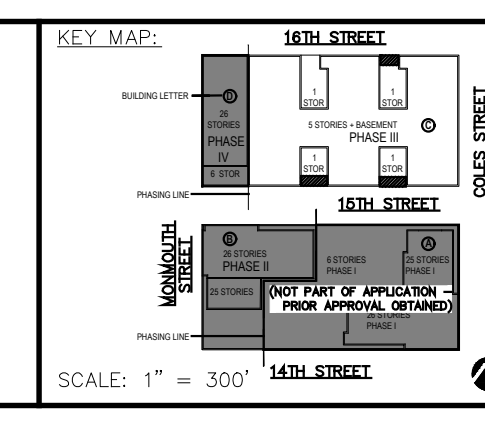
GENERAL NOTES:

1. FOR MAP REFERENCES AND GENERAL NOTES SEE DRAWING NO. G-006
2. EXISTING LOTS AND BLOCKS SHOWN ARE PRIOR TO EMERSON LOFTS MAJOR SUBDIVISION DATED SEPTEMBER 26, 2018
3. PROPOSED LOTS ARE BASED ON SUBDIVISION DATED SEPTEMBER 26, 2018; FILED JUNE 2019

LEGEND

- LOT 100 - PROPOSED SUBDIVISION LOT
- STOCKPILE OF CRUSHED MATERIAL

(SEE DRAWING NO. C-18)



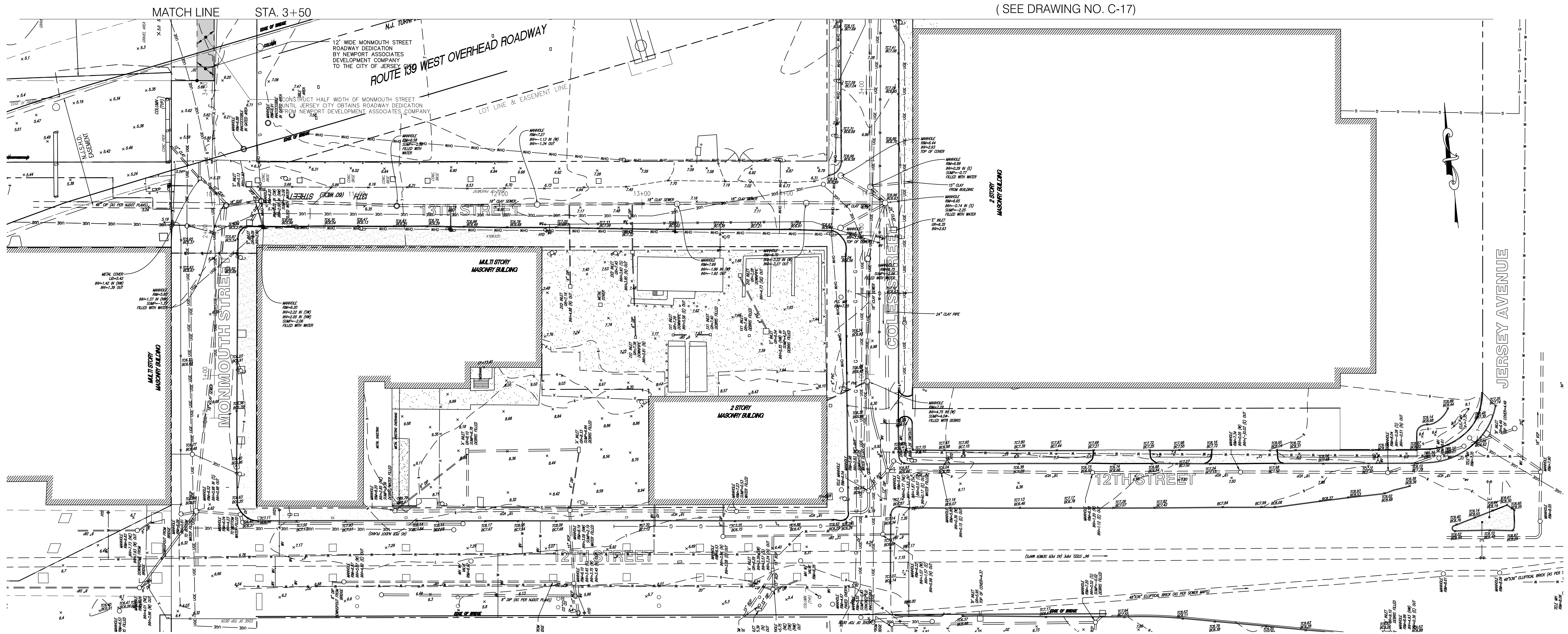
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architecture llc
300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA28287900

ISSUES:	NO.	DESCRIPTIONS	DATE	ISSUES:	NO.	DESCRIPTIONS	DATE	ISSUES:	NO.	DESCRIPTIONS	DATE
	31	UPDATED UTILITY LAYOUT	03.14.22		21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21				
	32	EMERSON PHASE III - RED LINE	04.26.22		22	UPDATED PHASE II PER ARCHITECTS	08.12.21				
	33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22		23	REVISED BLANKET WITH #1 15TH STREET	08.26.21				
	34	EMERSON PHASE III - BUILDING PERMIT SUBMISSION	07.12.22		24	ADDED CONCRETE ADA RAMPS	09.13.21				
	35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22		25	UPDATED LIGHTING	11.03.21				
	36	PHASE III - GAS & TELECOM LATERAL UPDATE	03.13.22		26	PM II - BUILDING PERMIT	11.18.21				
	37	PHASE III - REDLINE UPDATE	06.29.22		27	PM I CRANE - UPDATE	01.04.22				
	38	PHASE III - REDLINE UPDATE	07.17.22		28	REVISED 14TH STREET	01.06.22				
	39	PHASE III - ENTRANCE STAIR ELEVATION UPDATE	08.29.22		29	REVISED 14TH ST SOUTH CURB PER AS-BUILT COND.	01.28.22				
	40	PHASE III - SITE PLAN AMENDMENT SUBMISSION	09.18.22		30	REVISED PH II GRADES	01.20.22				

JEFFREY D. REEVES
NJ LICENSE NUMBER 24G0403070
2023.11.28
10:52:16-05:00

EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:	EXISTING CONDITIONS 1
DRAWING NUMBER:	C-17
DATE:	2023.11.28
TIME:	10:52:16-05:00

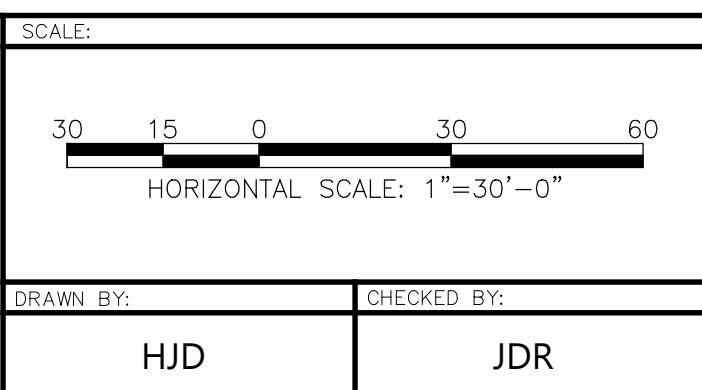
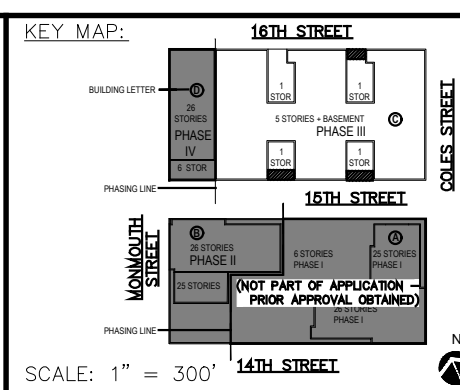


GENERAL NOTES:

- FOR MAP REFERENCES AND GENERAL NOTES SEE DRAWING NO. G-006
- EXISTING LOTS AND BLOCKS SHOWN ARE PRIOR TO EMERSON LOFTS MAJOR SUBDIVISION DATED SEPTEMBER 26, 2018
- PROPOSED LOTS ARE BASED ON SUBDIVISION DATED SEPTEMBER 26, 2018; FILED JUNE 2019

LEGEND

- LOT 100 - PROPOSED SUBDIVISION LOT
- STOCKPILE OF CRUSHED MATERIAL



Urban
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Certificate of Authorization # 24GA28287900

ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE II - RED LINE	04.26.22	22	UPDATED PHASE II PER ARCHITECTS	08.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED BUILDOUT WITH #1 15TH STREET	08.26.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23	26	PH II - BUILDING PERMIT	11.18.21
37	PHASE II - REDLINE UPDATE	06.26.23	27	PH II CRANE - UPDATE	01.06.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.06.22
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.28.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER A260403070
10/26/2018

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:
EXISTING CONDITIONS 2

DRAWING NUMBER:
C-18

DATE:
2023.11.28
10:53:02-05'00"

6
36

ROADWAY INTERSECTION CONTROL POINTS			
POINT NO.	NORTH COORDINATE	EAST COORDINATE	INTERSECTION
6	692696.838	617992.673	17TH ST/COLES ST
7	692645.188	618459.841	17TH ST/JERSEY AVE
8	692488.920	617506.539	16TH ST/MONMOUTH ST
9	692460.371	617764.967	16TH ST/NEW ST
10	692438.407	617963.772	16TH ST/COLES ST
11	692386.802	618430.917	16TH ST/JERSEY AVE
12	692230.349	617477.594	15TH ST/MONMOUTH ST
13	692180.094	617934.870	15TH ST/COLES ST
14	692128.417	618401.982	15TH ST/JERSEY AVE
15	691971.963	617448.671	14TH ST/MONMOUTH ST
16	691921.434	617905.888	14TH ST/COLES ST
17	691713.517	617419.737	13TH ST/MONMOUTH ST
18	691663.048	617876.961	13TH ST/COLES ST

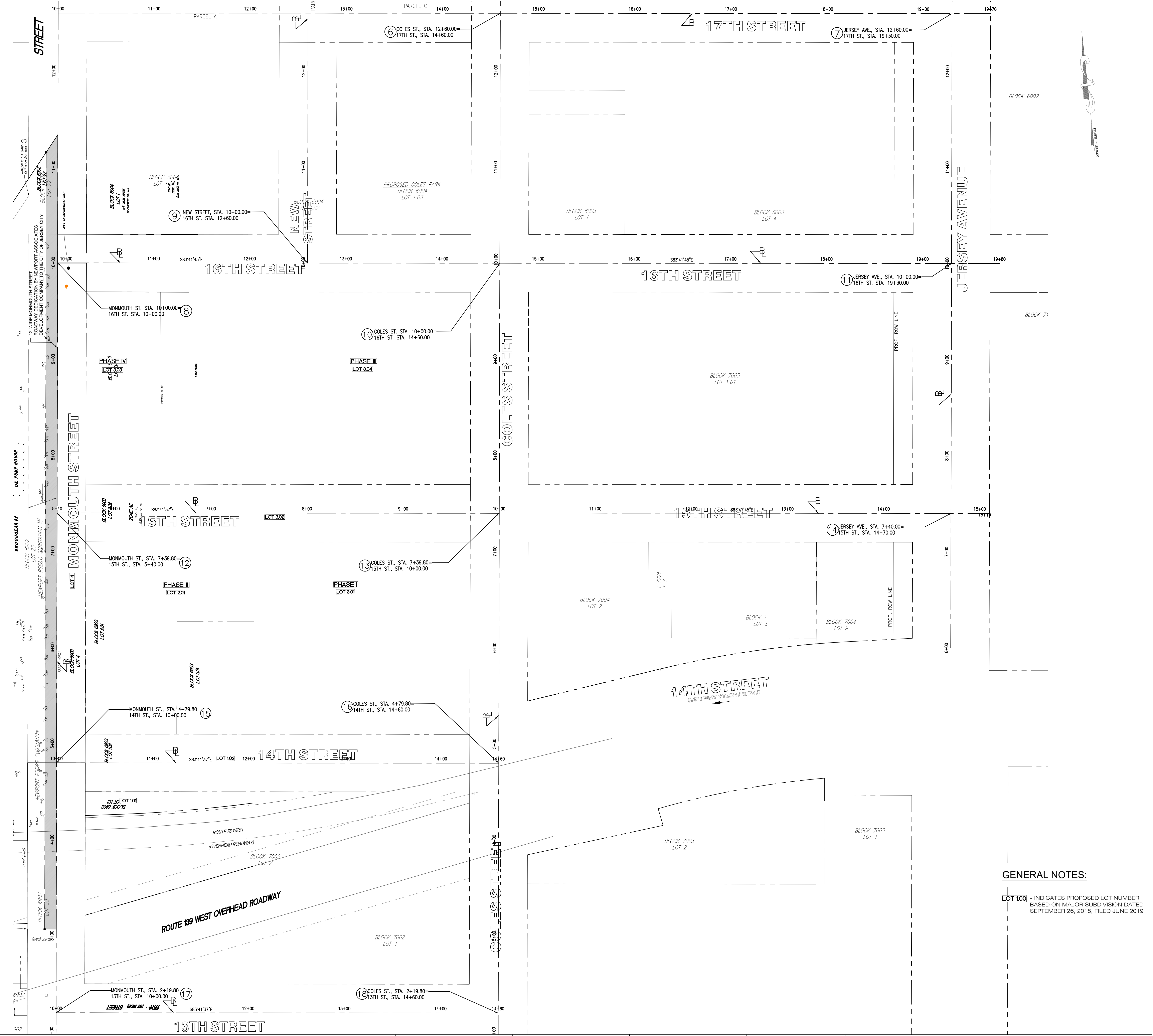
LEGEND

①

INTERSECTION POINT NUMBER

NOTE: COLES STREET BECOMES ONE WAY SOUTH, BEYOND 12TH STREET.

NOTE: MONMOUTH STREET BECOMES ONE WAY NORTH, BEYOND 10TH STREET.



GENERAL NOTES:

LOT 100 - INDICATES PROPOSED LOT NUMBER
BASED ON MAJOR SUBDIVISION DATED
SEPTEMBER 26, 2018, FILED JUNE 2019

KEY MAP:

SCALE: 1" = 300'

DRAWN BY: HJD

CHECKED BY: JDR

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Certificate of Authorization # 246A28287900

ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE II - RED LINE	04.09.22	22	UPDATED PHASE I PER ARCHITECTS	08.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED RUMPOUT WIDTH AT 15TH STREET	08.25.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23	26	PH II - BUILDING PERMIT	11.18.21
37	PHASE III - REDLINE UPDATE	04.26.23	27	PH II CRANE - UPDATE	01.04.22
38	PHASE III - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22
39	PHASE III - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB: PER AS-BUILT COND.	01.28.22
40	PHASE III - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.28.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 246C4040670
All work shall be done in accordance with the provisions of the N.J. State Board of Professional Engineering Examiners, Inc. (NJBPEE) and the N.J. State Board of Professional Engineering Examiners, Inc. (NJBPEE) and the N.J. State Board of Professional Engineering Examiners, Inc. (NJBPEE).

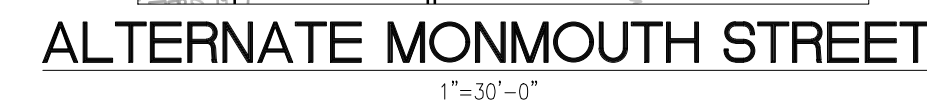
PROJECT:
**EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04**
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:
**OVERALL ROADWAY
ALIGNMENT PLAN**

DRAWING NUMBER:
C-19

7

36



SCALE:

HORIZONTAL SCALE: 1"=30'

DRAWN BY: HJD

CHECKED BY: JDR

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Certificate of Authorization # 24GA28287900

			38	PHASE III - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.24
			39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB PER AS-BUILT COND.	01.28.24
			40	PHASE III - SITE PLAN AMENDMENT SUBMISSION	06.18.23	30	REVISED PAV. GRADES	01.28.24

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 24GE04036700

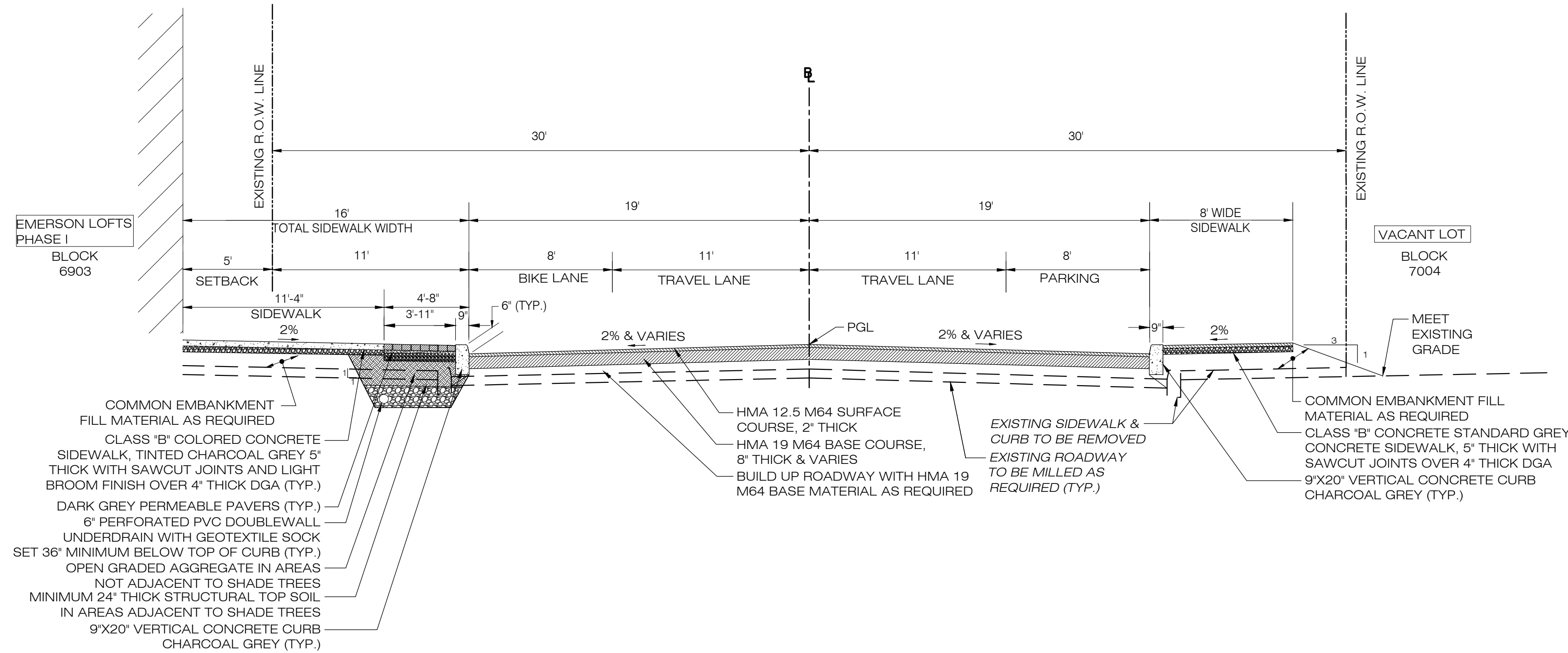
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255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, N.J.

igned

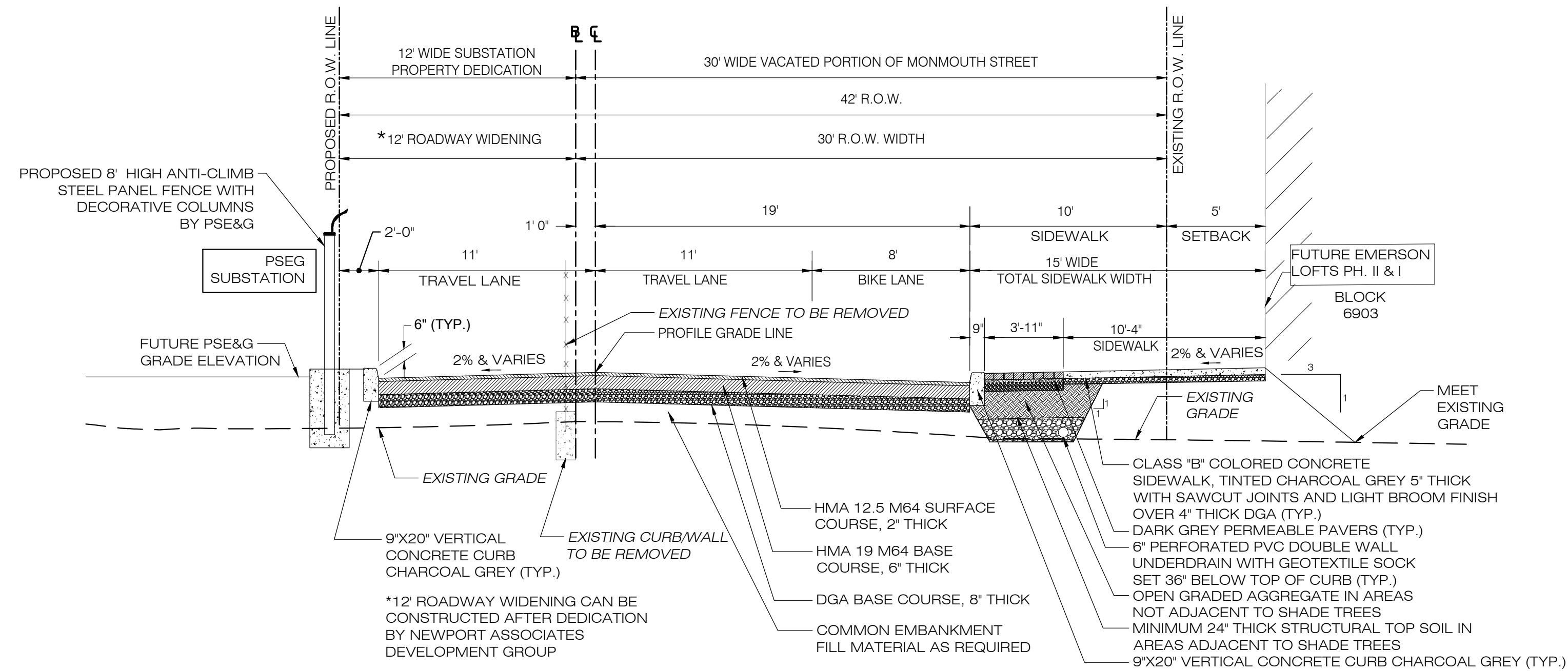
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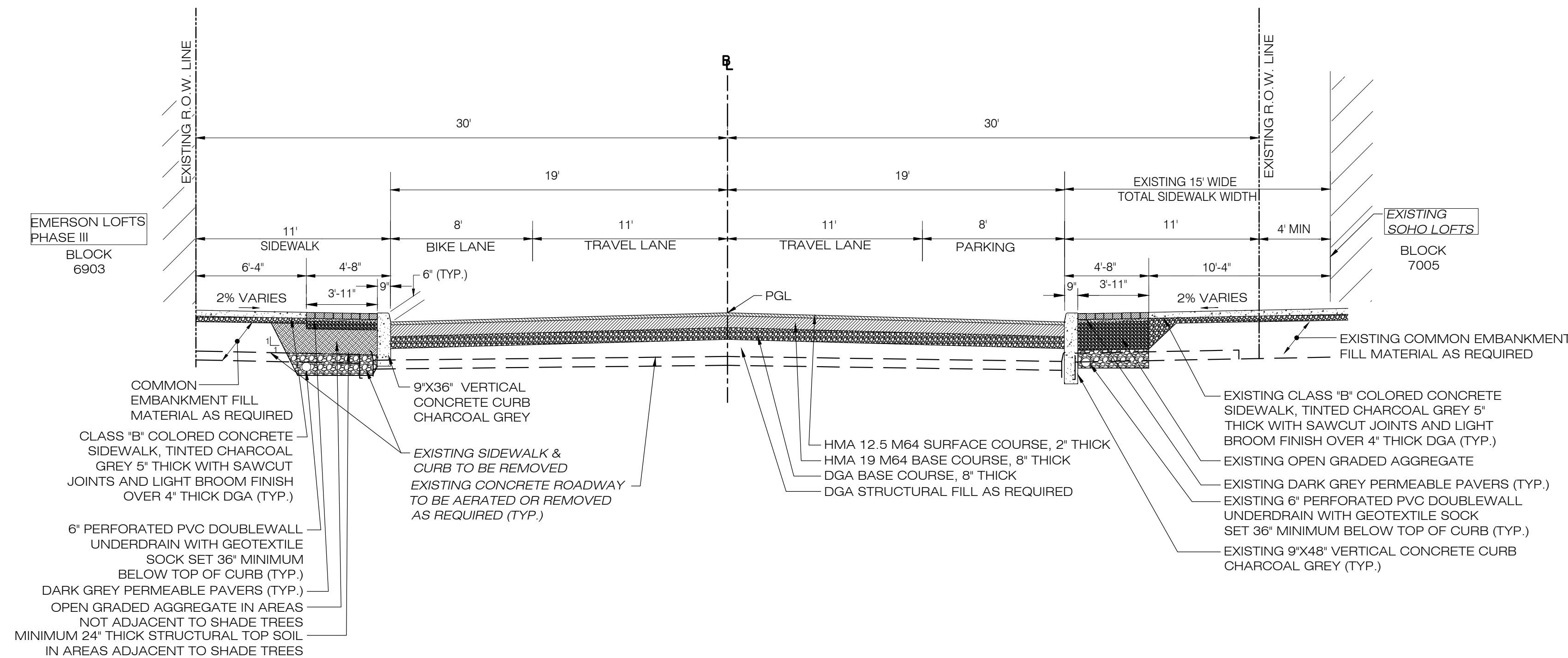
COLES STREET TYPICAL ROADWAY SECTION

STA 4+50 TO STA 7+40



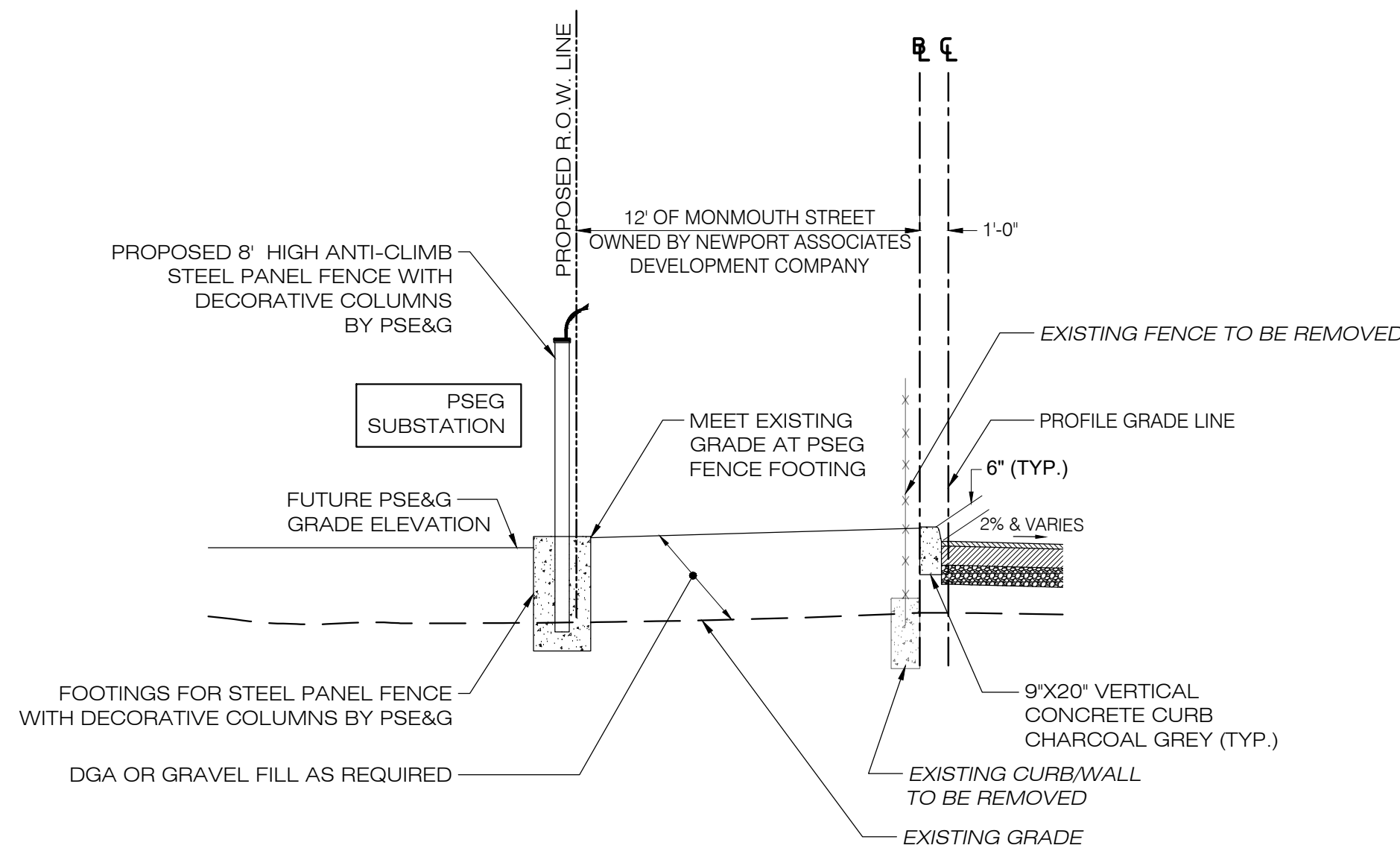
MONMOUTH STREET TYPICAL ROADWAY SECTION

STA 4+80 TO STA 10+20



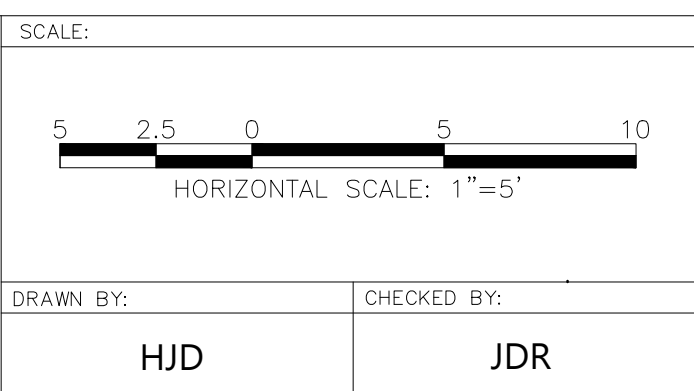
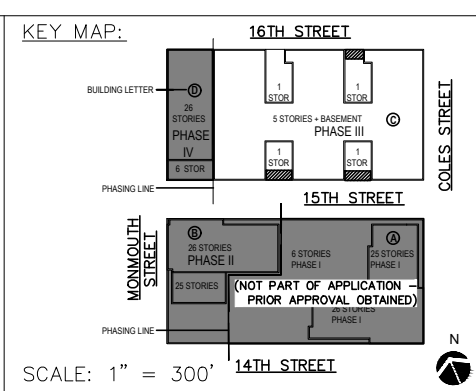
COLES STREET TYPICAL ROADWAY SECTION

STA 7+40 TO STA 10+00



*MONMOUTH STREET ALTERNATE ROADWAY HALF-SECTION

STA 4+80 TO STA 10+20



ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE II - REDLINE	04.26.22	22	UPDATED PHASE II PER ARCHITECTS	08.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED RUMPOUT WIDTH AT 15TH STREET	08.25.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23	26	PH II - BUILDING PERMIT	11.18.21
37	PHASE II - REDLINE UPDATE	04.26.23	27	PH II GRADE - UPDATE	01.04.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.29.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 2462403670
2023.11.28
10:55:57-05'00"

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

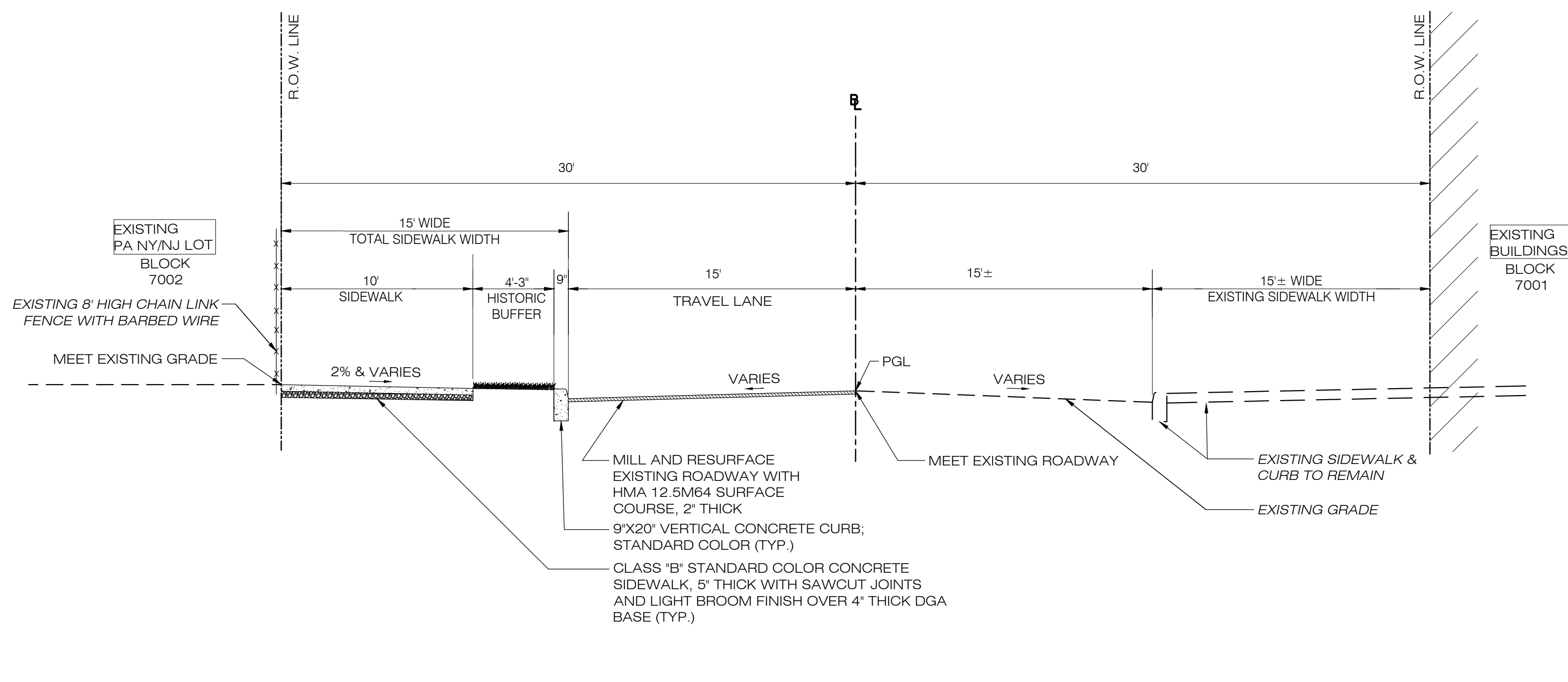
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SECTIONS 1**

DRAWING NUMBER:

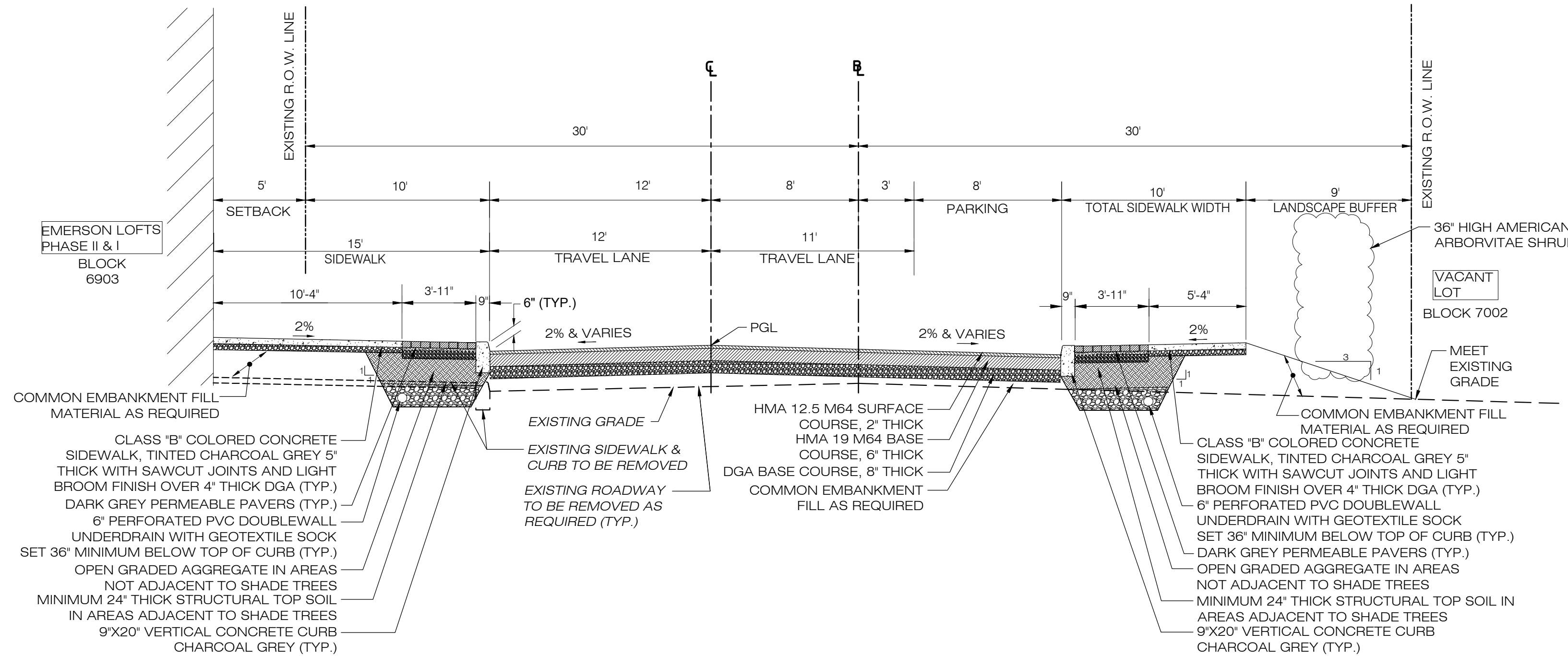
C-25

10

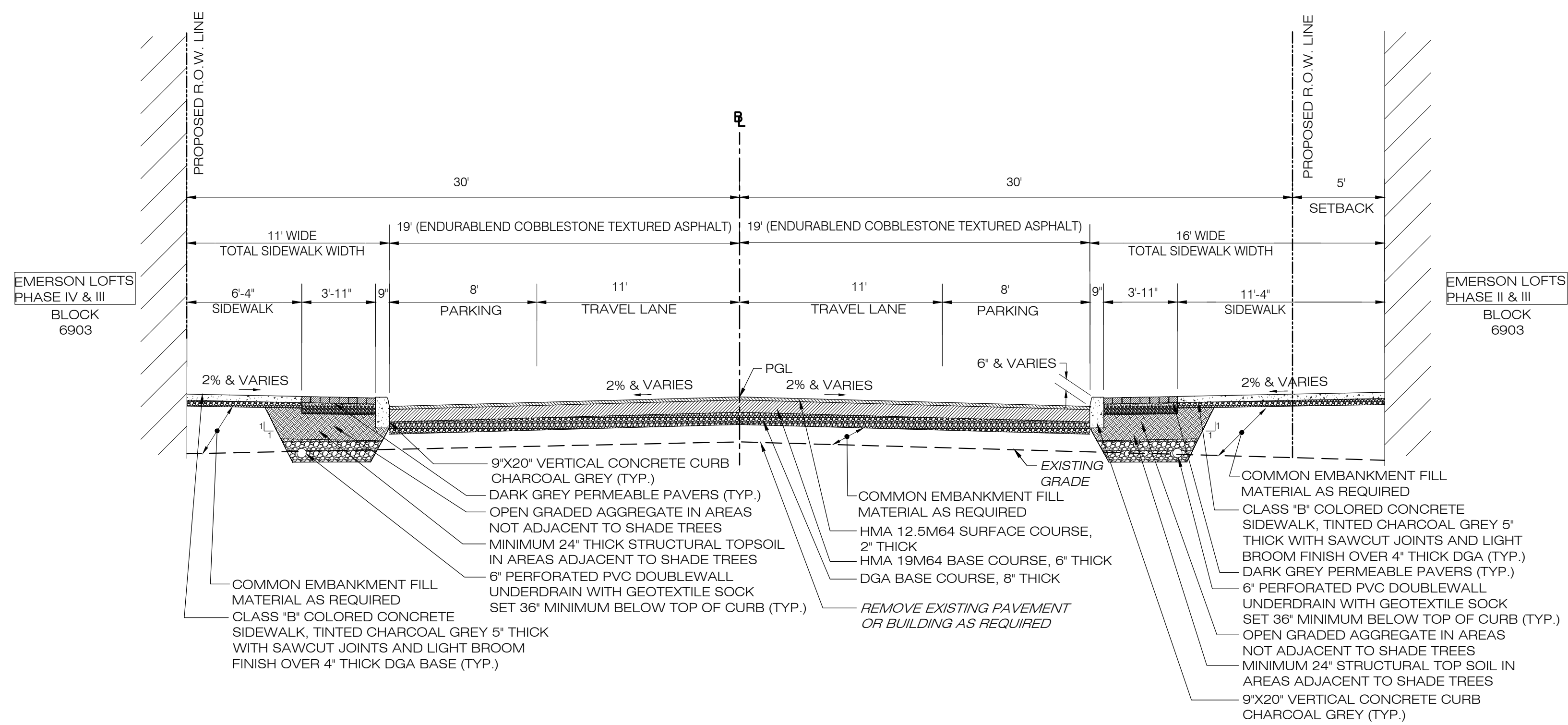
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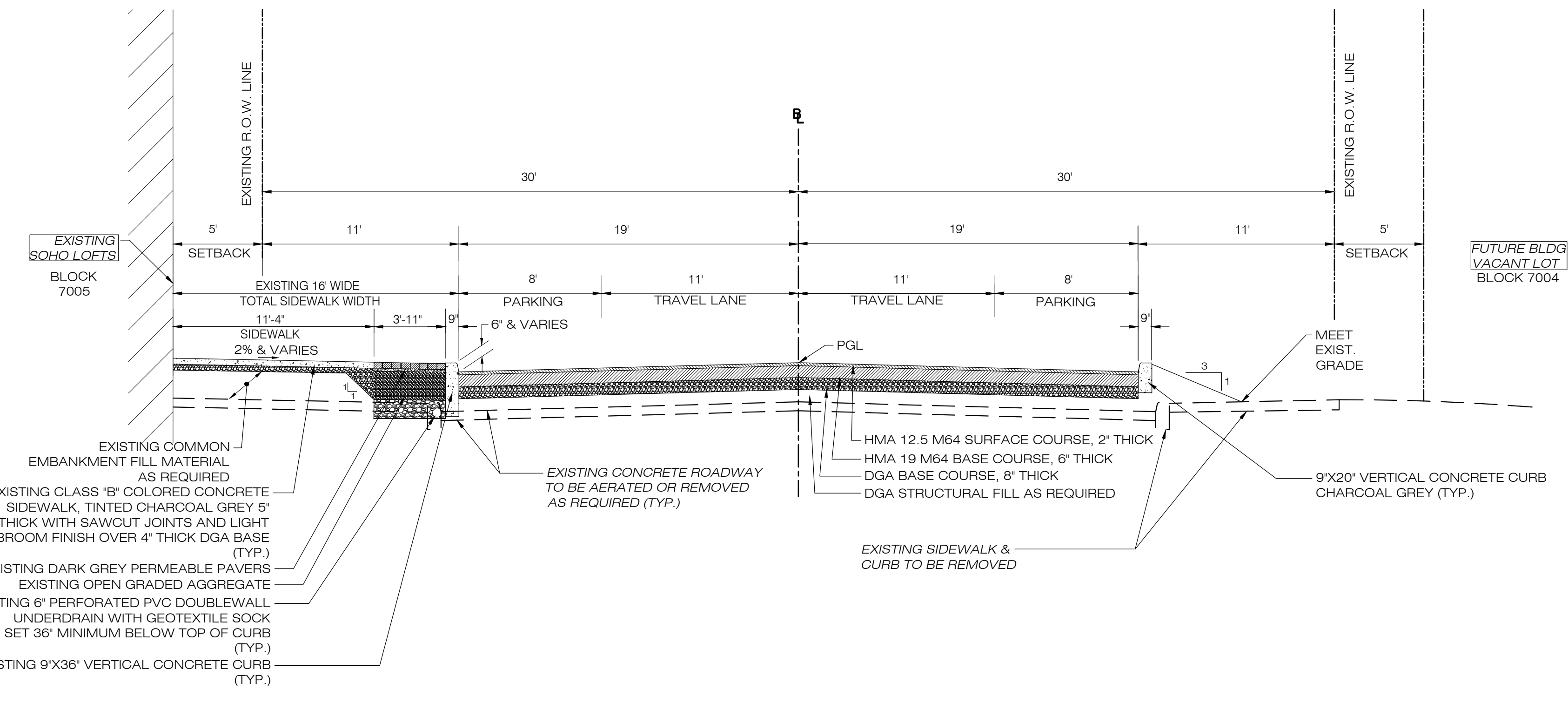
13TH STREET TYPICAL ROADWAY SECTION
STA 10+00 TO STA 14+30



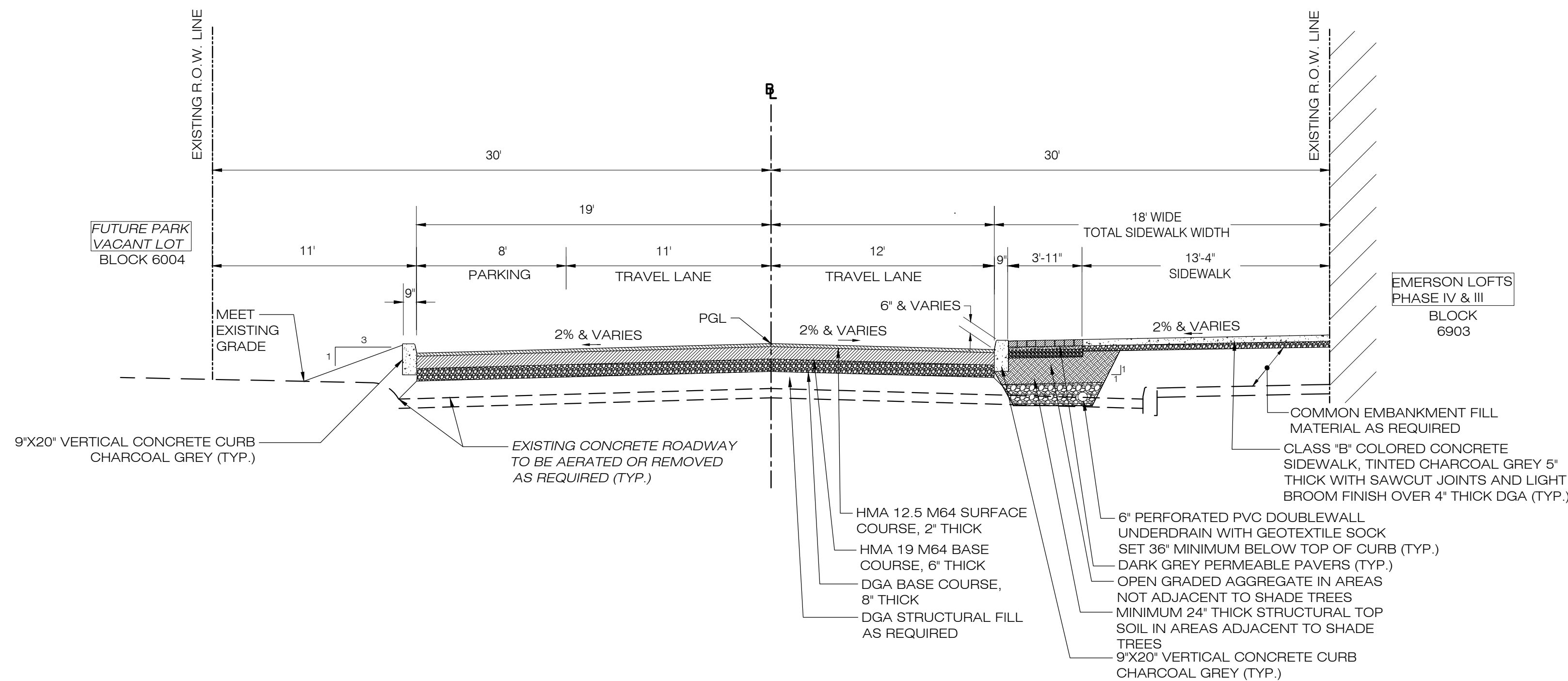
14TH STREET TYPICAL ROADWAY SECTION
STA 10+20 TO STA 14+40



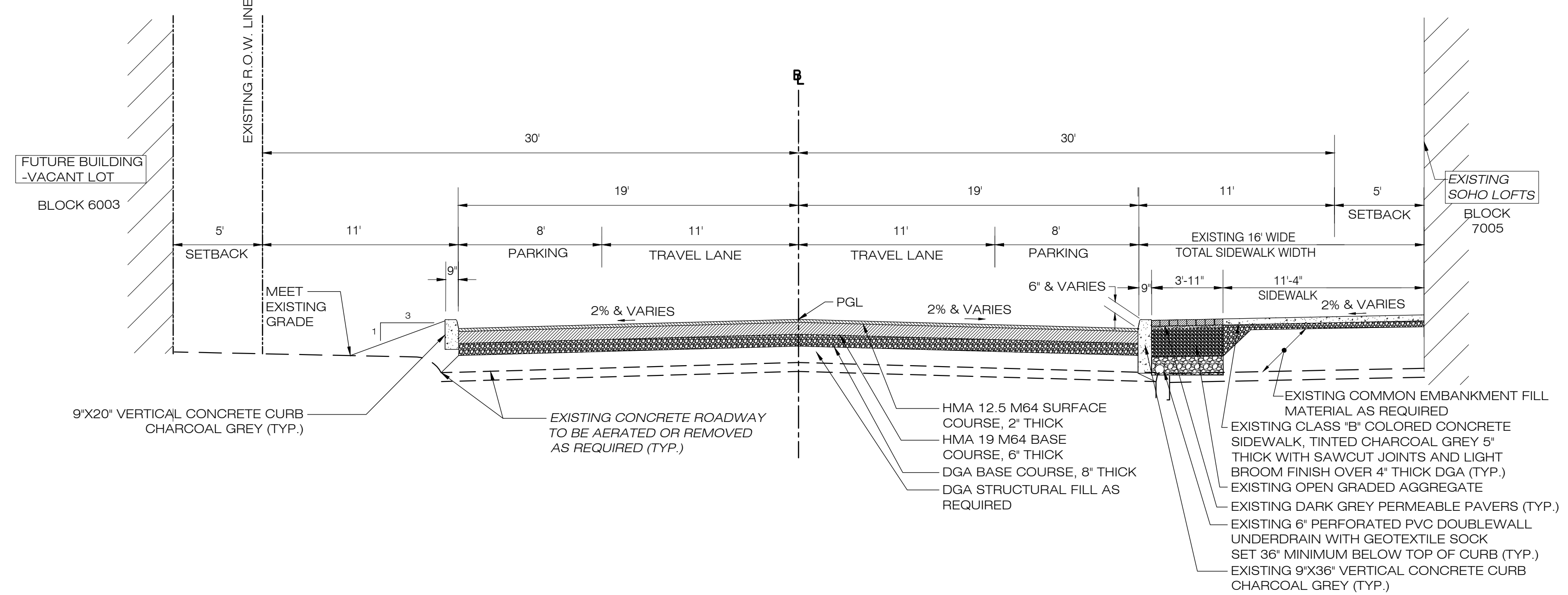
15TH STREET TYPICAL ROADWAY SECTION
STA 5+60 TO STA 9+80



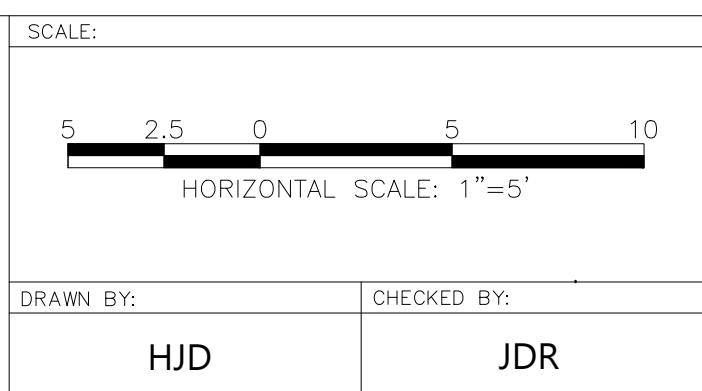
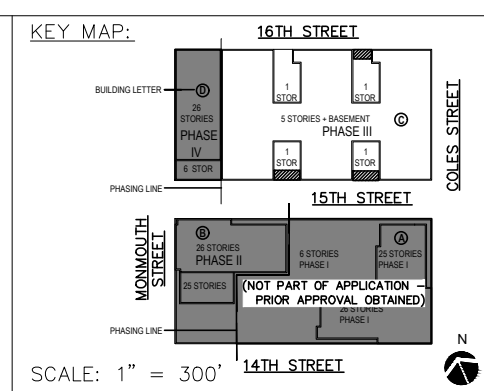
15TH STREET TYPICAL ROADWAY SECTION
STA 10+20 TO STA 11+30



16TH STREET TYPICAL ROADWAY SECTION
STA 10+20 TO STA 14+40



16TH STREET TYPICAL ROADWAY SECTION
STA 14+80 TO STA 16+20



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Certificate of Authorization # 246A28287900

ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
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33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED BUILDOUT WIDTH AT 15TH STREET	08.20.21
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35	EMERSON COMPLEX LIGHTING PLAN UPDATE	12.06.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - DGA & TELECOM LATERAL UPDATE	03.13.23	26	PHYS. BUILDING PERMIT	11.18.21
37	PHASE II - REDLINE UPDATE	04.26.23	27	PH II GRABE - UPDATE	01.04.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22
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40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.28.22

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

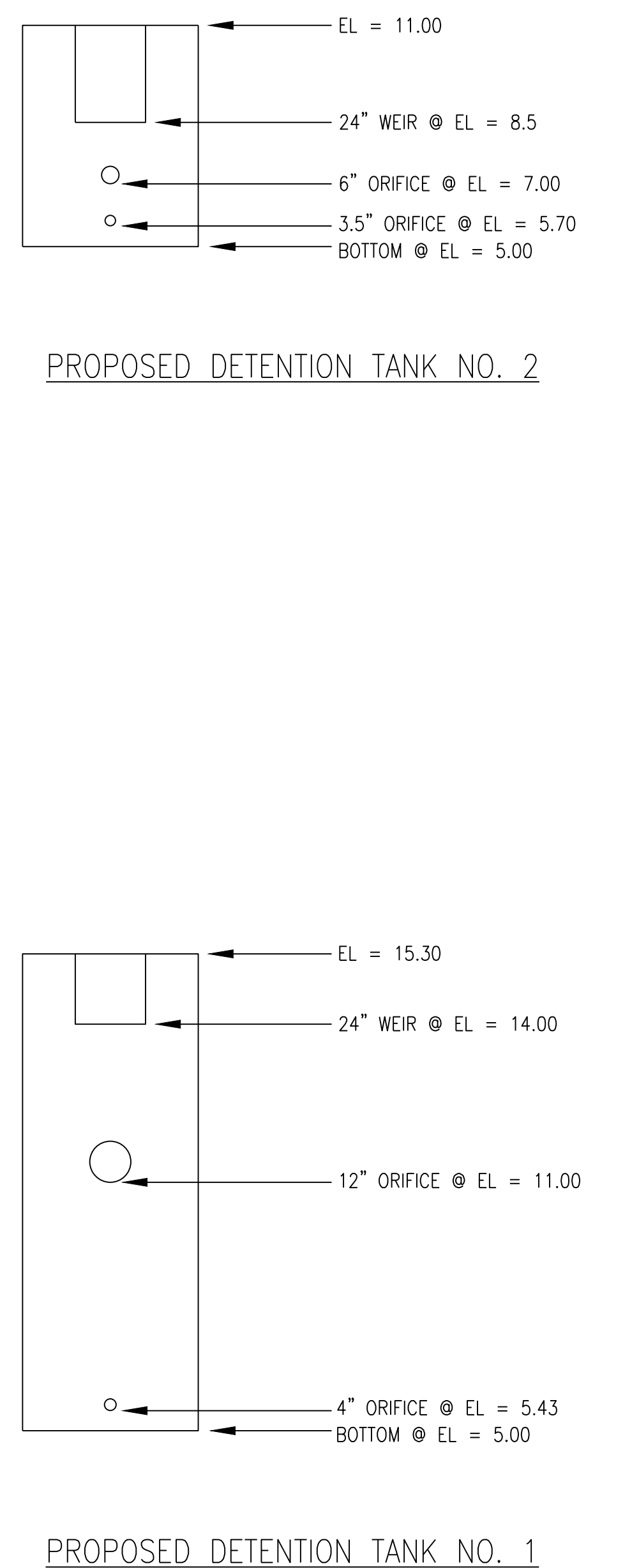
DRAWING TITLE:
**TYPICAL ROADWAY
SECTIONS 2**

DRAWING NUMBER:
C-26

DATE:
**2023.11.28
10:56:17-0500'**

11

36



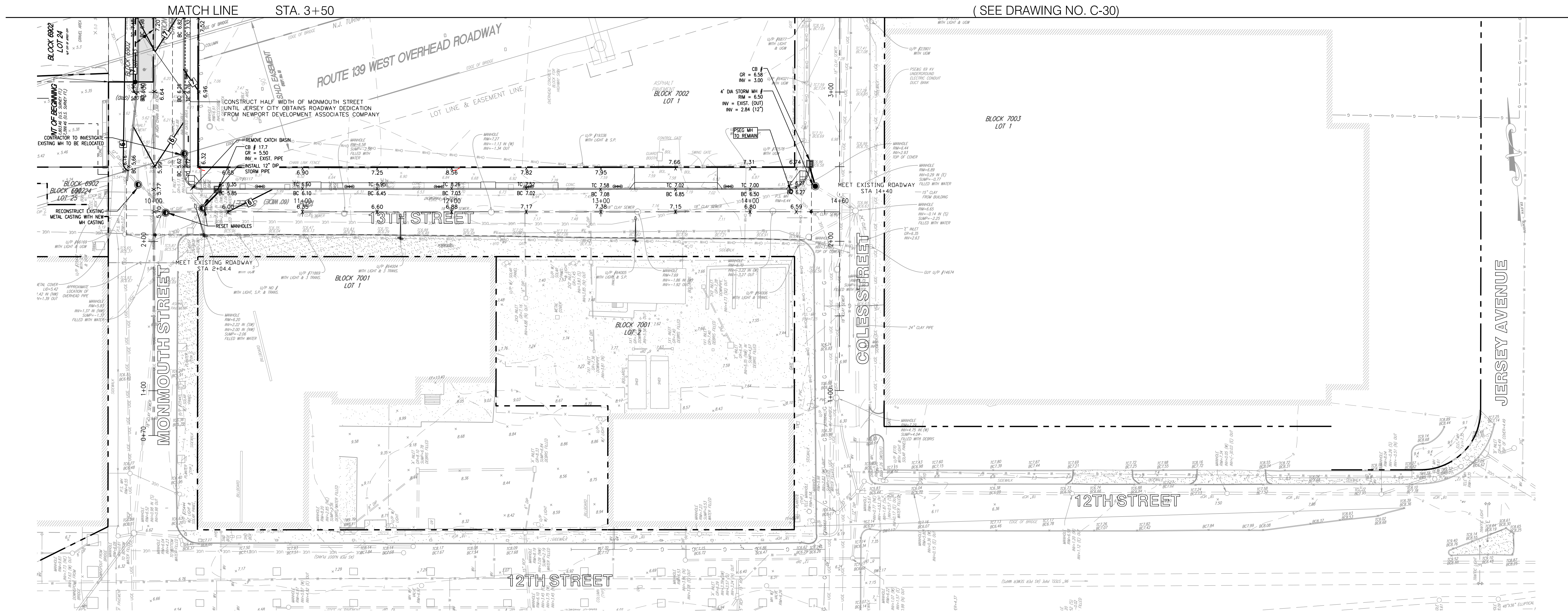
1. ALL PROPOSED CATCH BASINS (CB) TO BE "TYPE B" UNLESS OTHERWISE NOTED.
2. ALL PIPES CONNECTING CATCH BASINS TO STORM MANHOLES SHALL BE 12" DIP @ 1.00% UNLESS OTHERWISE NOTED.
3. ALL PIPES CONNECTING 5'-0" DIA. DRY WELLS TO CATCHBASINS SHALL BE 8" PVC @ 1.00% UNLESS OTHERWISE NOTED.
4. ALL 6" PVC DOUBLE WALL UNDERDRAINS TO BE CONNECTED DIRECTLY TO THE DRAINAGE SYSTEM. EITHER CONNECT DIRECTLY TO A CATCHBASIN OR TO A 5'-0" DIA. DRYWELL.
5. EACH BIO-PLANTER TO CONSTRUCT A 4' WIDE CURB OPENING WITH A TRASH AND DEBRIS COLLECTION CHUTE TO THE FACE OF THE CURB AND HAVE TWO 5'-0" DIA. DRYWELLS.
6. (CCFRPM) INDICATES CENTRIFUGALLY CAST FIBERGLASS REINFORCED POLYMER MORTAR PIPE – TO BE USED FOR STORM SEWER MAIN PIPES.
7. CONTRACTOR TO REPAIR WATER AND GAS VALVES AS REQUIRED TO MEET NEW ELEVATIONS.
8. LOT 100 – INDICATES PROPOSED LOT NUMBER BASED ON MAJOR SUBDIVISION DATED SEPTEMBER 26, 1988, FILED JUNE 29, 1988.
9. STORM SEWER HOUSE TRAP & CLEANOUT MANHOLE STRUCTURE SHALL BE LOCATED IN SIDEWALK AREA ADJACENT TO BUILDING.

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architecture llc

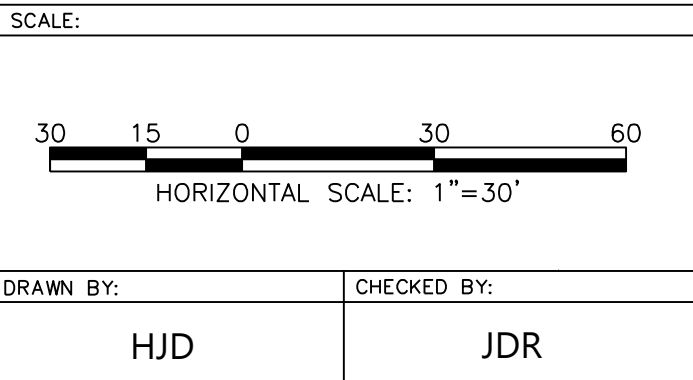
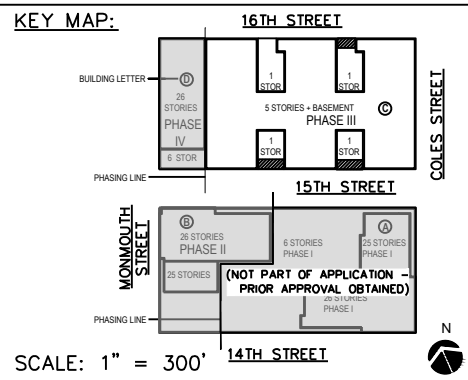
300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA28287900

ISSUES		ISSUES		ISSUES	
NO	DESCRIPTIONS	DATE	NO	DESCRIPTIONS	DATE
1	UPATED UTILITY LAYOUT	09/14/21	1	REVISED STAIR PER MATERIALS & PER ARCHITECT	09/20/21
2	EMERSON PHASE II - RE-PIPE	26/03/22	2	UPATED PHASE II PER ARCHITECT	09/20/21
3	UPATED GROUND FLOOR BUILDING LAYOUT	05/14/22	3	REVISED BUMP OUT WITH #15TH STREET	09/20/21
4	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07/12/21	4	ASPH/CONCRETE AREA RAMP	09/20/21
5	EMERSON CORNER AS - LIGHTING PLAN UPDATE	12/05/21	5	REVISED 14TH STREET	09/20/21
6	PHASE II - GAS & TESCOF LATERAL UPDATE	03/13/21	6	PHASE I - BUILDING PERMIT	11/18/21
7	PHASE II - RE-PIPE UPDATE	04/23/21	7	PHASE I - CORNER - UPDATE	01/24/22
8	PHASE II - RE-PIPE UPDATE	07/12/21	8	REVISED 14TH STREET	09/20/21
9	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08/29/21	9	REVISED 14TH STREET SOUTH COURSE PER AS BUILT COND.	01/24/22

DRAWING TITLE:	
<p style="text-align: center;">GRADING & DRAINAGE PLAN 1</p>	
DRAWING NUMBER:	<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;"> <p>C-30</p> <p>igned</p> </div> <div style="text-align: center;"> <p>12</p> <p>30</p> </div> </div>



- GENERAL NOTES:**
1. ALL PROPOSED CATCH BASINS (CB) TO BE "TYPE B" UNLESS OTHERWISE NOTED.
 2. ALL PIPES CONNECTING CATCH BASINS TO STORM MANHOLES SHALL BE 12" DIP @ 1.00% UNLESS OTHERWISE NOTED.
 3. ALL PIPES CONNECTING 5'-0" DIA. DRY WELLS TO CATCHBASINS SHALL BE 8" PVC @ 1.00% UNLESS OTHERWISE NOTED.
 4. ALL 6" PVC DOUBLE WALL UNDERDRAINS TO BE CONNECTED DIRECTLY TO THE DRAINAGE SYSTEM. EITHER CONNECT DIRECTLY TO A CATCHBASIN OR TO A 5'-0" DIA. DRYWELL.
 5. EACH BIO-PLANTER TO CONSTRUCT A 4' WIDE CURB OPENING WITH A TRASH AND DEBRIS GUARD BOLTED TO THE FACE OF THE CURB AND HAVE TWO 5'-0" DIA. DRYWELLS.
 6. (CCFRPM) INDICATES CENTRIFUGALLY CAST FIBERGLASS REINFORCED POLYMER MORTAR PIPE - TO BE USED FOR STORM SEWER MAIN PIPES.
 7. CONTRACTOR TO RESET WATER AND GAS VALVES AS REQUIRED TO MEET NEW ELEVATIONS.
 8. **LOT 100** - INDICATES PROPOSED LOT NUMBER BASED ON MAJOR SUBDIVISION DATED SEPTEMBER 26, 2018, FILED JUNE 2019.
 9. STORM SEWER HOUSE TRAP & CLEANOUT MANHOLE STRUCTURE SHALL BE LOCATED IN SIDEWALK AREA ADJACENT TO BUILDING.



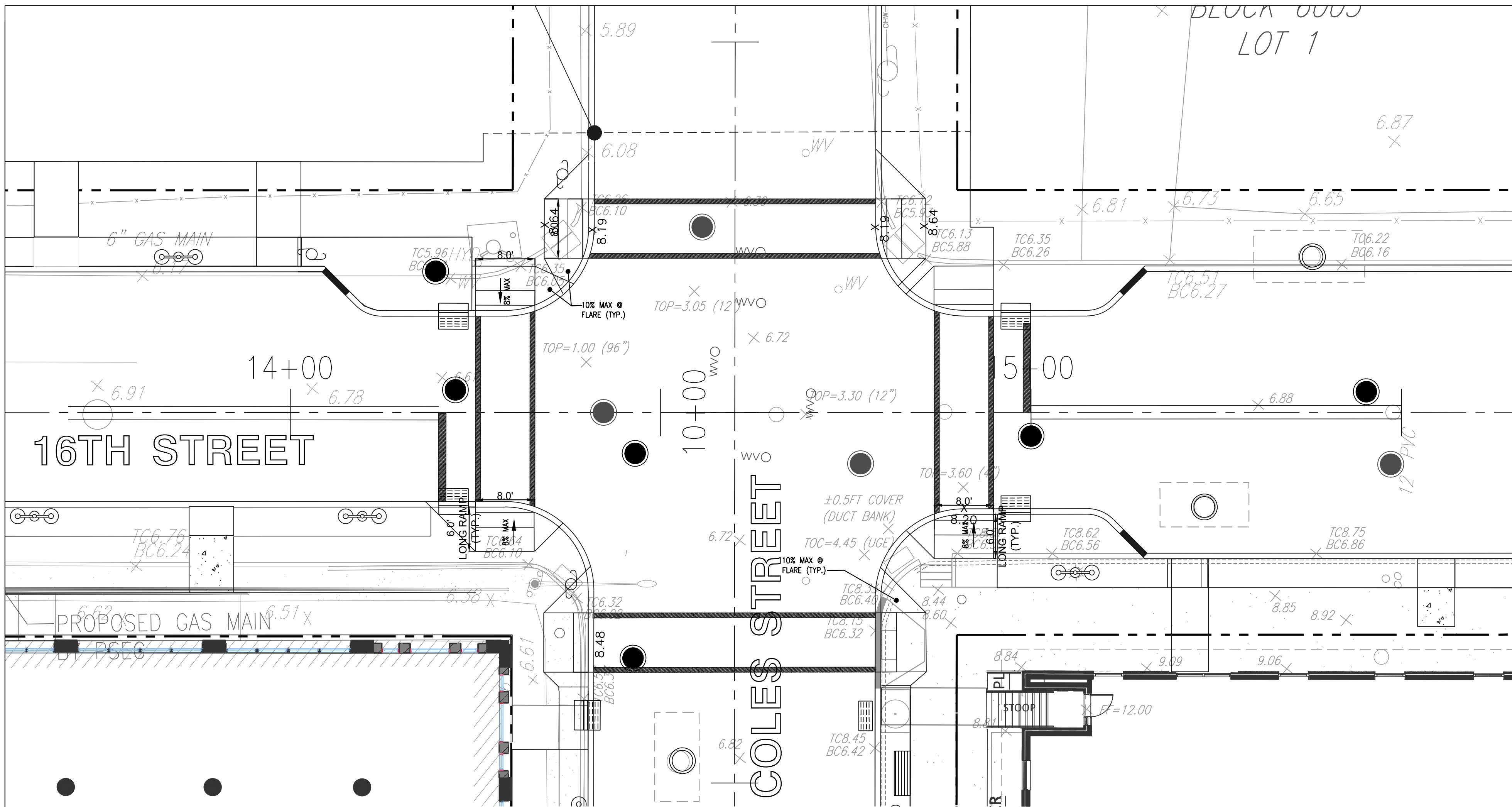
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NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE II, RED LINE	04.09.22	22	UPDATED PHASE II PER ARCHITECTS	08.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED RAMPOUT WIDTH AT 15TH STREET	08.25.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMP	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II, GAS & TELECOM LATERAL UPDATE	03.13.23	26	PHASE II, BUILDING PERMIT	11.18.21
37	PHASE II - REDLINE UPDATE	04.26.23	27	PH II GRADE - UPDATE	01.04.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB: PER AS-BUILT COND.	01.28.22
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.29.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 2460403670
40 YEARS EXPERIENCE IN CIVIL ENGINEERING
THESE SEAL, SIGNATURE, AND EXPIRATION DATE ARE VALID FOR THE STATE OF NEW JERSEY ONLY.

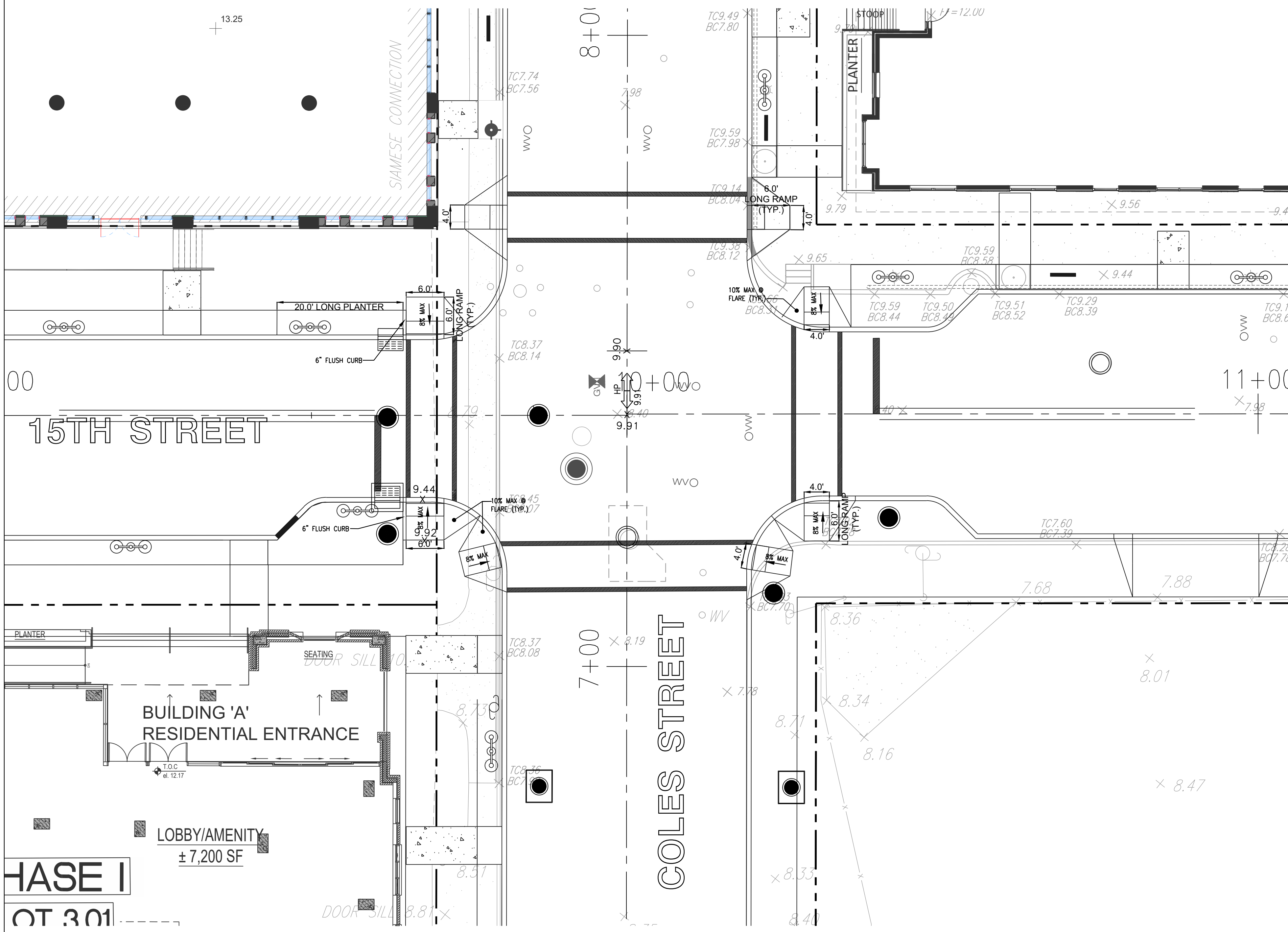
PROJECT:
EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:
GRADING & DRAINAGE
PLAN 2

DRAWING NUMBER:
C-31



16TH STREET INTERSECTION PLAN



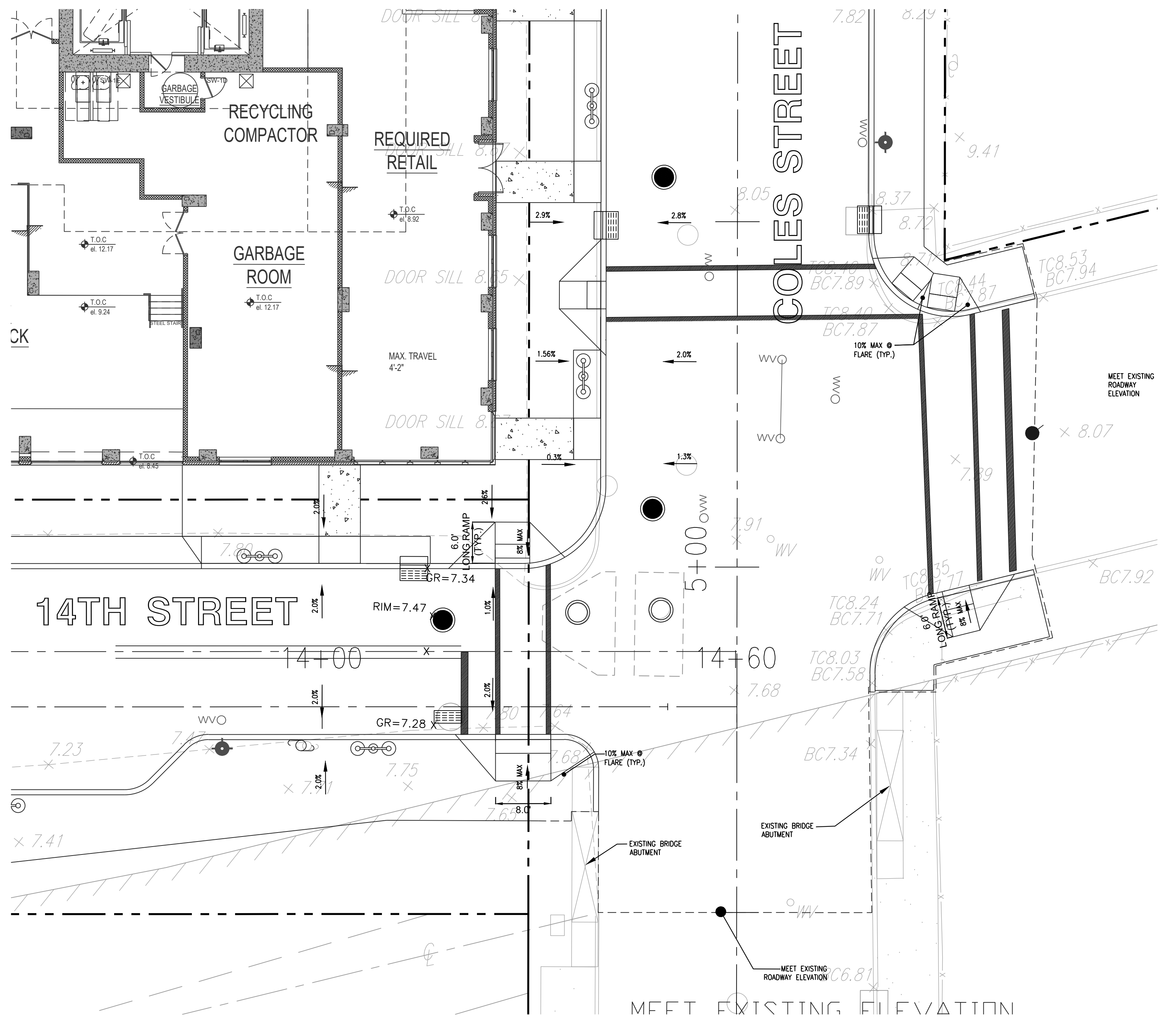
15TH STREET INTERSECTION PLAN

PHASE I
LOT 301

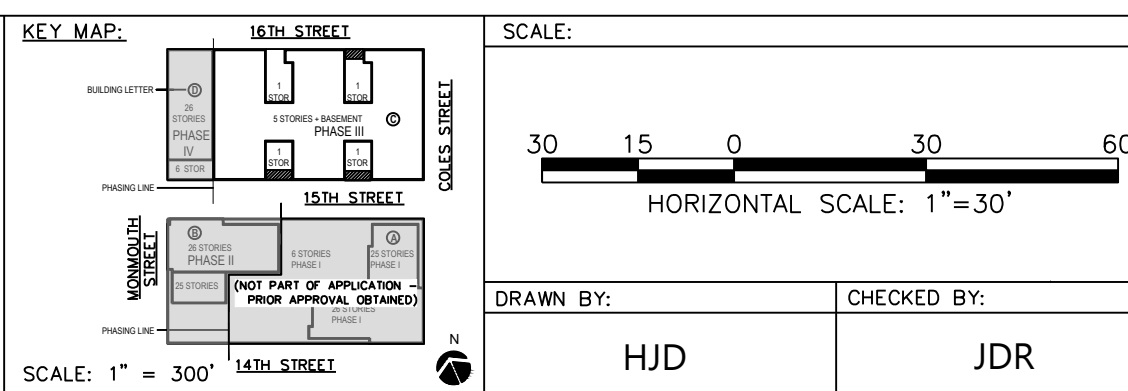
BUILDING 'A'
RESIDENTIAL ENTRANCE
LOBBY/AMENITY
± 7,200 SF

GRADING & DRAINAGE LEGEND

EXISTING	PROPOSED
	PROPERTY LINE
	SPOT ELEVATION
	COMBINED SEWER MANHOLE
	STORM MANHOLE
	TYPE A INLET
	TYPE B INLET
	TYPE E INLET
	AREA INLET
	SANITARY MANHOLE
	CLEANOUT



14TH STREET INTERSECTION PLAN



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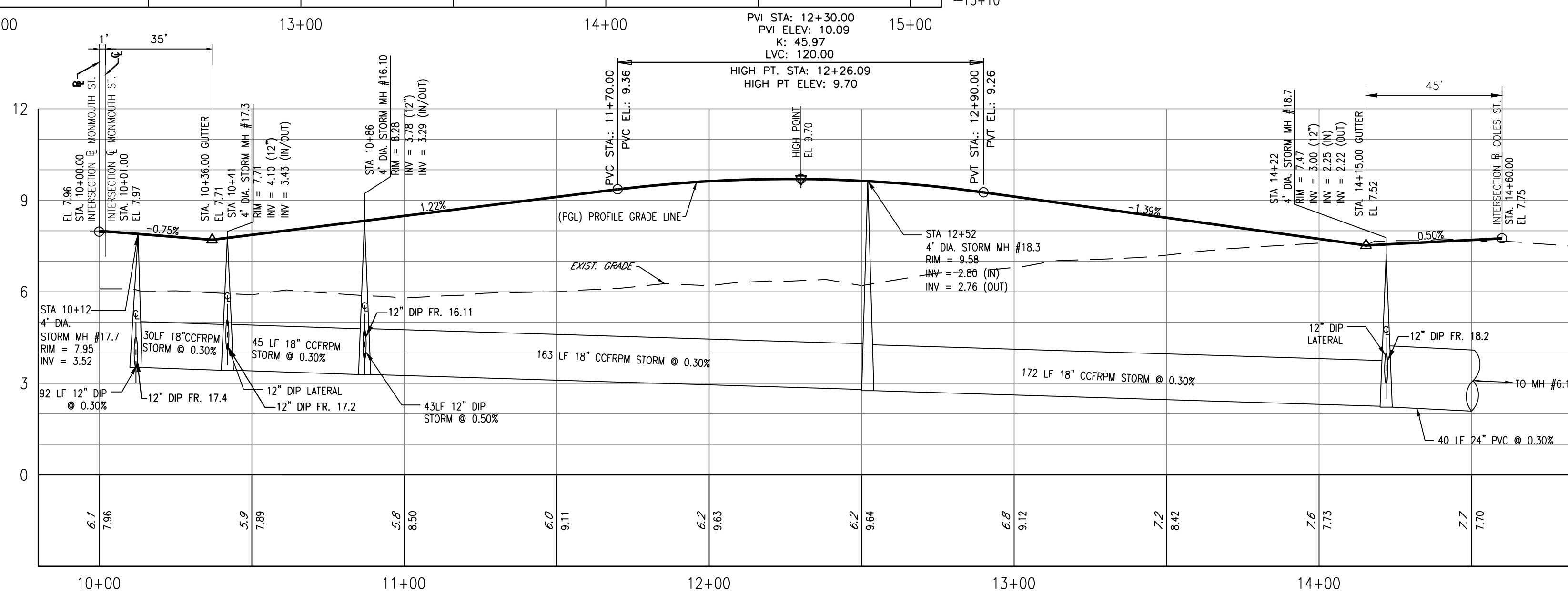
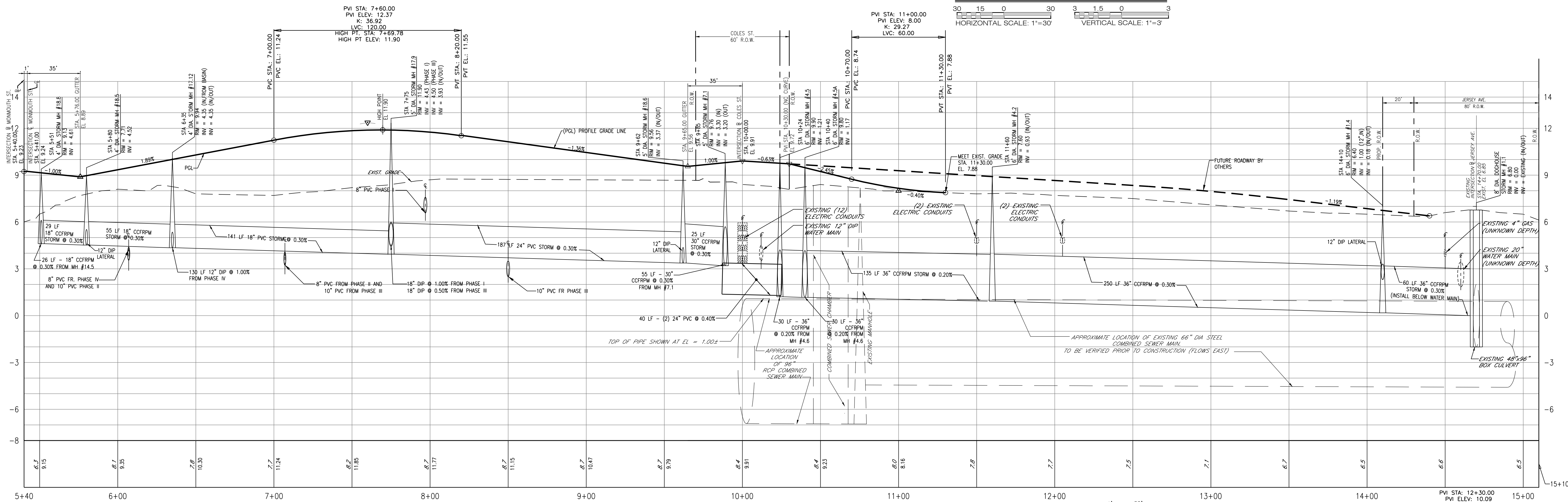
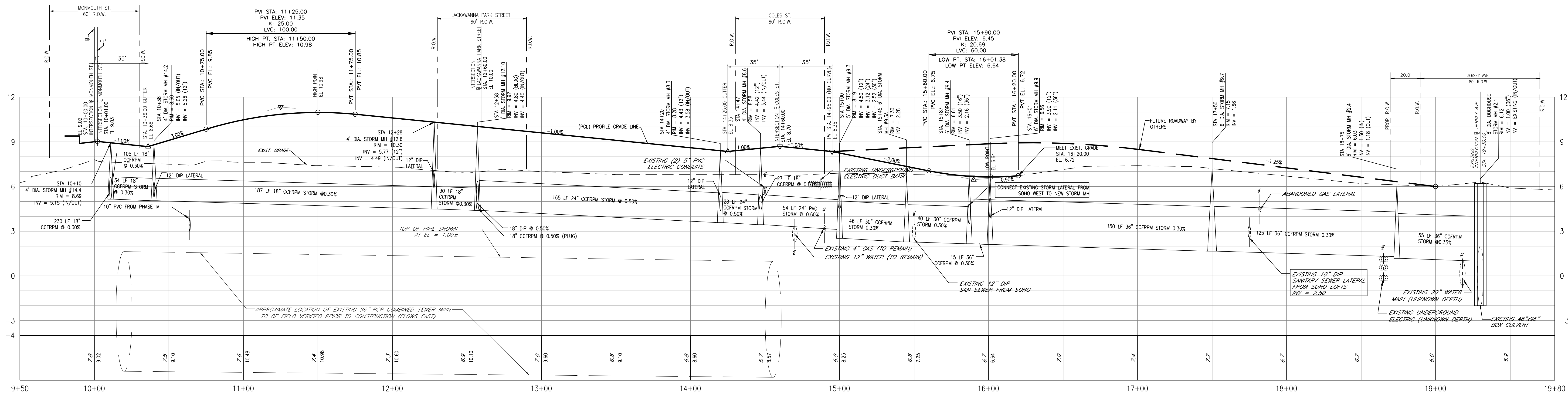
ISSUES:	ISSUES:	ISSUES:
NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22
32	EMERSON PHASE II, REDLINE	03.14.22
33	UPDATED GROUND FLOOR BUILDING LAYOUT	04.26.22
34	EMERSON PHASE II, BUILDING PERMIT SUBMISSION	07.12.22
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.06.22
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23
37	PHASE III - REDLINE UPDATE	04.26.23
38	PHASE III - REDLINE UPDATE	07.17.23
39	PHASE III - ENTRANCE STAIR ELEVATION UPDATE	08.29.23
40	PHASE III - SITE PLAN AMENDMENT SUBMISSION	09.18.23
NO.	DESCRIPTIONS	DATE
21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
22	UPDATED PHASE I PER ARCHITECTS	06.12.21
23	REVISED RUMPOUT WIDTH AT 15TH STREET	06.29.21
24	ADDED CONCRETE ADA RAMPS	09.13.21
25	UPDATED LIGHTING	11.03.21
26	PH II - BUILDING PERMIT	11.18.21
27	PH II CRANE - UPDATE	01.04.22
28	REVISED 14TH STREET	01.05.22
29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
30	REVISED PH II GRADES	01.29.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 2462403870
2462403870
The State of New Jersey, Department of Transportation, Office of the State Engineer

PROJECT:
EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

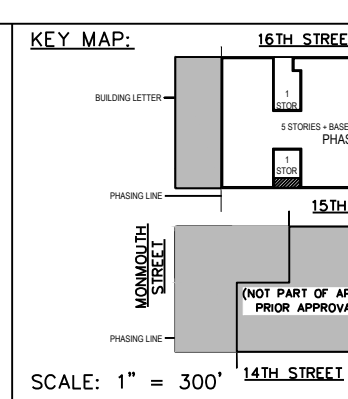
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INTERSECTION DETAIL PLANS
DRAWING NUMBER:
C-32
14
36

Digitally signed by Jeffrey D. Reeves
Date: 2023.11.28 10:58:05-0500



NOTES:

- (CCFRPM) INDICATES CENTRIFUGALLY CAST FIBERGLASS REINFORCED POLYMER MORTAR PIPE - TO BE USED FOR STORM SEWER MAIN PIPES.



SCALE:

AS SHOWN

DRAWN BY: HJD

CHECKED BY: JDR

Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 246A28878900

ISSUES:	DATE	ISSUES:	DATE	ISSUES:	DATE
NO. DESCRIPTIONS		NO. DESCRIPTIONS		NO. DESCRIPTIONS	
31	03.14.22	21	03.14.22	21	03.14.22
32	04.26.22	22	04.26.22	22	04.26.22
33	05.14.22	23	05.14.22	23	05.14.22
34	07.12.22	24	07.12.22	24	07.12.22
35	12.06.22	25	12.06.22	25	12.06.22
36	03.13.23	26	03.13.23	26	03.13.23
37	04.26.23	27	04.26.23	27	04.26.23
38	07.17.23	28	07.17.23	28	07.17.23
39	08.29.23	29	08.29.23	29	08.29.23
40	09.18.23	30	09.18.23	30	09.18.23

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 246C4040870
2023.11.28 10:58:32-05'00'

EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

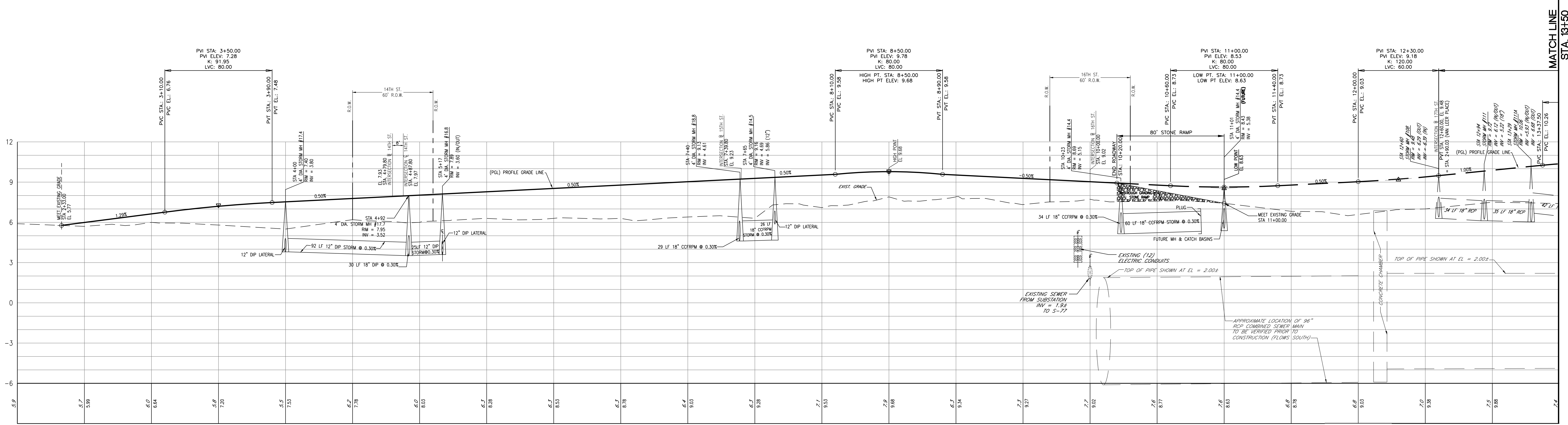
ROADWAY PROFILES 1

DRAWING NUMBER:

C-35

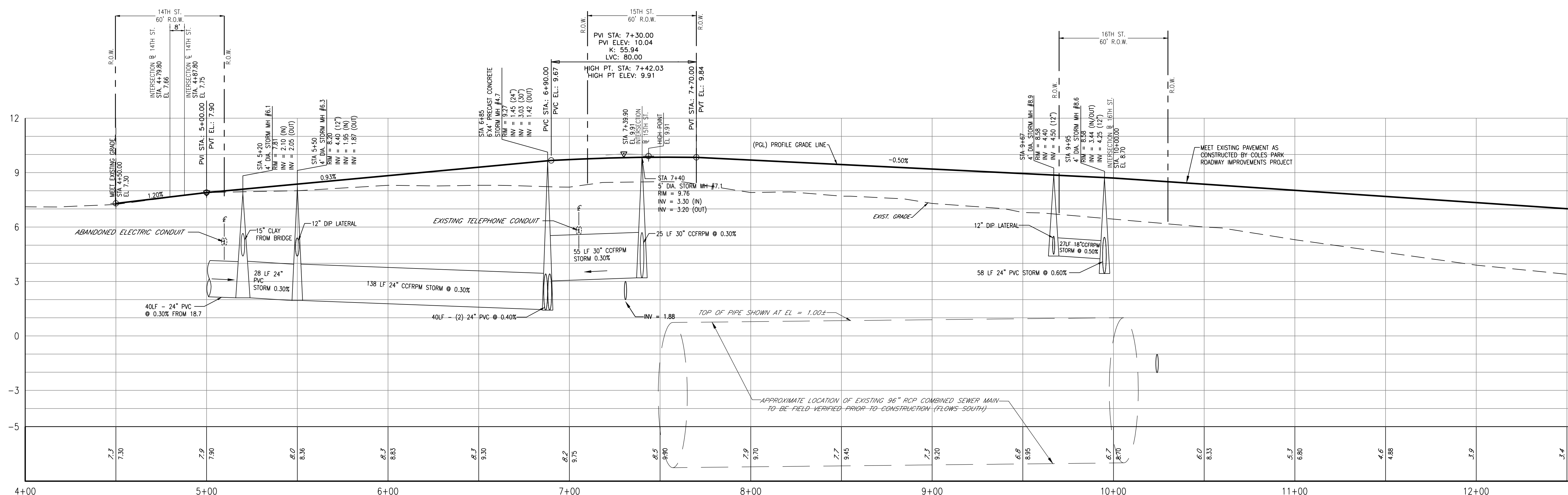
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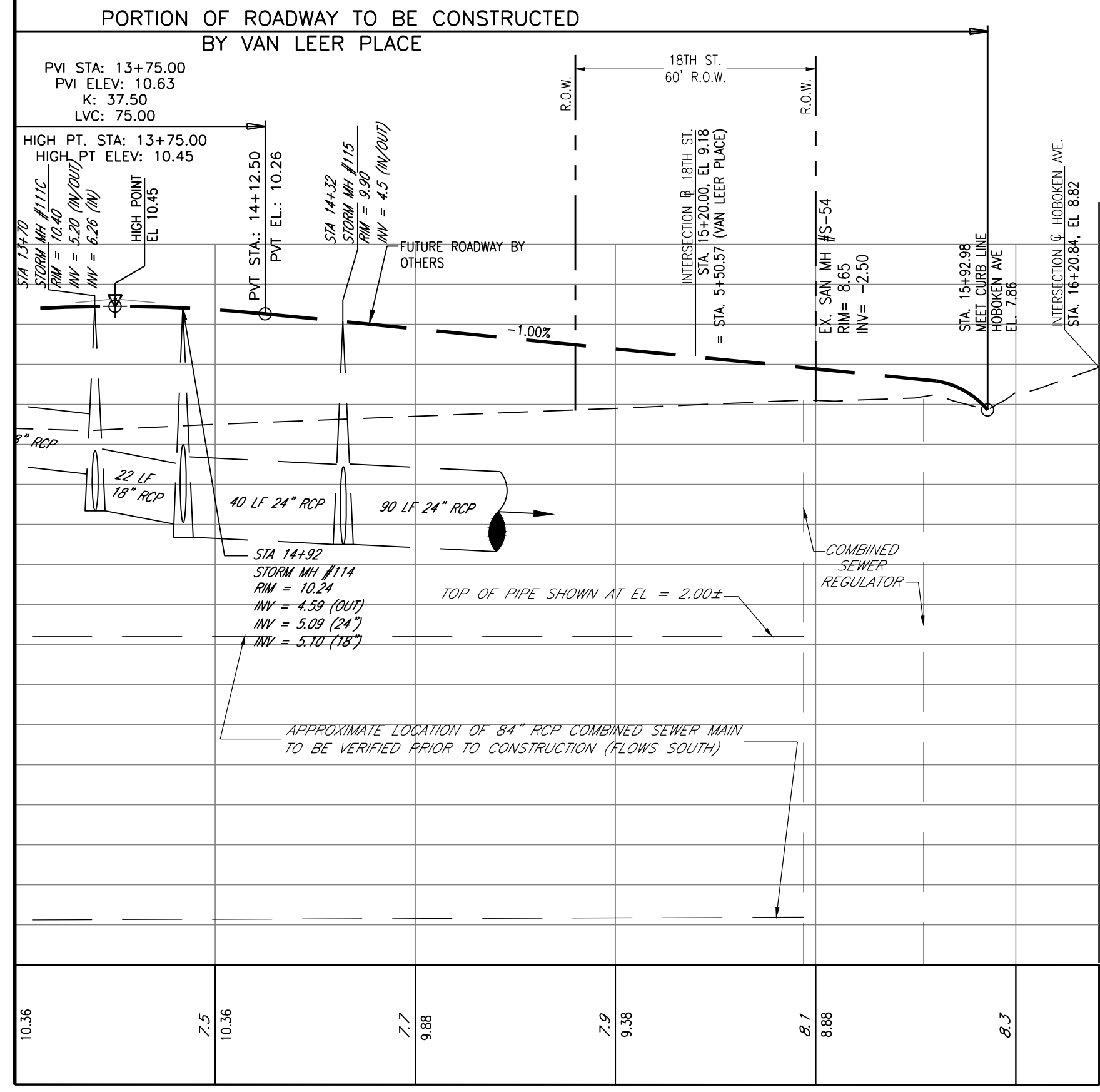


MONMOUTH STREET PROFILE (ALONG E OF ROADWAY)

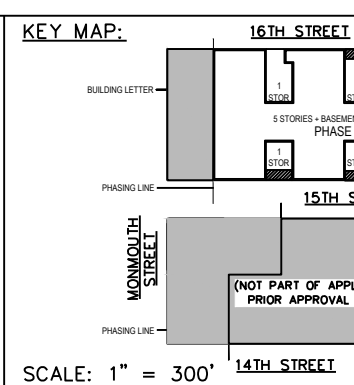
- NOTES:
1. (CCFRPM) INDICATES CENTRIFUGALLY CAST FIBERGLASS REINFORCED POLYMER MORTAR PIPE - TO BE USED FOR STORM SEWER MAIN PIPES.



COLES STREET PROFILE (ALONG E OF ROADWAY)



MONMOUTH STREET PROFILE (ALONG E OF ROADWAY)



SCALE:

AS SHOWN

DRAWN BY:

CHECKED BY:

Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 246A28287900

ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE II, RED LINE	04.26.22	22	REVISED PHASE I PER ARCHITECTS	06.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED RAMPUP WIDTH AT 15TH STREET	06.25.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.06.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23	26	PH II - BUILDING PERMIT	11.16.21
37	PHASE II - REDLINE UPDATE	04.26.23	27	PH II GRABE - UPDATE	01.04.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
40	PHASE III - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.29.22

PROJECT:
EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

JEFFREY D. REEVES
N.J. LICENSE NUMBER 246C403670
Professional Engineer
The State of New Jersey Department of Transportation

Drawn by: Jeffrey D. Reeves
Date: 11.28.2023
Time: 10:59:01-05:00:00

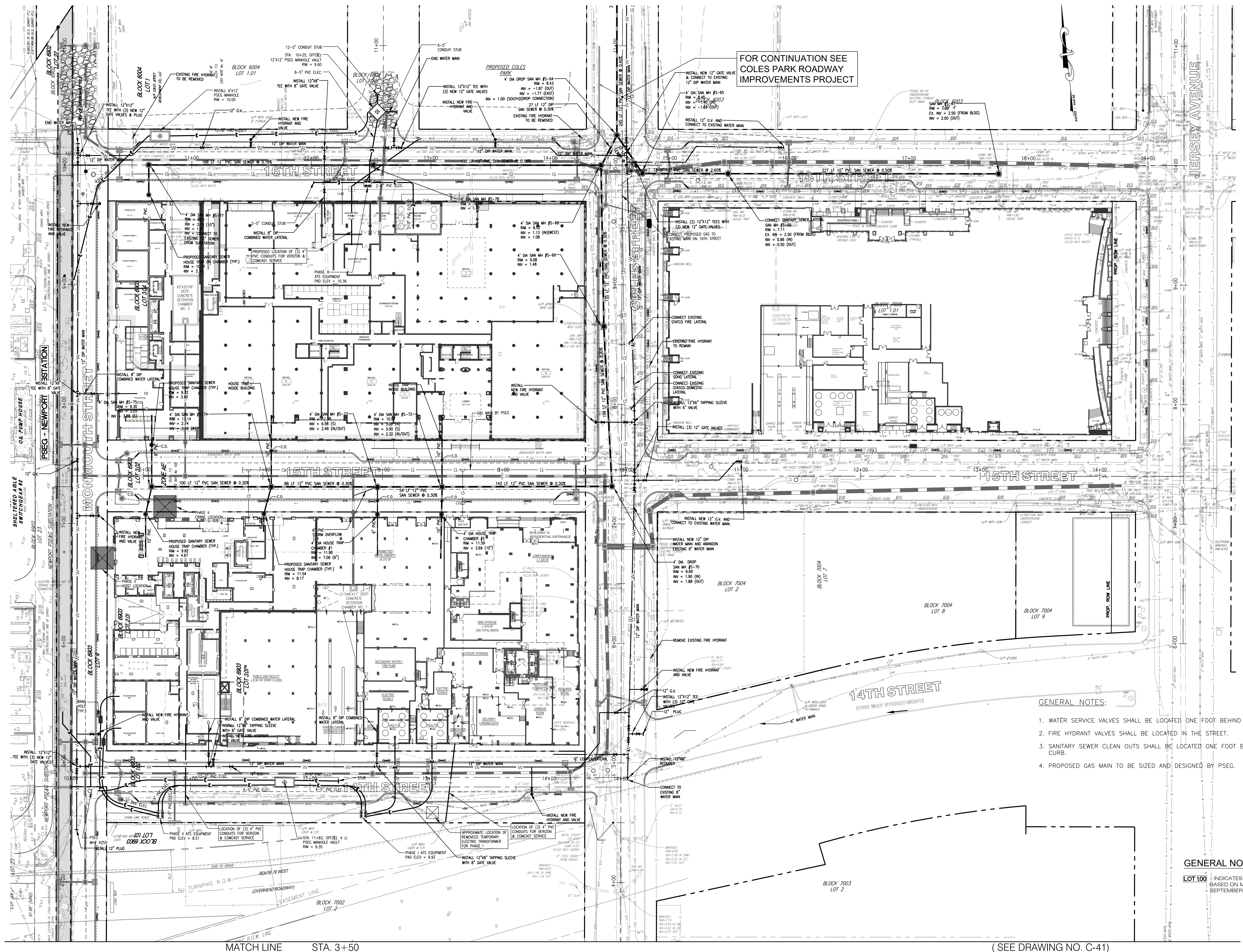
DRAWING TITLE:
ROADWAY PROFILES 2

DRAWING NUMBER:

C-36

16

36



FOR CONTINUATION SEE
COLES PARK ROADWAY
IMPROVEMENTS PROJECT

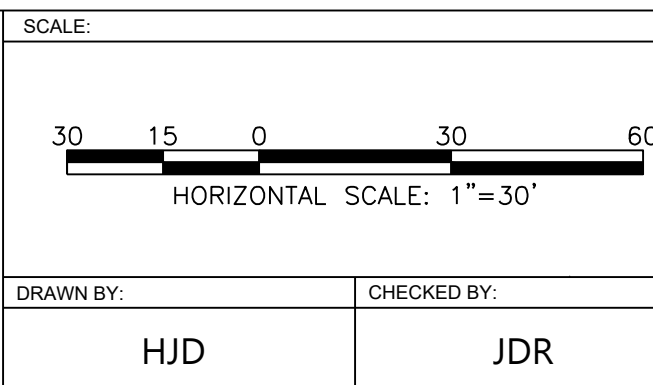
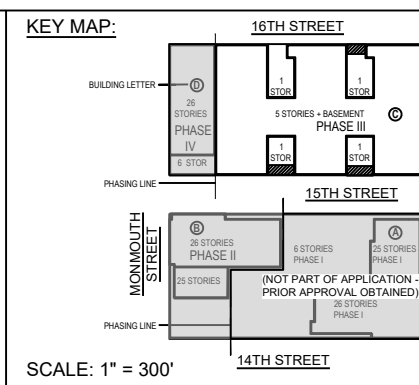
GENERAL NOTES:

1. WATER SERVICE VALVES SHALL BE LOCATED ONE FOOT BEHIND BACK OF CURB.
2. FIRE HYDRANT VALVES SHALL BE LOCATED IN THE STREET.
3. SANITARY SEWER CLEAN OUTS SHALL BE LOCATED ONE FOOT BEHIND BACK OF CURB.
4. PROPOSED GAS MAIN TO BE SIZED AND DESIGNED BY PSEG.

GENERAL NOTES:

LOT 100 INDICATES PROPOSED LOT NUMBER
BASED ON MAJOR SUBDIVISION DATED
SEPTEMBER 26, 2018, FILED JUNE 2019

(SEE DRAWING NO. C-41)



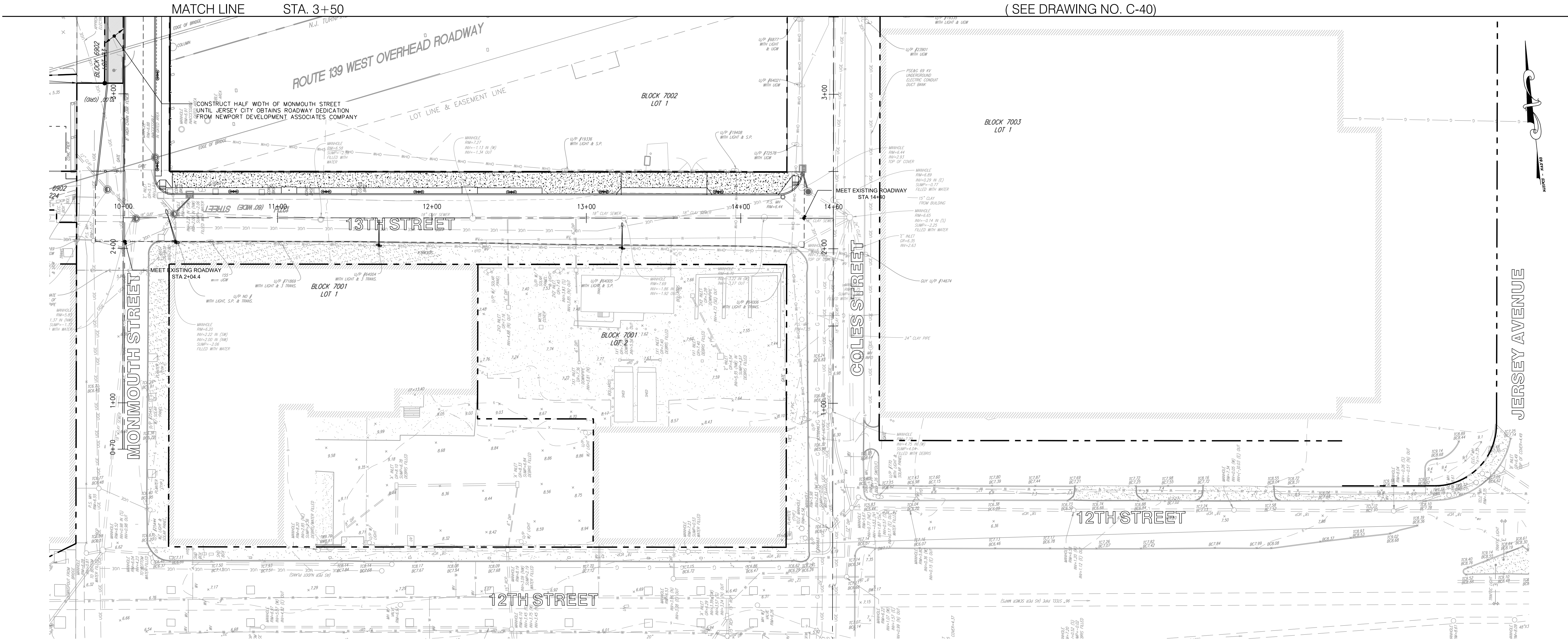
Urban
architecture llc
300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA2827900

ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE III - RED LINE	04.26.22	22	UPDATED PHASE II PER ARCHITECTS	08.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED BUILDOUT WITH #1 15TH STREET	08.26.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - GAS & TELECOM LATERAL UPDATE	05.13.23	26	PHASE II - BUILDING PERMIT	11.18.21
37	PHASE II - REDLINE UPDATE	06.29.23	27	PHASE II - BUILDING PERMIT	01.04.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.06.22
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH STREET SOUTH CURB - PER AS-BUILT COND.	01.28.22
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.28.22

JEFFREY D. REEVES
NJ LICENSE NUMBER: 2404000700
Professional Engineer
Date: 2023.11.28
10:59:25-05:00

EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

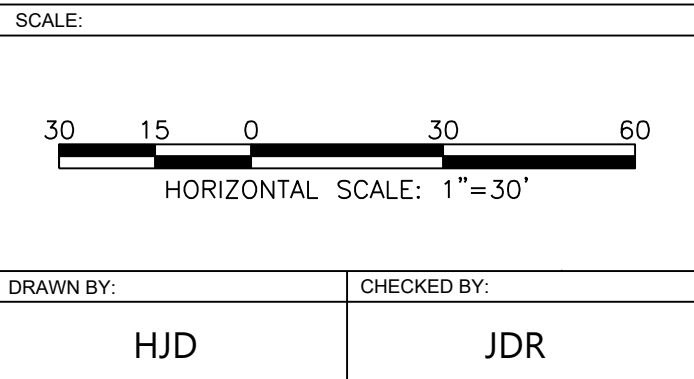
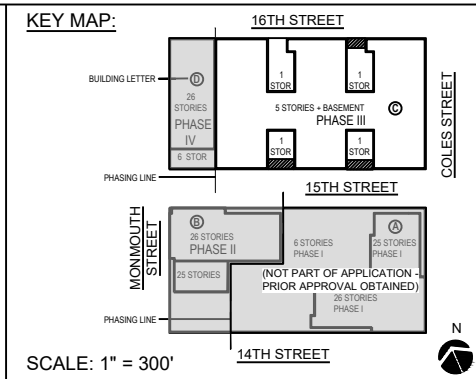
DRAWING TITLE:
UTILITY PLAN 1
DRAWING NUMBER:
C-40
17
36



- GENERAL NOTES:
1. WATER SERVICE VALVES SHALL BE LOCATED ONE FOOT BEHIND BACK OF CURB.
 2. FIRE HYDRANT VALVES SHALL BE LOCATED IN THE STREET.
 3. SANITARY SEWER CLEAN OUTS SHALL BE LOCATED ONE FOOT BEHIND BACK OF CURB.
 4. PROPOSED GAS MAIN TO BE SIZED AND DESIGNED BY PSEG.

GENERAL NOTES:

LOT 100 - INDICATES PROPOSED LOT NUMBER
BASED ON MAJOR SUBDIVISION DATED
SEPTEMBER 26, 2018, FILED JUNE 2019



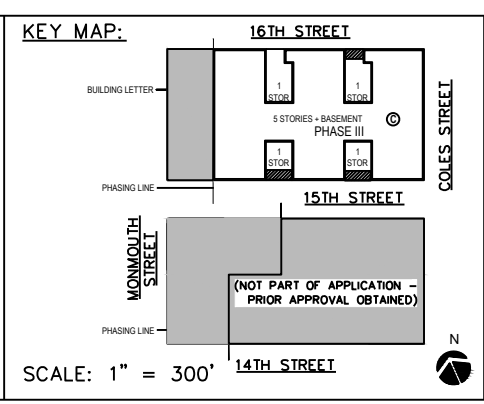
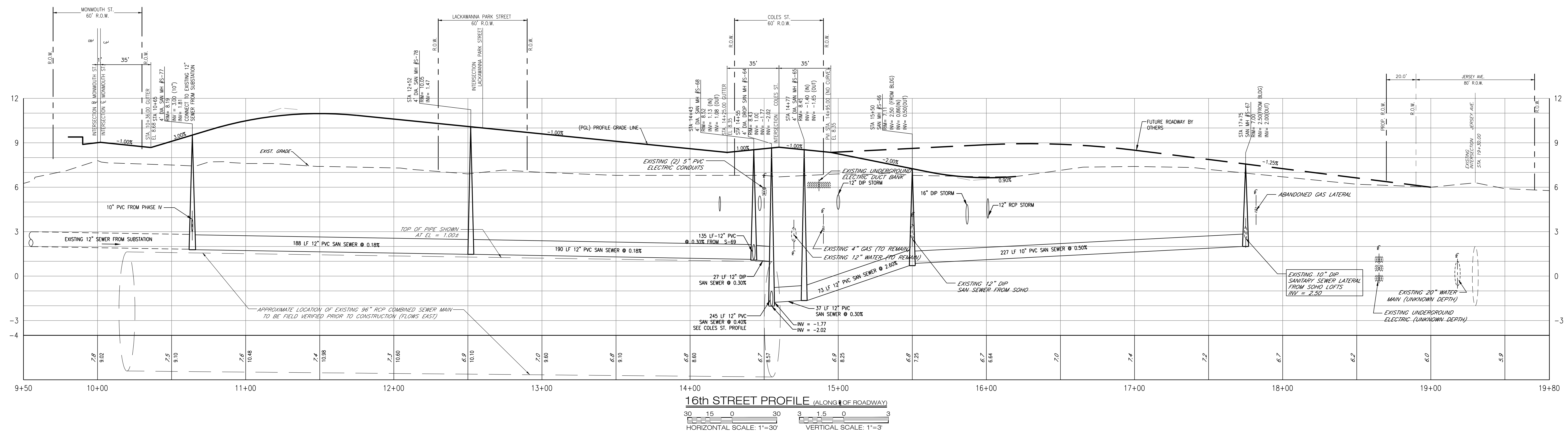
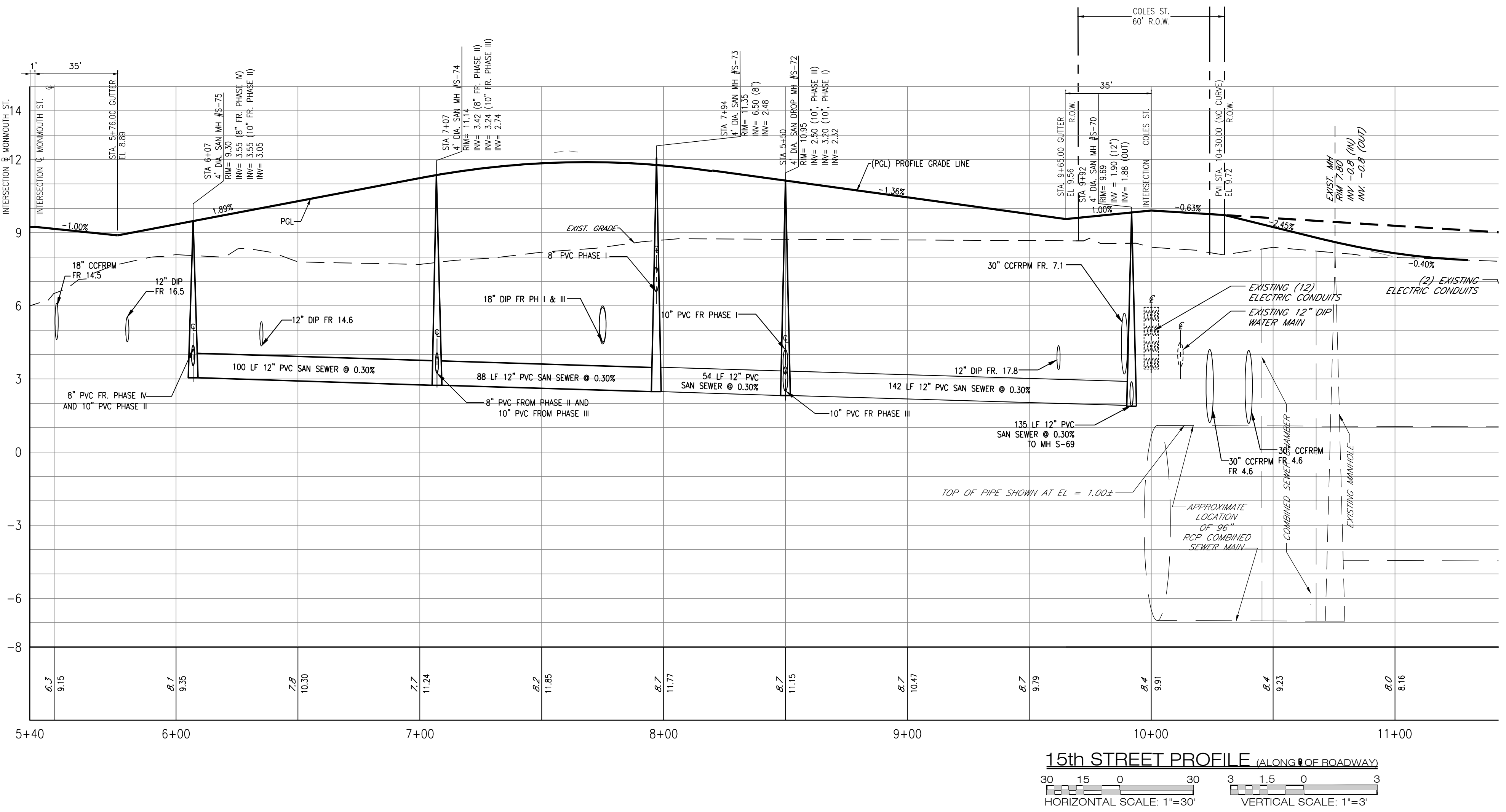
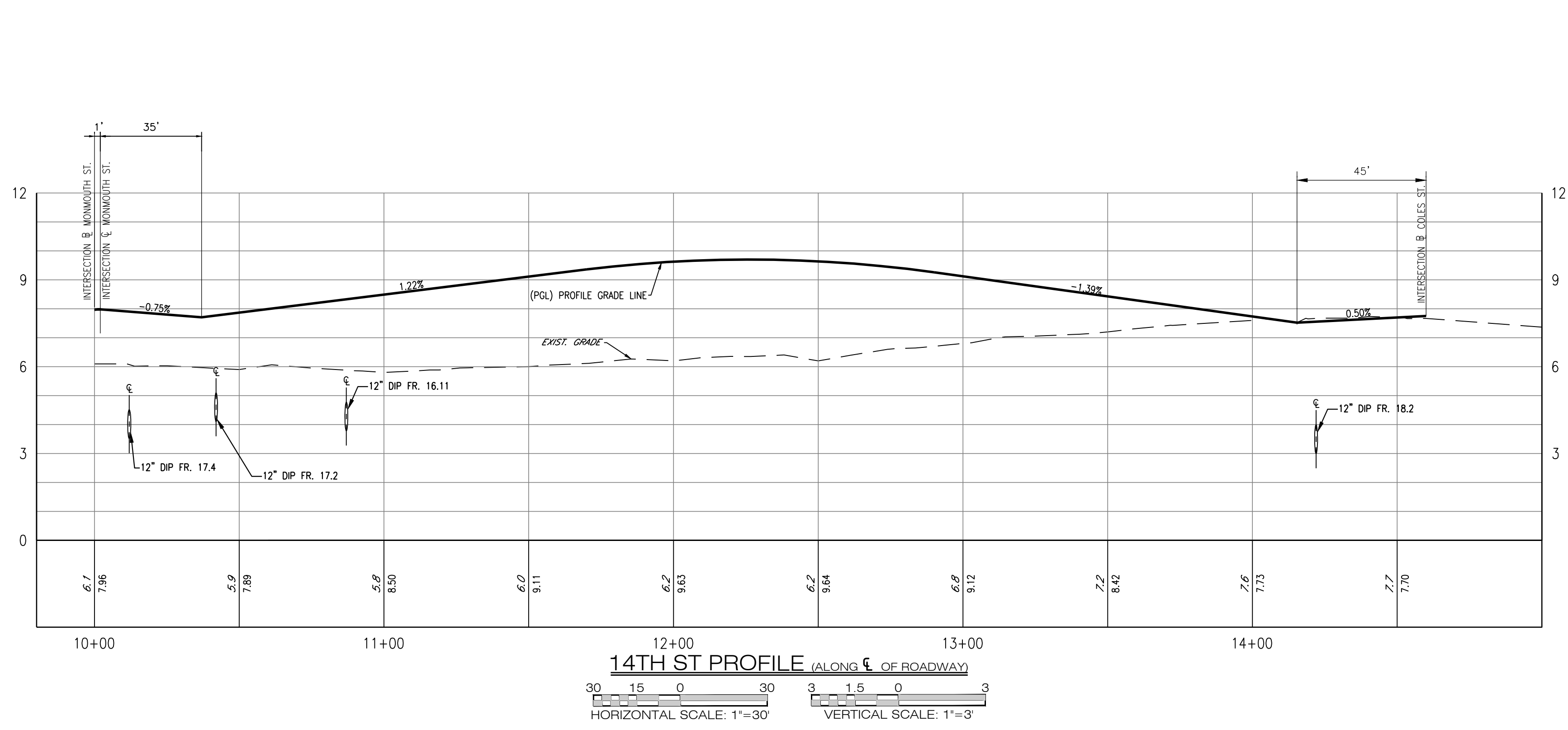
ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE III - RED LINE	04.26.22	22	UPDATED PHASE II PER ARCHITECTS	08.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED BLIMPOT WIDTH AT 13TH STREET	08.26.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23	26	PH II - BUILDING PERMIT	11.18.21
37	PHASE II - REDLINE UPDATE	06.26.23	27	PH II CRANE - UPDATE	01.04.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.28.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER A0604060700
As prepared, designed, checked, and approved by the undersigned.
The title of the design is hereby approved and shall remain the property of the undersigned.

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

Drawn by Jeffrey D. Reeves
Date: 2023.11.28
10:59:56-05'00'

DRAWING TITLE:	
UTILITY PLAN 2	
DRAWING NUMBER:	18
C-41	36



SCALE: AS SHOWN

DRAWN BY: HJD

CHECKED BY: JDR

Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 246A28287900

ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE II, RED LINE	04.26.22	22	UPDATED PHASE I PER ARCHITECTS	06.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED RUMPOUT WIDTH AT 15TH STREET	06.25.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23	26	PH II - BUILDING PERMIT	11.16.21
37	PHASE II - REDLINE UPDATE	04.26.23	27	PH II CRANE - UPDATE	01.04.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.29.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 2460400670
2023.11.28
11:00:32-05:00

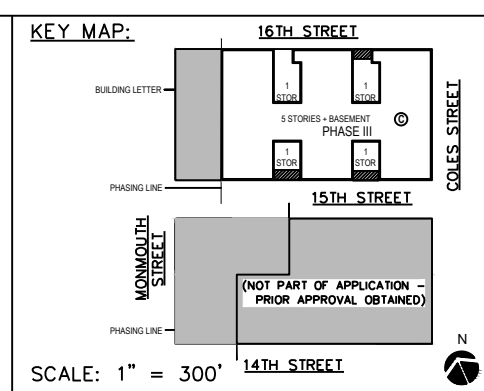
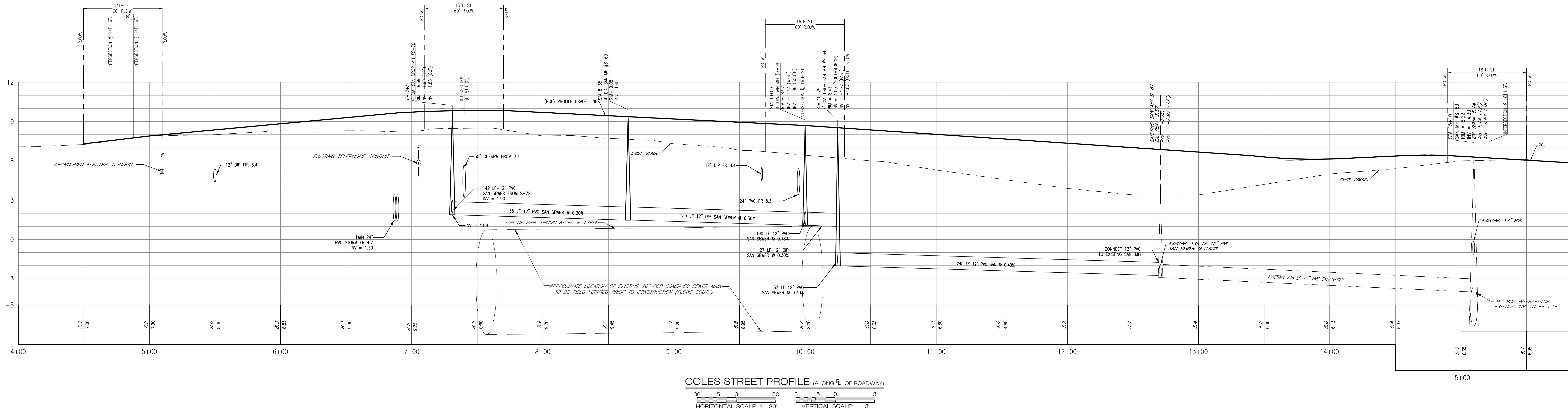
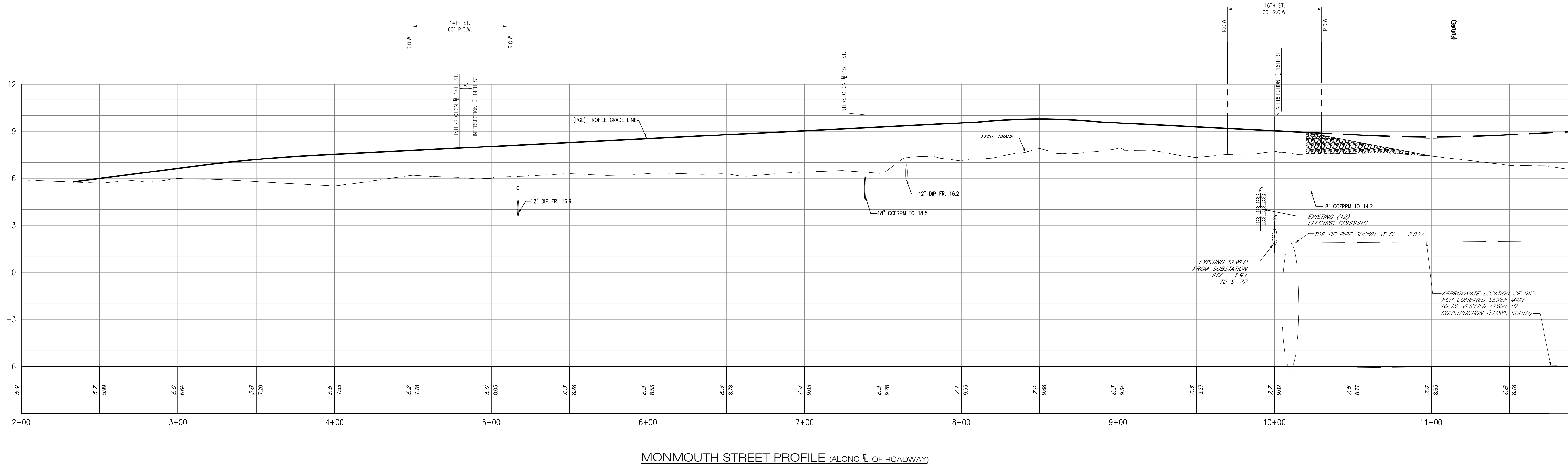
PROJECT: **EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE: **UTILITY PROFILES 1**

DRAWING NUMBER: **C-46**

19

36



SCALE:	
AS SHOWN	
DRAWN BY:	CHECKED BY:
HJD	JDR

Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA28287900

ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
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37	PHASE II, REDLINE UPDATE	04.26.23	27	PH II, GRASS, UPDATE	01.04.22
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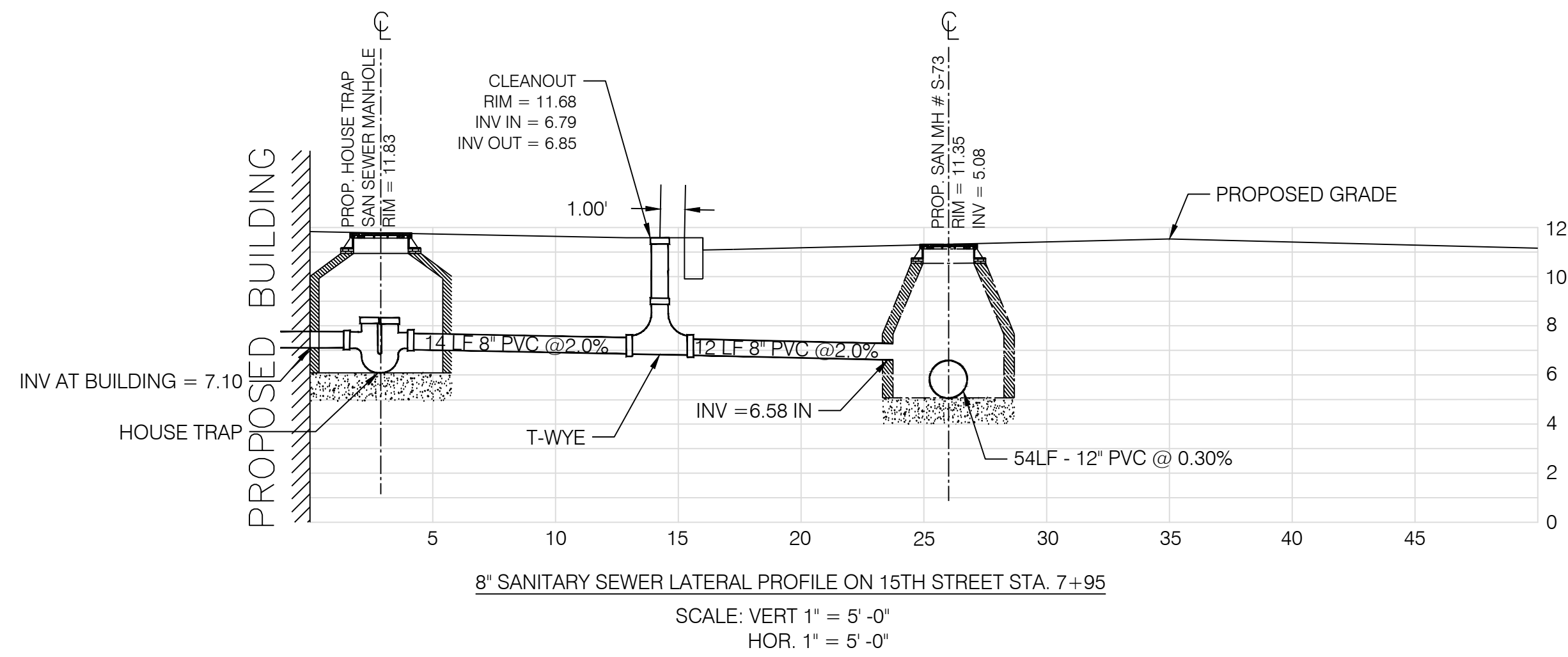
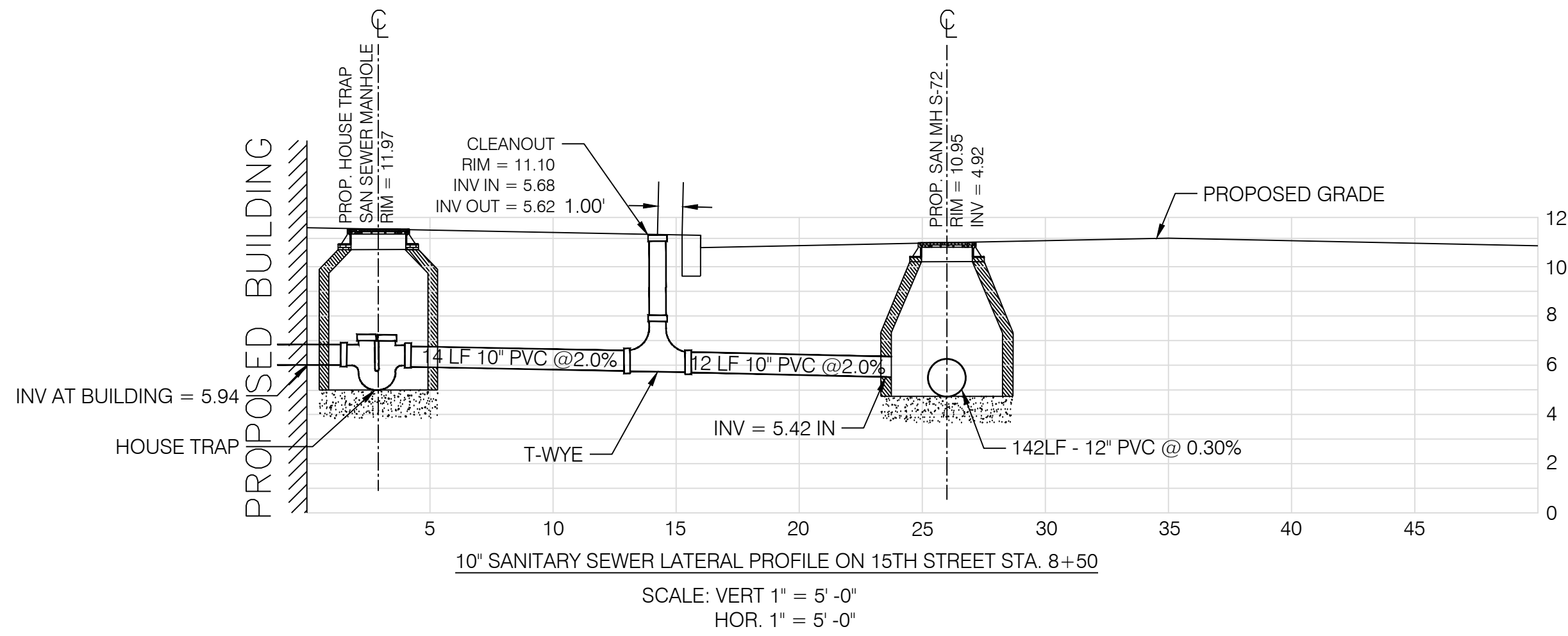
JEFFREY D. REEVES
N.J. LICENSE NUMBER 24624040370
PROFESSIONAL ENGINEER
The State of New Jersey Department of Transportation
The State of New Jersey Department of Transportation

PROJECT:
EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

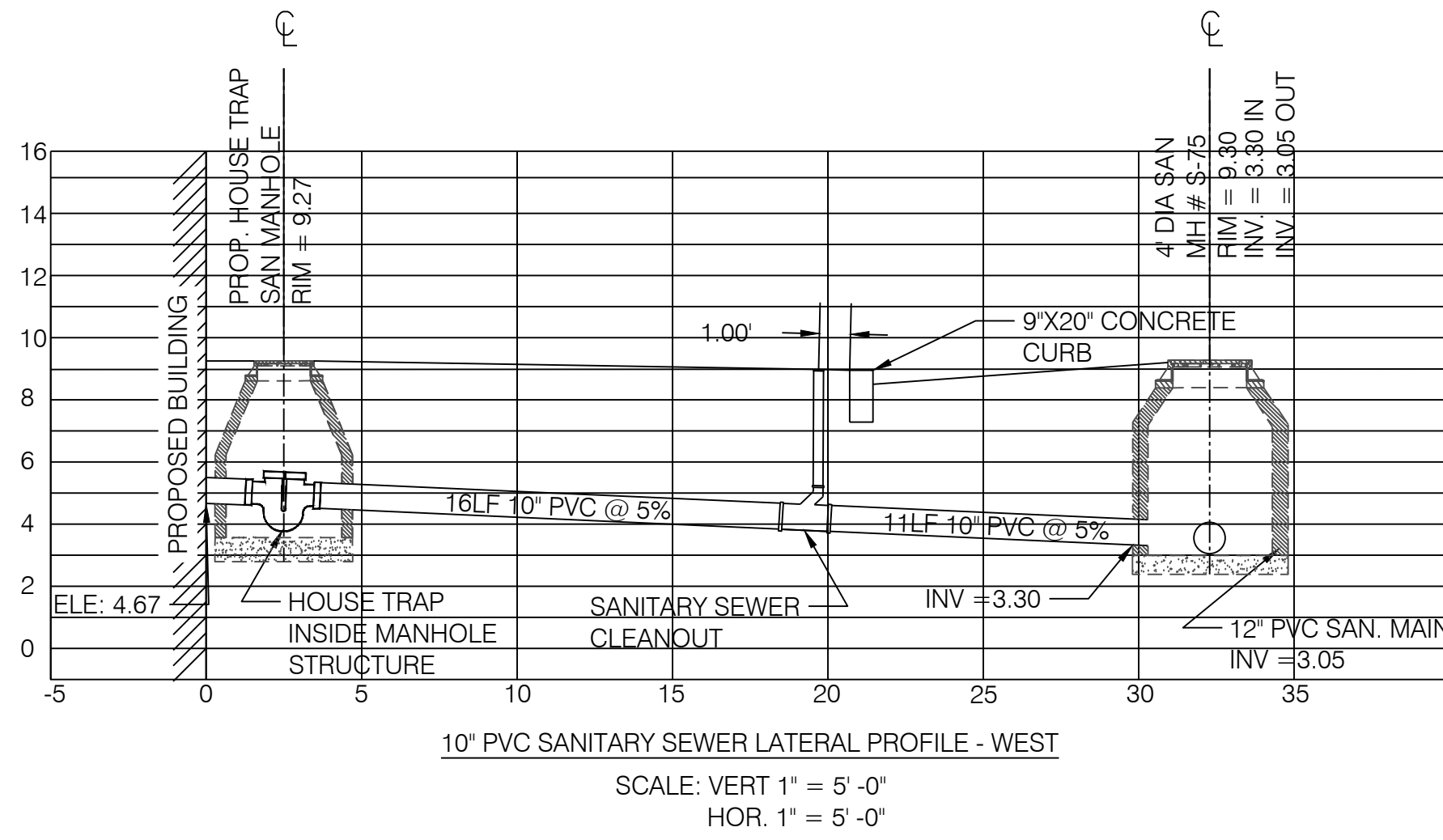
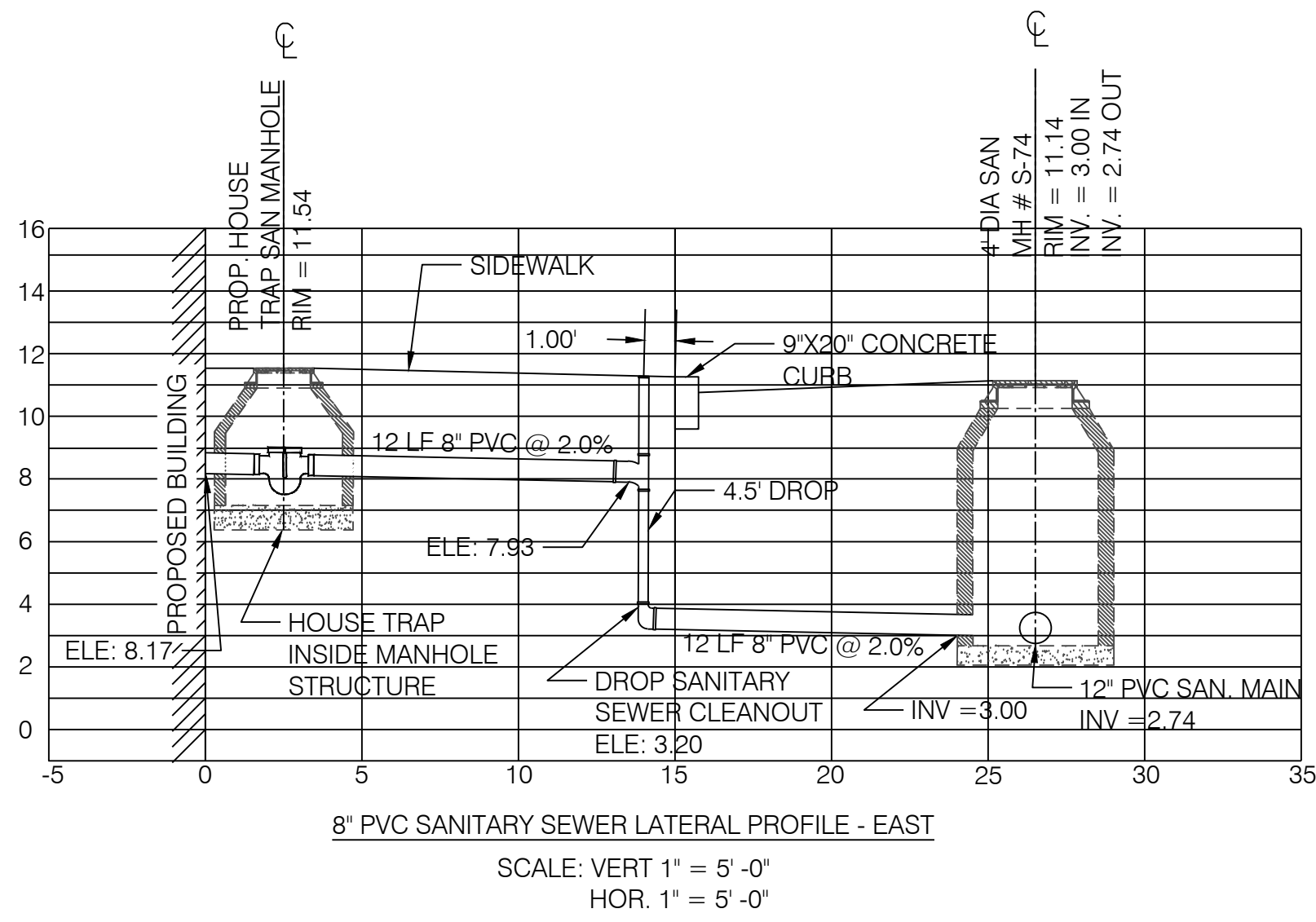
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UTILITY PROFILES 2

DRAWING NUMBER:
C-47

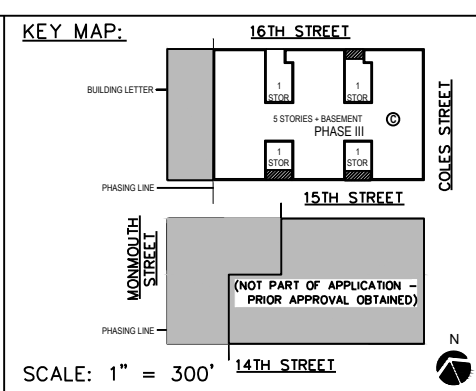
20
36



EMERSON BUILDING COMPLEX PHASE I
LATERAL PROFILES



EMERSON BUILDING COMPLEX PHASE II
LATERAL PROFILES



SCALE: AS SHOWN

DRAWN BY: HJD

CHECKED BY: JDR

Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 246A28287900

ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
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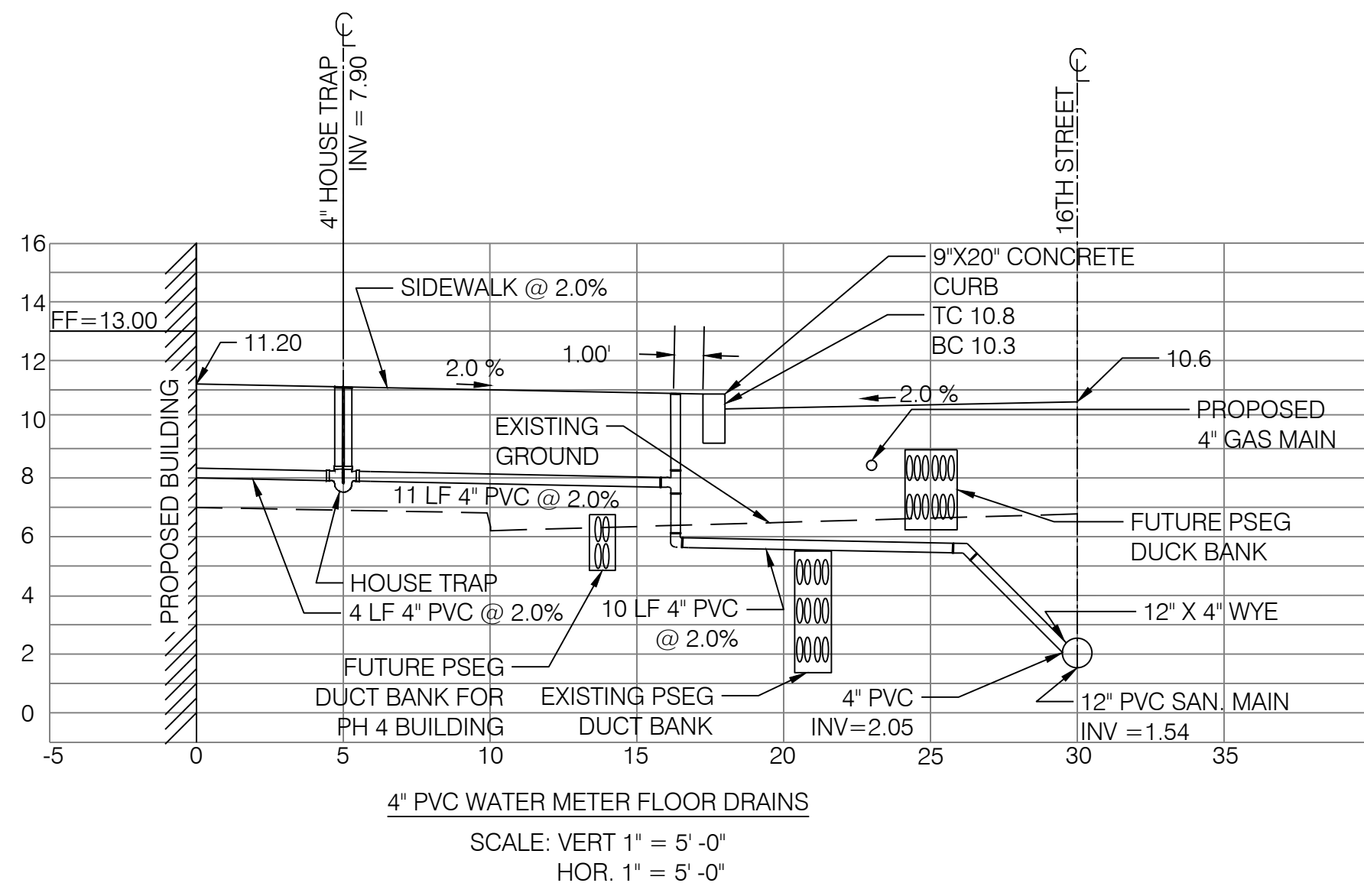
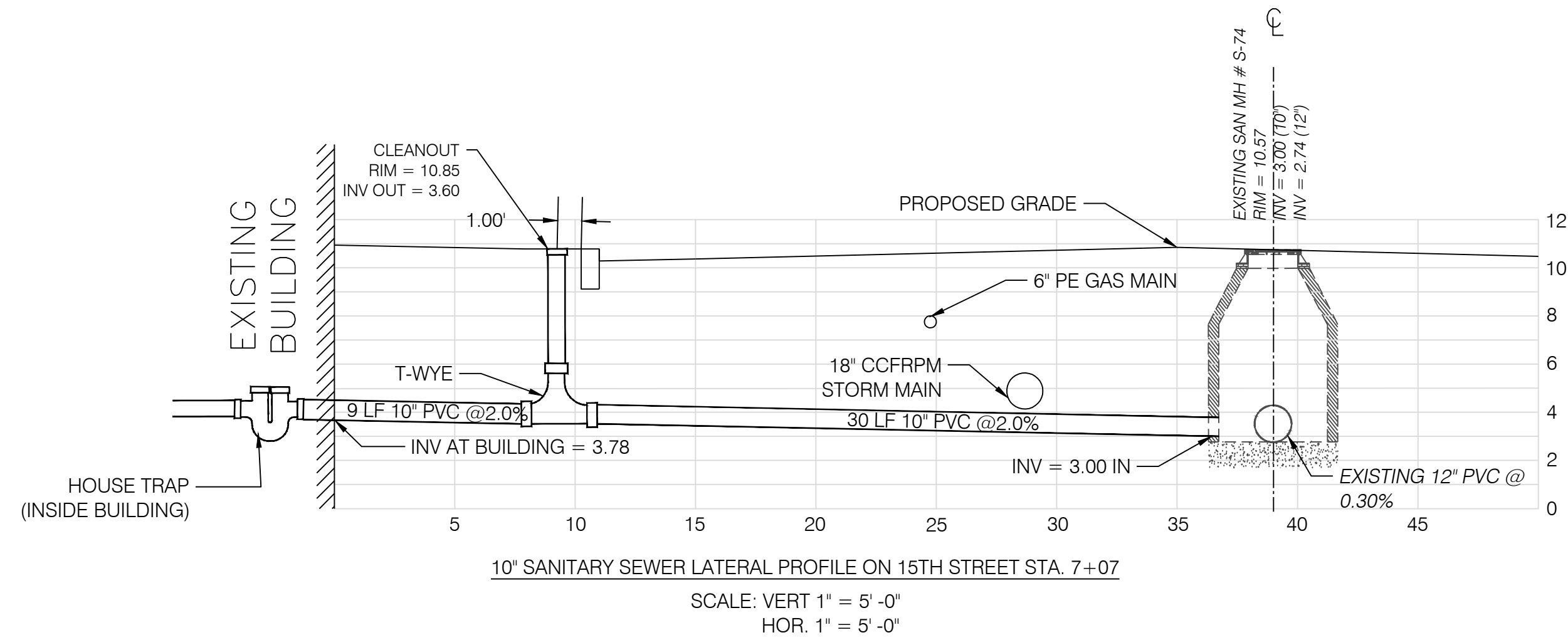
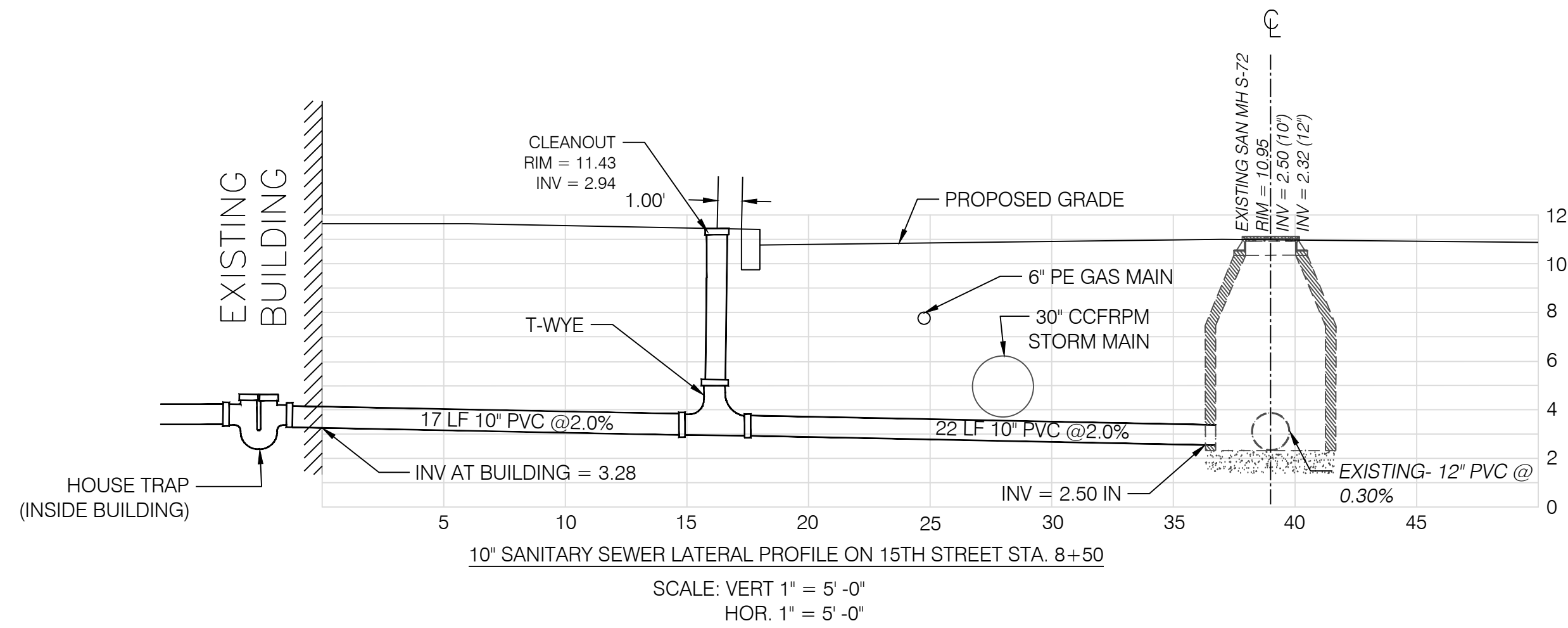
JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 246C403670
All work shall be done in accordance with the provisions of the Professional Engineer Act of 1997, as amended.

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

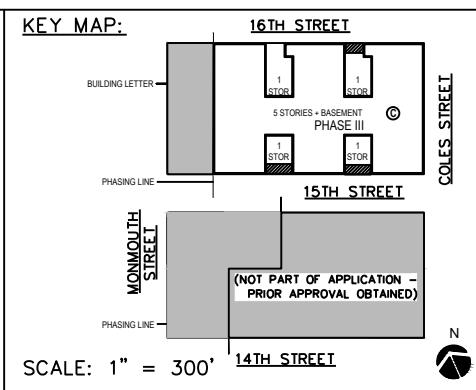
DRAWING TITLE:
LATERAL PROFILES

DRAWING NUMBER: **C-48**

21



EMERSON BUILDING COMPLEX PHASE III LATERAL PROFILES



SCALE:	AS SHOWN
DRAWN BY:	HJD
CHECKED BY:	JDR

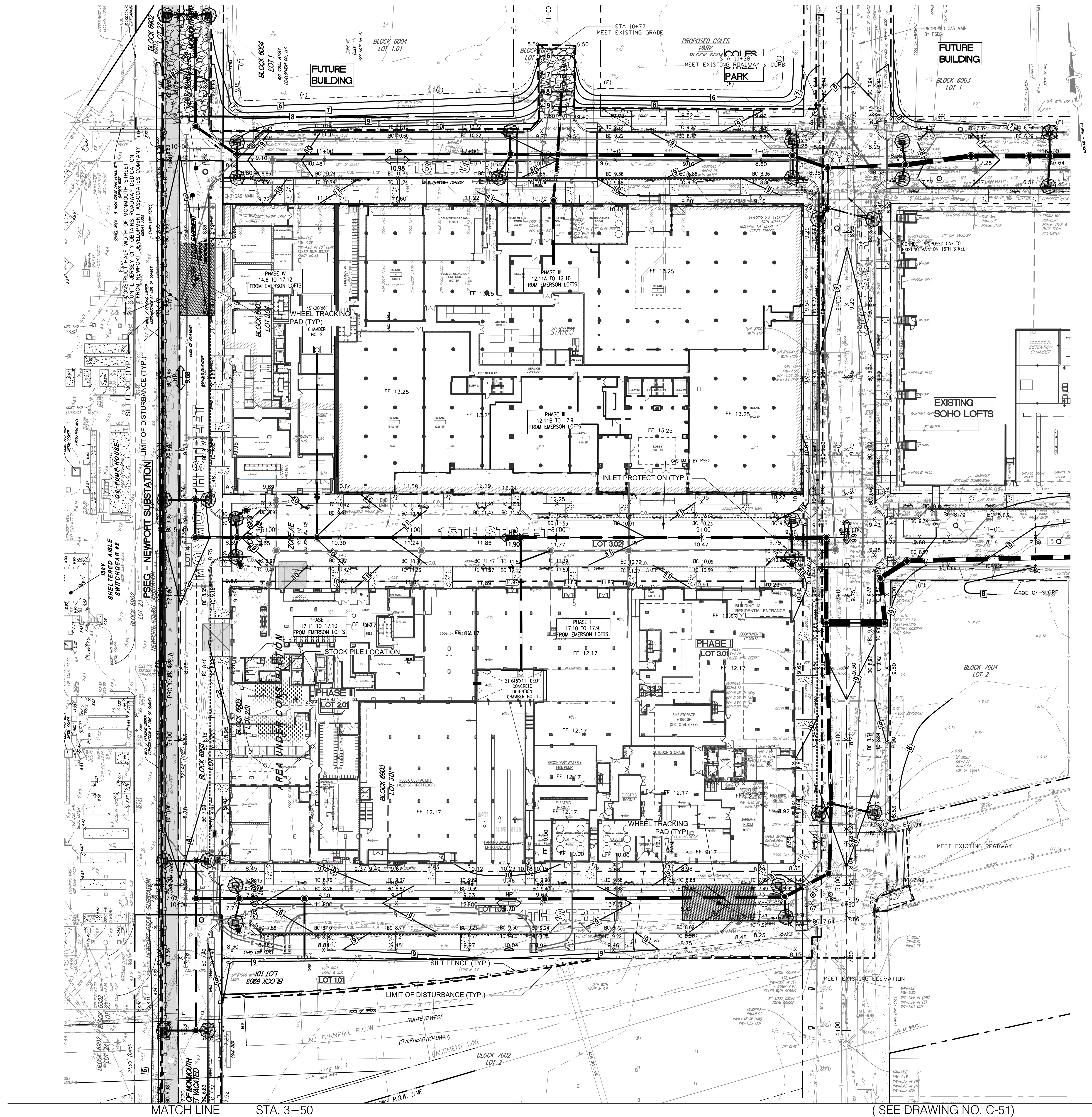


ISSUES:			ISSUES:			ISSUES:		
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40	PHASE III - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.28.22			

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 2462403870
40 YEARS EXPERIENCE IN THE DESIGN OF BUILDINGS AND STRUCTURES
THESE DESIGNS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A duly Licensed Professional Engineer in the State of New Jersey.

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

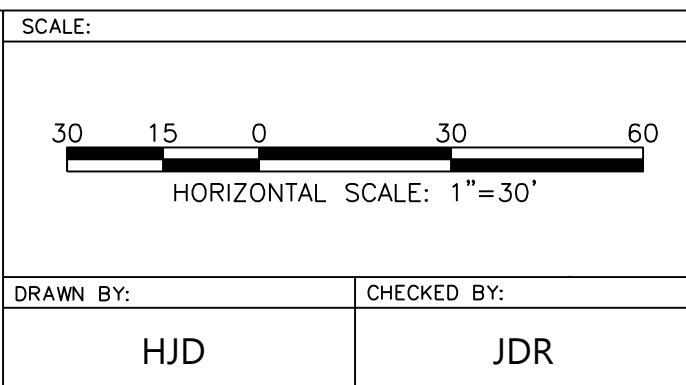
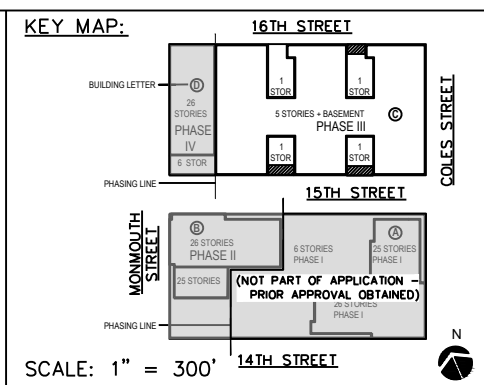
DRAWING TITLE:	LATERAL PROFILES 2
DRAWING NUMBER:	C-49
22	36



- LEGEND**
- SILT FENCE
 - SOIL CLASSIFICATION
 - LIMIT OF DISTURBANCE
 - INLET PROTECTION
 - WHEEL TRACKING PAD AT CONSTRUCTION ENTRANCE
 - STOCK PILE

GENERAL NOTES:

LOT 100 - INDICATES PROPOSED LOT NUMBER BASED ON MAJOR SUBDIVISION DATED SEPTEMBER 26, 2018, FILED JUNE 2019



ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
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40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.28.22

PROJECT:

EMERSON LOFTS

PHASE III

BLOCK 6003,

LOTS 3.04

255-259 COLES STREET,

JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:

SOIL EROSION & SEDIMENT

CONTROL PLAN 1

DRAWING NUMBER:

C-50

DATE:

2023.11.28

11:01:59-05:00

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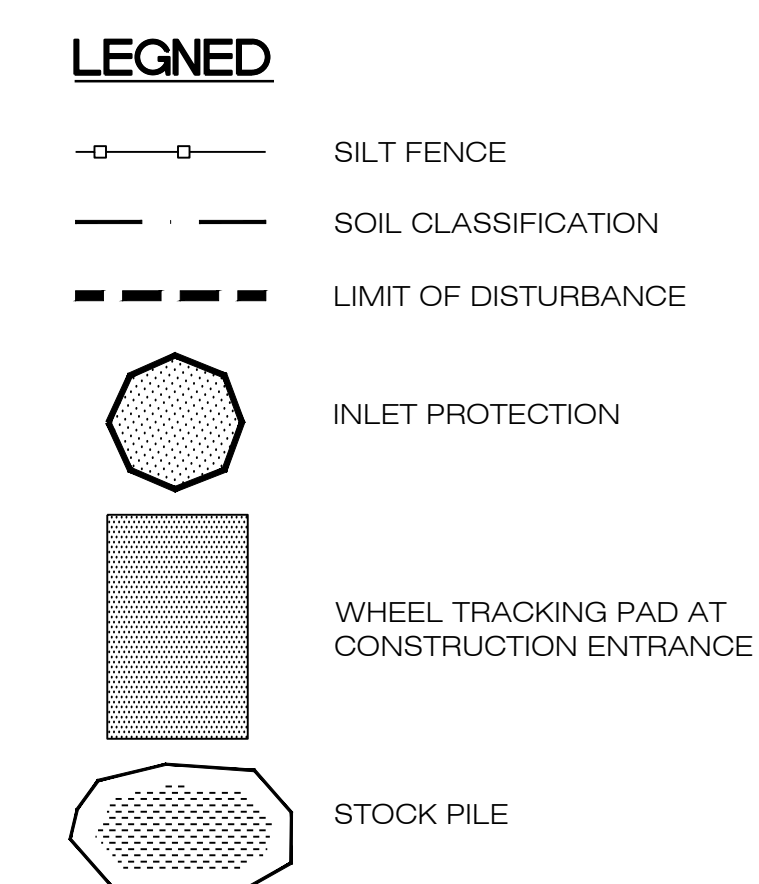
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39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23

JEFFREY D. REEVES

PROFESSIONAL ENGINEER

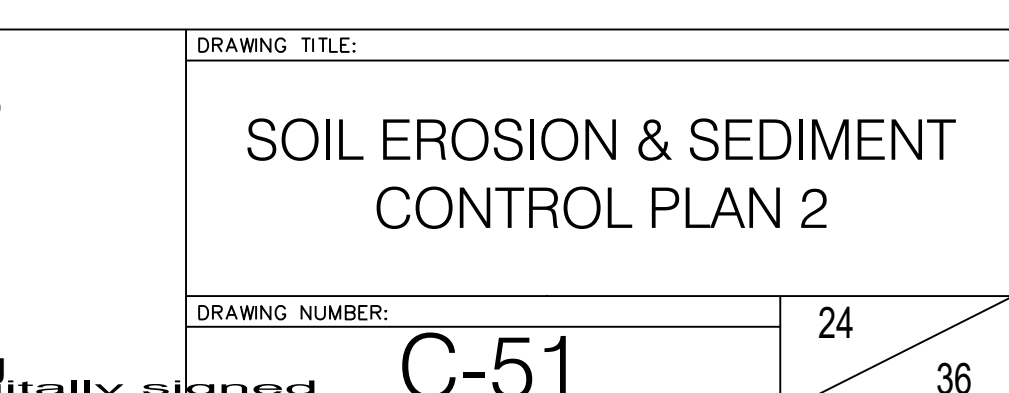
N.J. LICENSE NUMBER: 240400070

2023.11.28



LOT 100 - INDICATES PROPOSED LOT NUMBER
BASED ON MAJOR SUBDIVISION DATED
SEPTEMBER 26, 2018. FILED JUNE 2019

LOT 100 - INDICATES PROPOSED LOT NUMBER
BASED ON MAJOR SUBDIVISION DATED
SEPTEMBER 26, 2018. FILED JUNE 2019



2017 HUDSON ESSEX PASSAIC SOIL CONSERVATION DISTRICT SOIL EROSION & SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7TH EDITION, LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
3. SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPCSD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1
4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
6. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING, TIE DOWN, OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPCSD.ORG
9. THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
13. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
14. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
15. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

TEMPORARY STABILIZATION SPECIFICATIONS

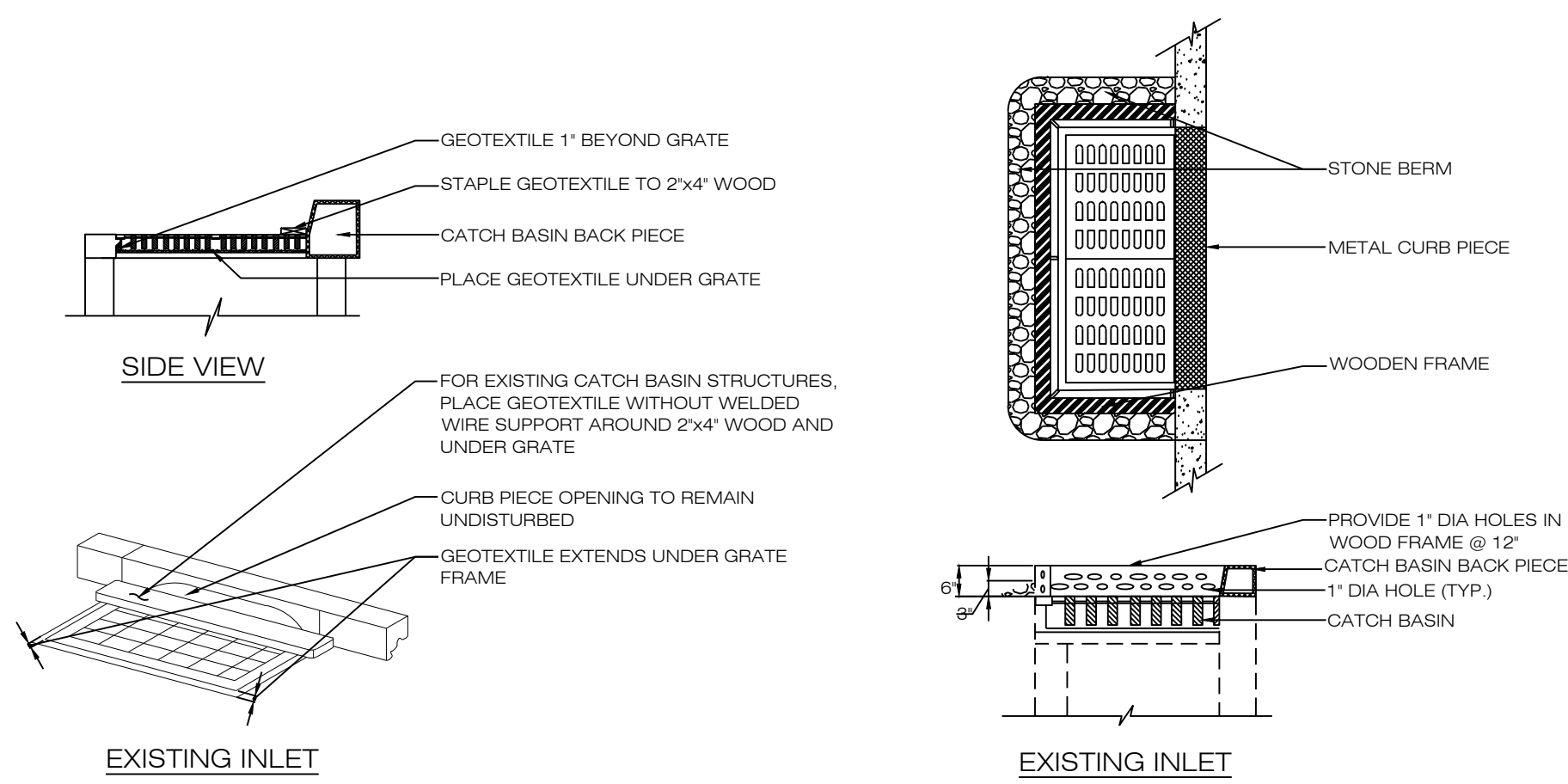
1. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS./1,000 S.F.
2. APPLY FERTILIZER (10-20-10) AT A RATE OF 14LBS./1,000 S.F. AND WORK INTO SOIL 4" DEEP
3. APPLY SEED MIXTURE: PERENNIAL RYEGRASS AT 0.90 LBS./ACRE.
4. MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS./1,000 S.F. AND SECURE BY APPROVED METHODS (I.E PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER)
5. PLANT SEED BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1, IF POSSIBLE.

PERMANENT STABILIZATION SPECIFICATIONS

1. APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSALTED)
2. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS./1,000 S.F. AND WORK INTO SOIL 4" DEEP
3. APPLY FERTILIZER (10-20-10) AT A RATE OF 11LBS./1,000 S.F. AND WORK INTO SOIL 4" DEEP
4. APPLY SEED MIXTURE: HARD FESCUE SEED AT 2.7 LBS./1000 S.F. AND CREEPING RED FESCUE SEED AT 0.7 LBS./1000 S.F. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS./1000 S.F.
5. MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS./1,000 S.F. AND SECURE BY APPROVED METHODS (I.E PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER)
6. PLANT SEED BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1, IF POSSIBLE.

SEQUENCE OF CONSTRUCTION

1. CONTACT THE HUDSON COUNTY SOIL CONSERVATION DISTRICT, IN WRITING, 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
2. CONSTRUCT STABILIZED CONSTRUCTION ACCESS ROAD.
3. INSTALL SILT FENCE ALONG THE PROPERTY LINE
4. REMOVE EXISTING BITUMINOUS PAVEMENT.
5. CONSTRUCT FOUNDATION.
6. INSTALL UNDERGROUND UTILITIES.
7. INSTALL SOIL EROSION MEASURES.
8. ROUGH GRADE PROPOSED LANDSCAPE, WALKWAY AND ENTRY DRIVEWAY AND STABILIZE ALL CRITICAL AREAS IN ACCORDANCE WITH THE NJ STANDARDS.
9. CONSTRUCT BUILDING.
10. REMOVE AND RECONSTRUCT EXISTING SIDEWALK AND CONSTRUCT SIDEWALK EXTENSION.
11. REMOVE EXISTING FENCE.
12. INSTALL TOPSOIL ON ALL OF THE DISTURBED AREAS TO BE LANDSCAPED.
13. PERFORM FINAL GRADING AND INSTALL PERMANENT SEEDING AND MULCHING ON ALL DISTURBED AREAS. REMOVE THE SOIL EROSION MEASURES AND STABILIZE THE SITE.

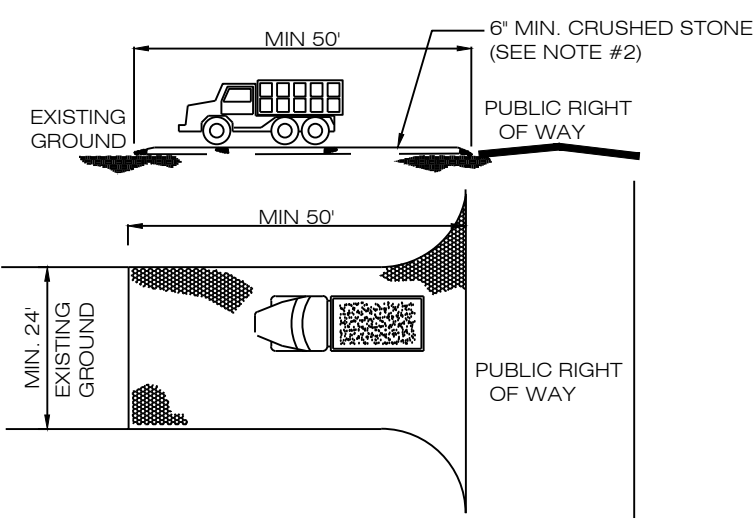


1 INLET PROTECTION

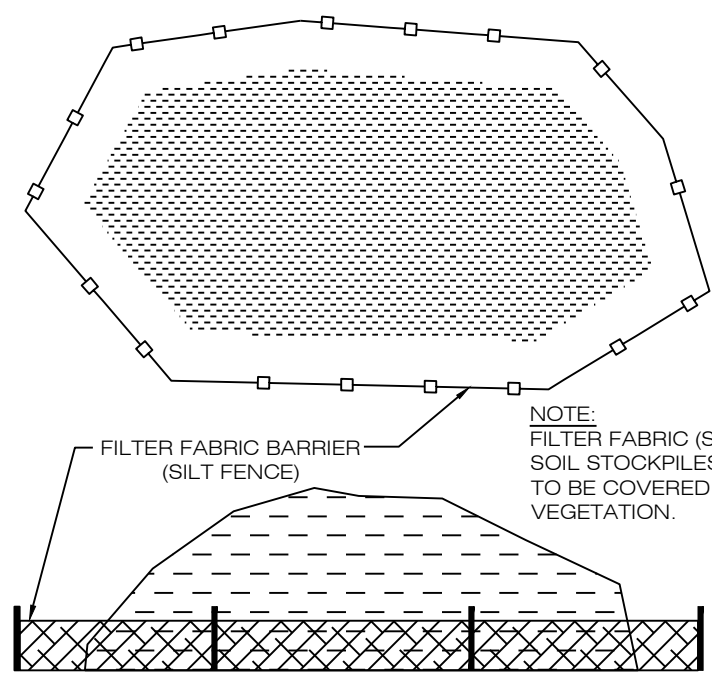
NOTE:

1. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED ENTRANCE AND PUBLIC R.O.W. (SEE NOTE #2)
2. "ACCESS PAD" SHALL BE COMPOSED OF 2-1/2 INCH CRUSHED STONE. VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1-1/2 CRUSHED STONE, 6" THICK MIN. WILL BE AT LEAST 24"60" AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.

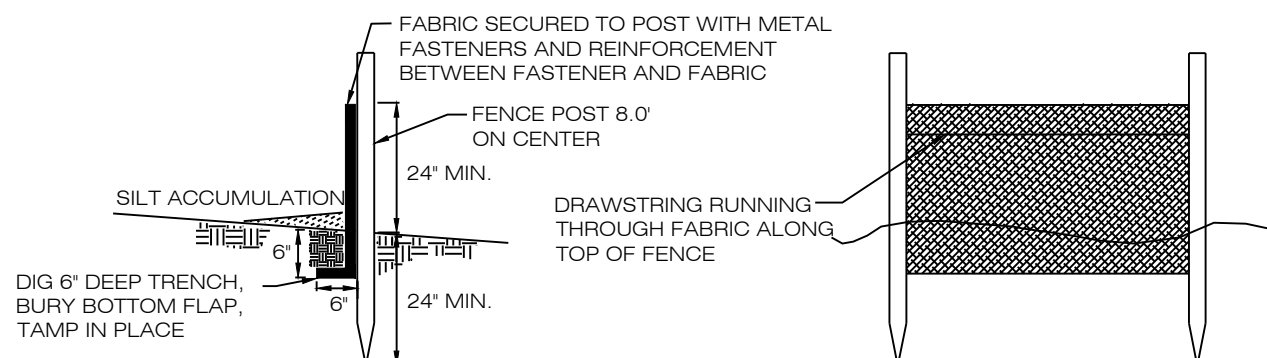
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	50FT
2 TO 5%	100FT
> 5%	200FT
	ENTIRE SURFACE STABILIZED WITH FABRIC BASE COURSE



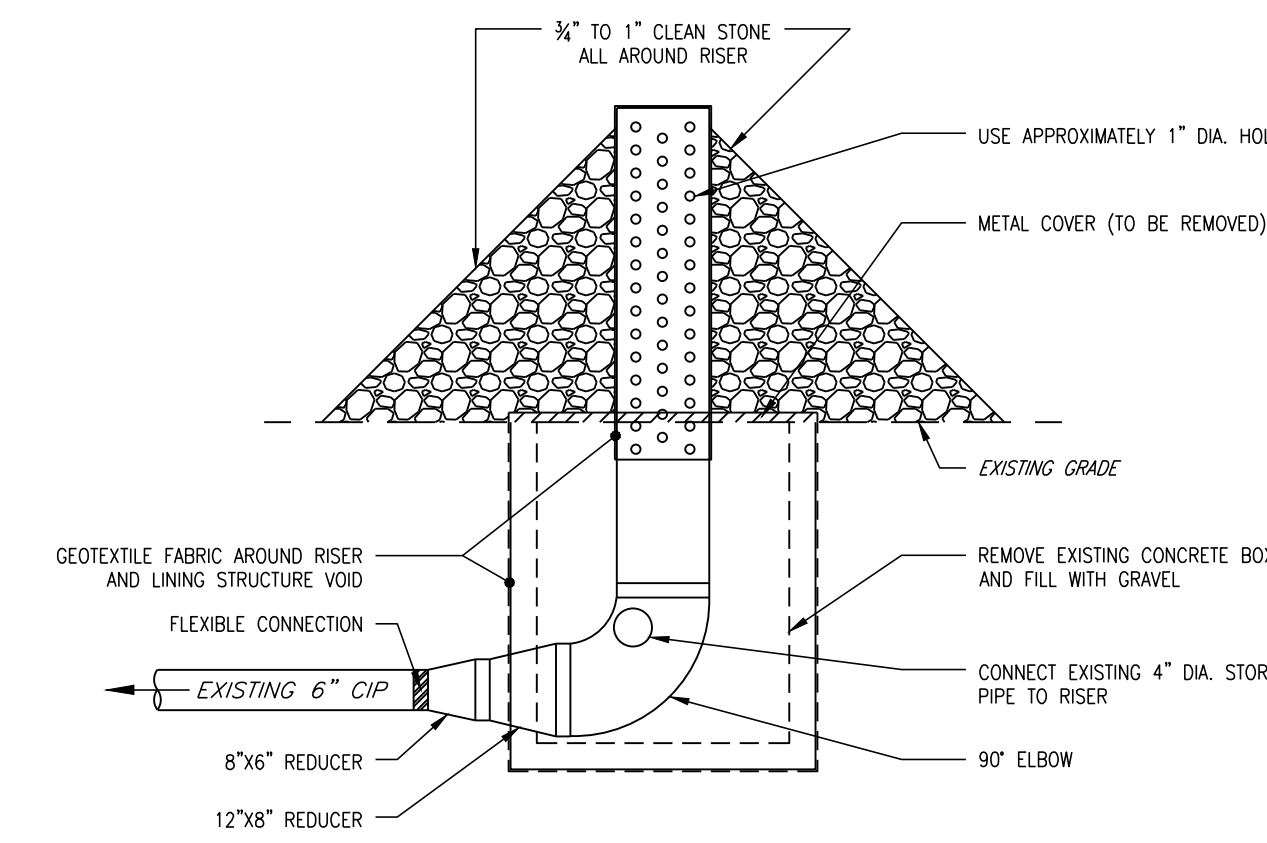
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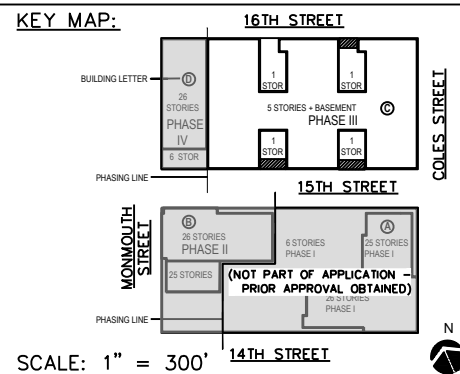
3 STOCKPILE PROTECTION DETAIL



4 SILT FENCE DETAIL



5 SEDIMENT RISER DETAIL



SCALE:

AS SHOWN

DRAWN BY:

CHECKED BY:

HJD

JDR

Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA28287900

ISSUES:

NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22
32	EMERSON PHASE III - RED LINE	04.26.22
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22
36	PHASE III - GAS & TELECOM LATERAL UPDATE	03.13.23
37	PHASE III - REDLINE UPDATE	06.26.23
38	PHASE II - REDLINE UPDATE	07.17.23
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23

ISSUES:

NO.	DESCRIPTIONS	DATE
21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
22	UPDATED PHASE II PER ARCHITECTS	08.12.21
23	REVISED BLANKET WIDTH AT 15TH STREET	08.26.21
24	ADDED CONCRETE ADA RAMPS	09.13.21
25	UPDATED LIGHTING	11.03.21
26	PH II - BUILDING PERMIT	11.18.21
27	PH I CRANE UPDATE	01.04.22
28	REVISED 14TH STREET	01.05.22
29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
30	REVISED PH II GRADES	01.28.22

ISSUES:

NO.	DESCRIPTIONS	DATE
21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
22	UPDATED PHASE II PER ARCHITECTS	08.12.21
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26	PH II - BUILDING PERMIT	11.18.21
27	PH I CRANE UPDATE	01.04.22
28	REVISED 14TH STREET	01.05.22
29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
30	REVISED PH II GRADES	01.28.22

JEFFREY D. REEVES
REGISTERED ENGINEER
N.J. LICENSE NUMBER A26C40406700
By: Jeffrey D. Reeves
Date: 2023.11.28 11:02:33-05'00'

PROJECT:

EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04

255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:

SOIL EROSION & SEDIMENT
CONTROL DETAILS AND NOTES

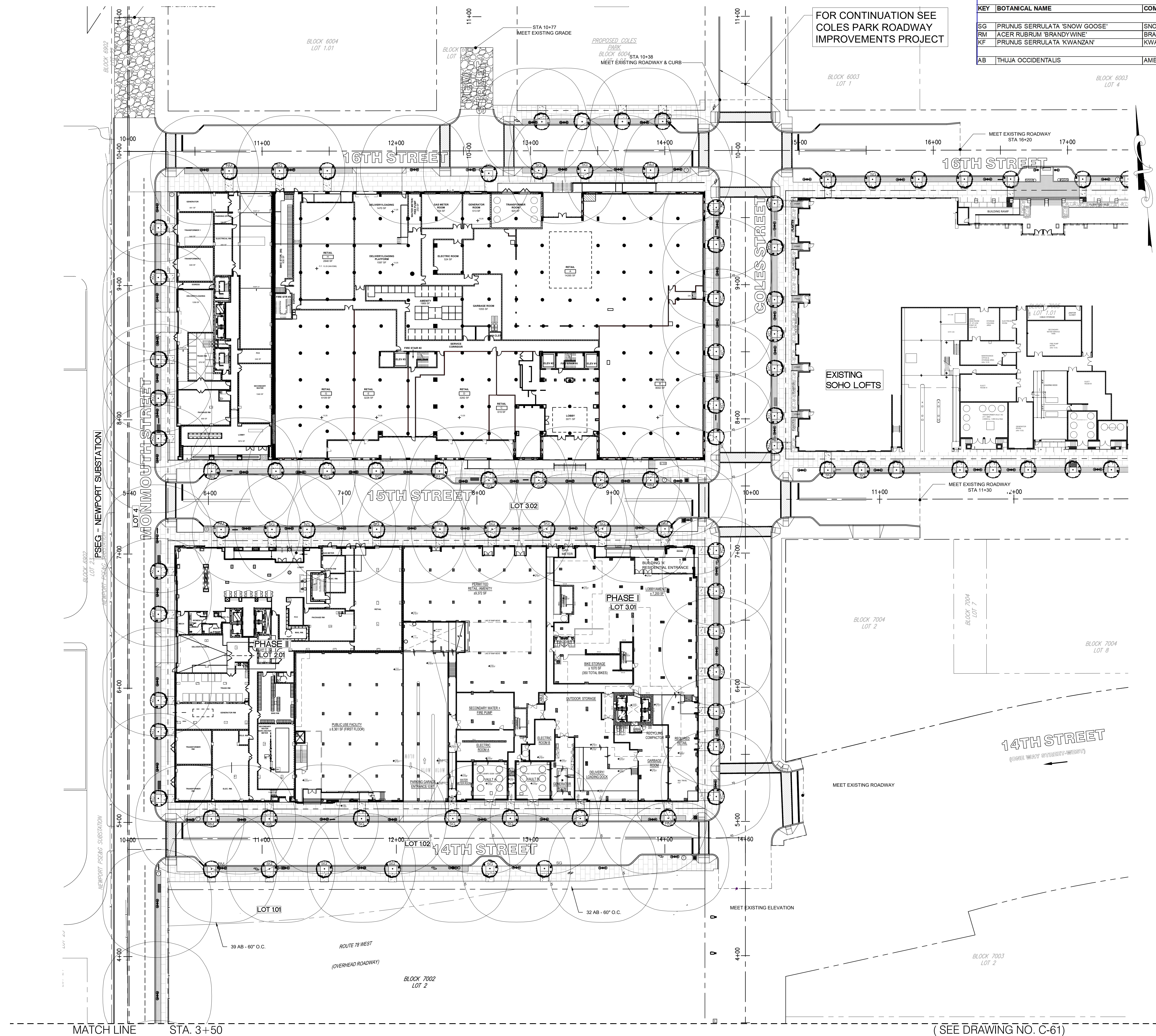
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C-52

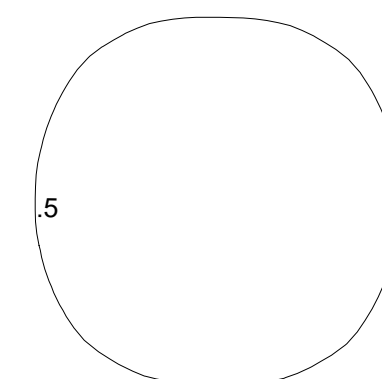
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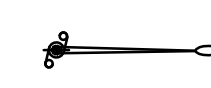
PLANT LIST								
KEY	BOTANICAL NAME		COMMON NAME	ROOT	SIZE	SPACING	COMMENTS	
TREES								
SG	PRUNUS SERRULATA 'SNOW GOOSE'	SNOW GOOSE FLOWERING CHERRY		B&B	3'-3 1/2" CAL	AS SHOWN	SYMMETRICAL, LEADER INTACT, FULL	
RM	ACER RUBRUM 'BRANDYWINE'	BRANDYWINE AMERICAN RED MAPLE		B&B	3'-3 1/2" CAL	AS SHOWN	SYMMETRICAL, LEADER INTACT, FULL	
KF	PRUNUS SERRULATA 'KWANZAN'	KWANZAN FLOWING CHERRY		B&B	3'-3 1/2" CAL	AS SHOWN	SYMMETRICAL, LEADER INTACT, FULL	
SHRUBS								
AB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE		B&B	36"-42" HT	60" O.C.	WELL ESTABLISHED, FULL	



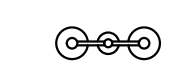
LEGEND



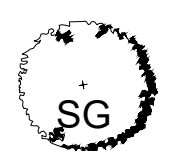
STREET LIGHT -
LUMINAIRE TO BE BLACK WITH FROSTED GLASS CLAMP LENS LED, MODEL C14182
ARM BRACKET TO HAVE OUTLET WITH CLEAR IN USE COVER
TWIST LOCK PHOTO CONTROL, MODEL C14182/C14182A
4" ROUND SMOOTH POLE, 15' POLE HEIGHT
AS DESIGNED BY DAVE MURPHY & ASSOCIATES
AND MANUFACTURED BY HADCO
100 CRAFTWAY DRIVE
LITTLESTOWN, PA 17340
WWW.HADCO.CO
LIGHT ASSEMBLY TO HAVE POWDERCOAT FINISH,
COLOR TO BE BLACK



EXISTING UTILITY POLE AND
COBRAHEAD LIGHT TO BE REMOVED



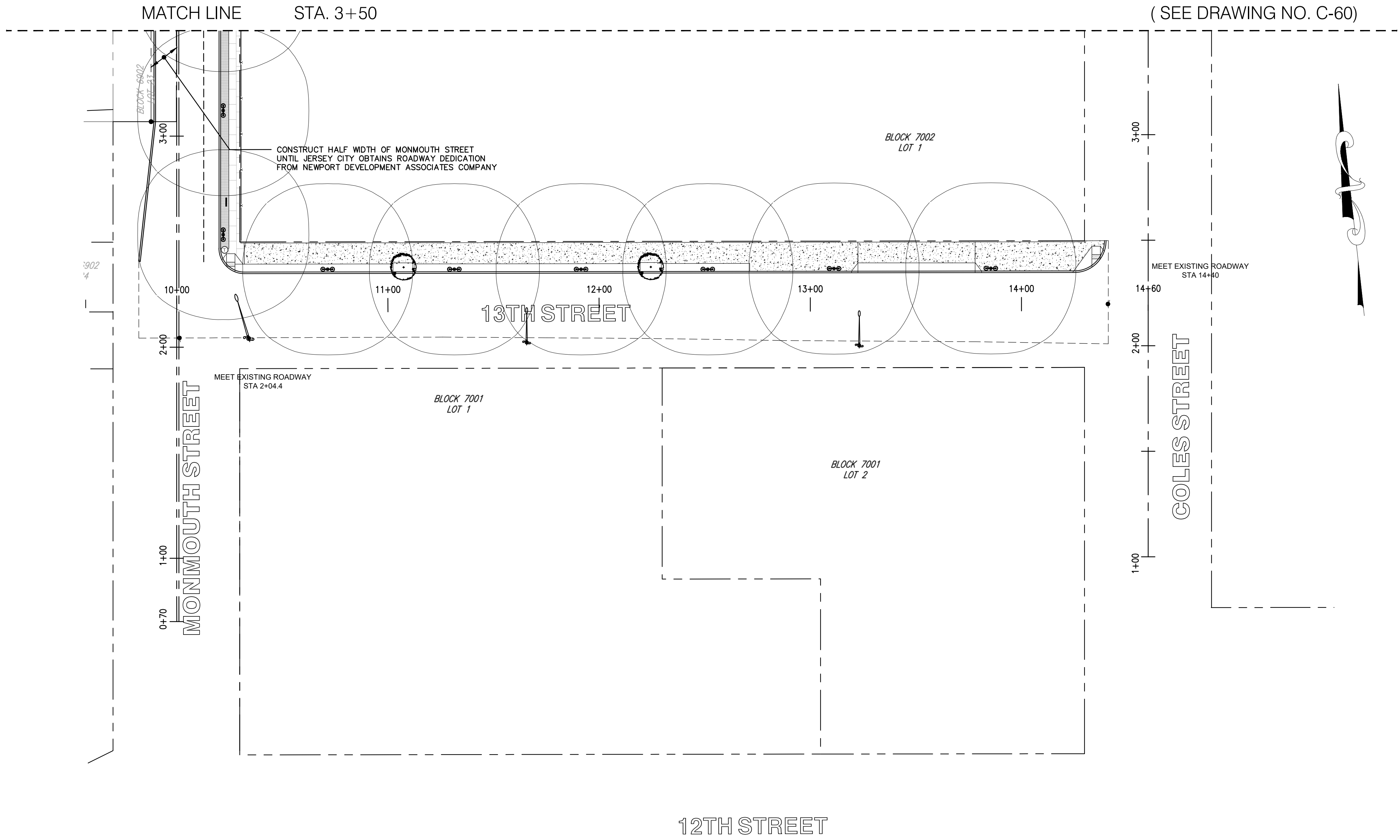
DOUBLE LUMINARE FIXTURE



STREET TREE

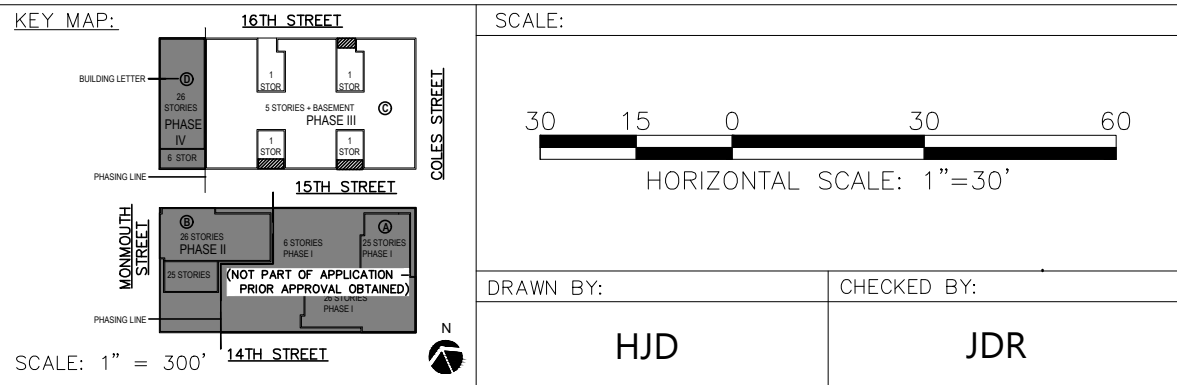
PROPOSED SUBDIVISION LOT

PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	SPACING	COMMENTS
TREES						
SG	PRUNUS SERRULATA 'SNOW GOOSE'	SNOW GOOSE FLOWERING CHERRY	B&B	3"- 3 1/2" CAL	AS SHOWN	SYMMETRICAL, LEADER INTACT, FULL
RM	ACER RUBRUM 'BRANDYWINE'	BRANDYWINE AMERICAN RED MAPLE	B&B	3"- 3 1/2" CAL	AS SHOWN	SYMMETRICAL, LEADER INTACT, FULL
KF	PRUNUS SERRULATA 'KWANZAN'	KWANZAN FLOWING CHERRY	B&B	3"- 3 1/2" CAL	AS SHOWN	SYMMETRICAL, LEADER INTACT, FULL
SHRUBS						
AB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	B&B	36"-42" HT	60" O.C.	WELL ESTABLISHED, FULL



LEGEND

- STREET LIGHT - LUMINAIRE TO BE BLACK WITH FROSTED GLASS CROP LENS LED; MODEL C14182 ARM BRACKET TO HAVE OUTLET WITH CLEAR IN-USE COVER & TWIST LOCK PHOTO CONTROL; MODEL C14182/C14182A 4" ROUND SMOOTH POLE, 15' POLE HEIGHT AS DESIGNED BY DAVE MURPHY & ASSOCIATES AND MANUFACTURED BY HADCO 100 CRAFTWAY DRIVE LITTLESTOWN, PA 17340 WWW.HADCO.CO LIGHT ASSEMBLY TO HAVE POWDERCOAT FINISH, COLOR TO BE BLACK
- EXISTING UTILITY POLE AND COBRAHEAD LIGHT TO BE REMOVED
- DOUBLE LUMINAIRE FIXTURE
- STREET TREE
- PROPOSED SUBDIVISION LOT



Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA28287900

ISSUES:	ISSUES:	ISSUES:
NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22
32	EMERSON PHASE II - REDLINE	04.06.22
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.06.22
36	PHASE III - GAS & TELECOM LATERAL UPDATE	03.13.23
37	PHASE III - REDLINE UPDATE	04.26.23
38	PHASE III - REDLINE UPDATE	07.17.23
39	PHASE III - ENTRANCE STAIR ELEVATION UPDATE	08.29.23
40	PHASE III - SITE PLAN AMENDMENT SUBMISSION	09.18.23
NO.	DESCRIPTIONS	DATE
21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
22	REVISED PHASE II PER ARCHITECTS	06.12.21
23	REVISED RUMPOUT WIDTH AT 15TH STREET	06.25.21
24	ADDED CONCRETE ADA RAMPS	09.13.21
25	UPDATED LIGHTING	11.03.21
26	PH II - BUILDING PERMIT	11.18.21
27	PH II GRADE - UPDATE	01.04.22
28	REVISED 14TH STREET	01.05.22
29	REVISED 14TH ST SOUTH CURB - PER AS-BUILT COND.	01.28.22
30	REVISED PH II GRADES	01.29.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 240E040870
All work prepared by or under the direct supervision and seal of the Professional Engineer.
The State of New Jersey is hereby notified that the Professional Engineer is duly licensed by the State of New Jersey.

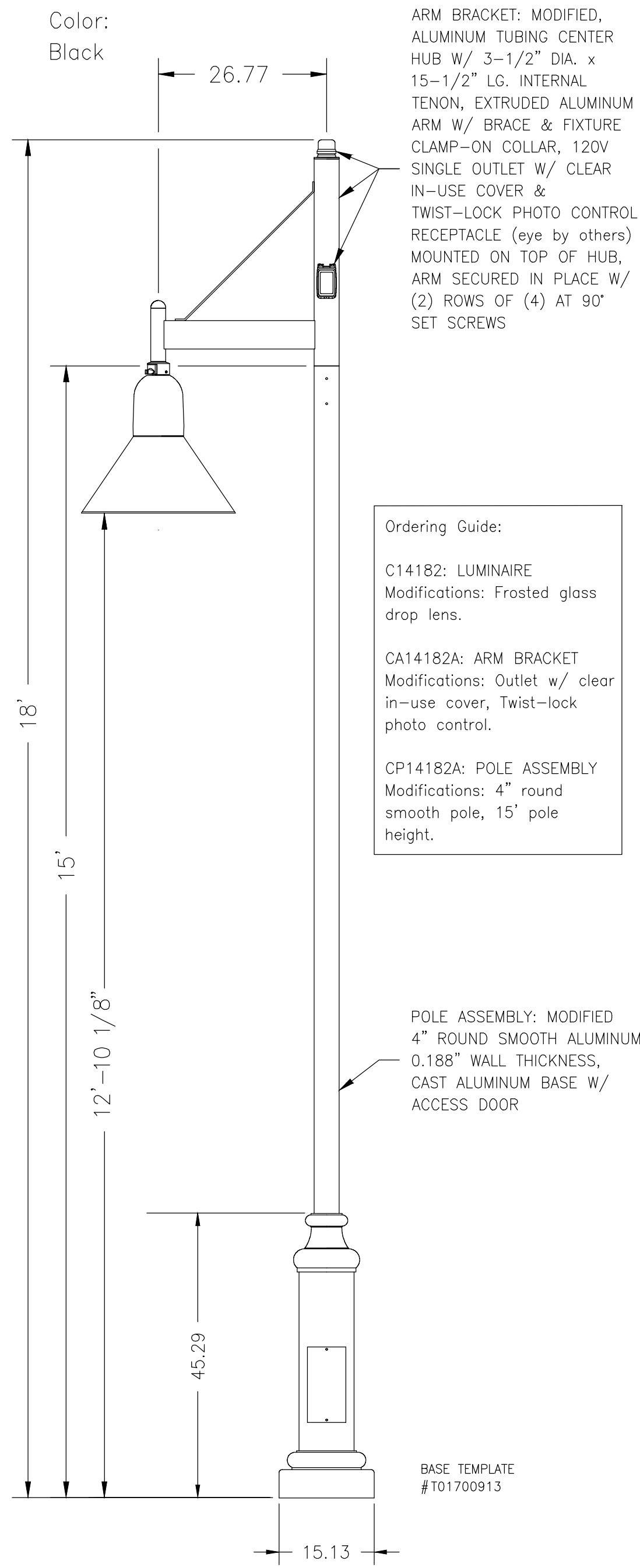
PROJECT:
EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:
LANDSCAPING & LIGHTING
PLAN 2

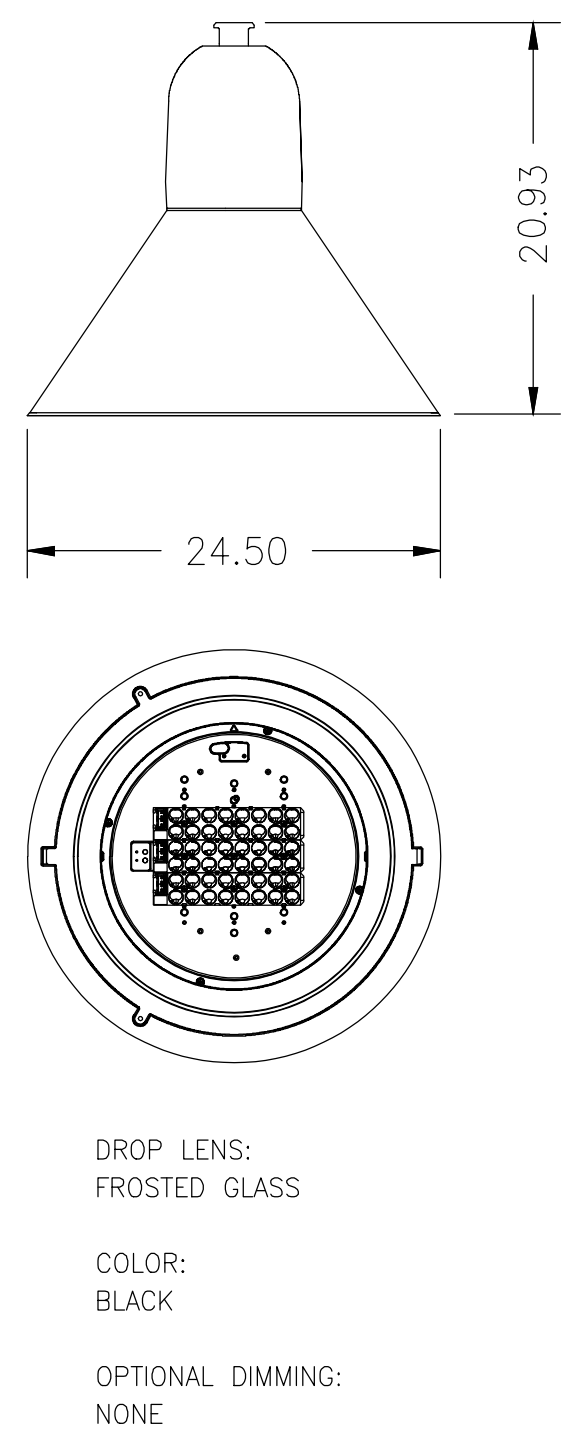
DRAWING NUMBER:
C-61

27

36



SINGLE LIGHT FIXTURE
NTS



Philips LEDgine Specifications:

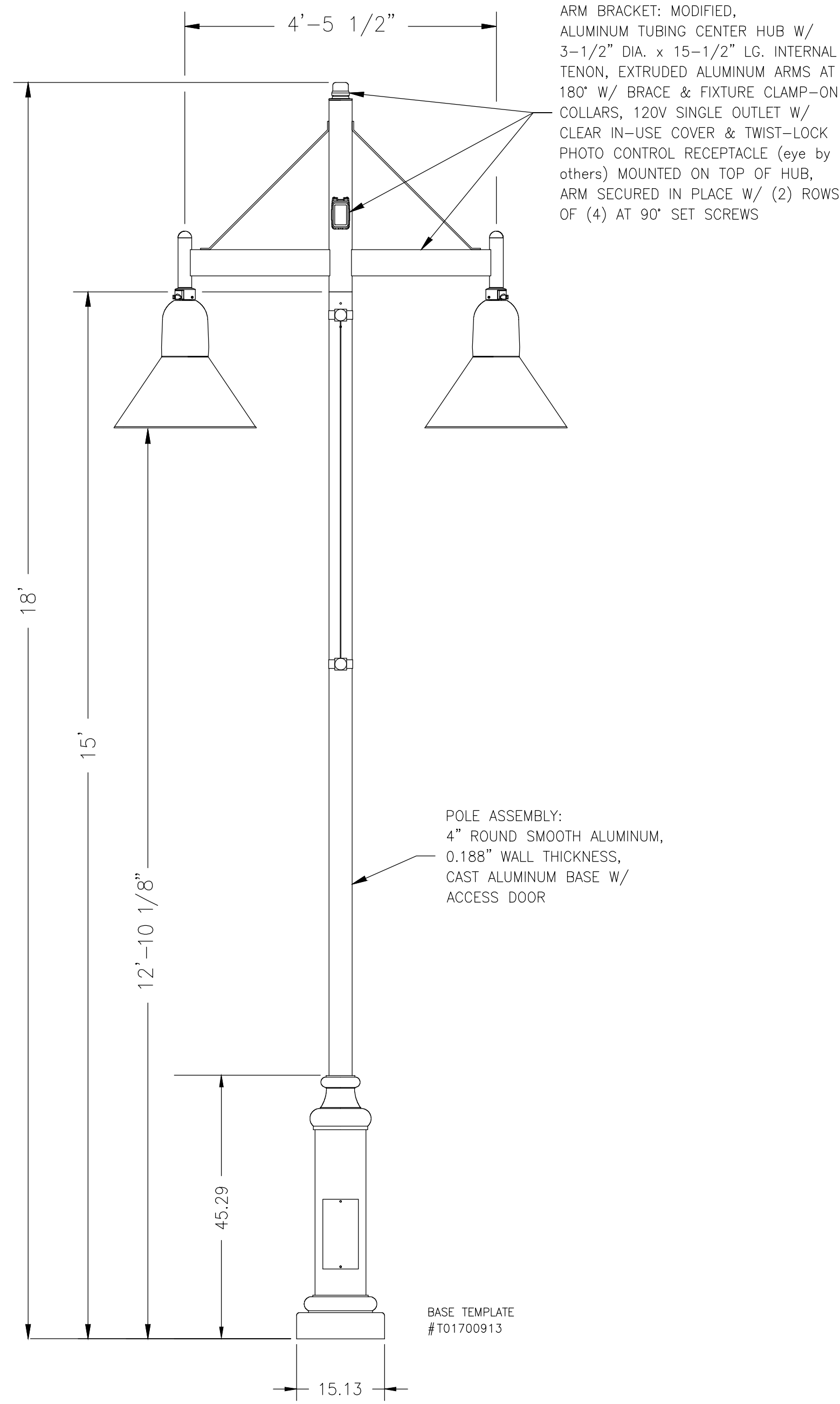
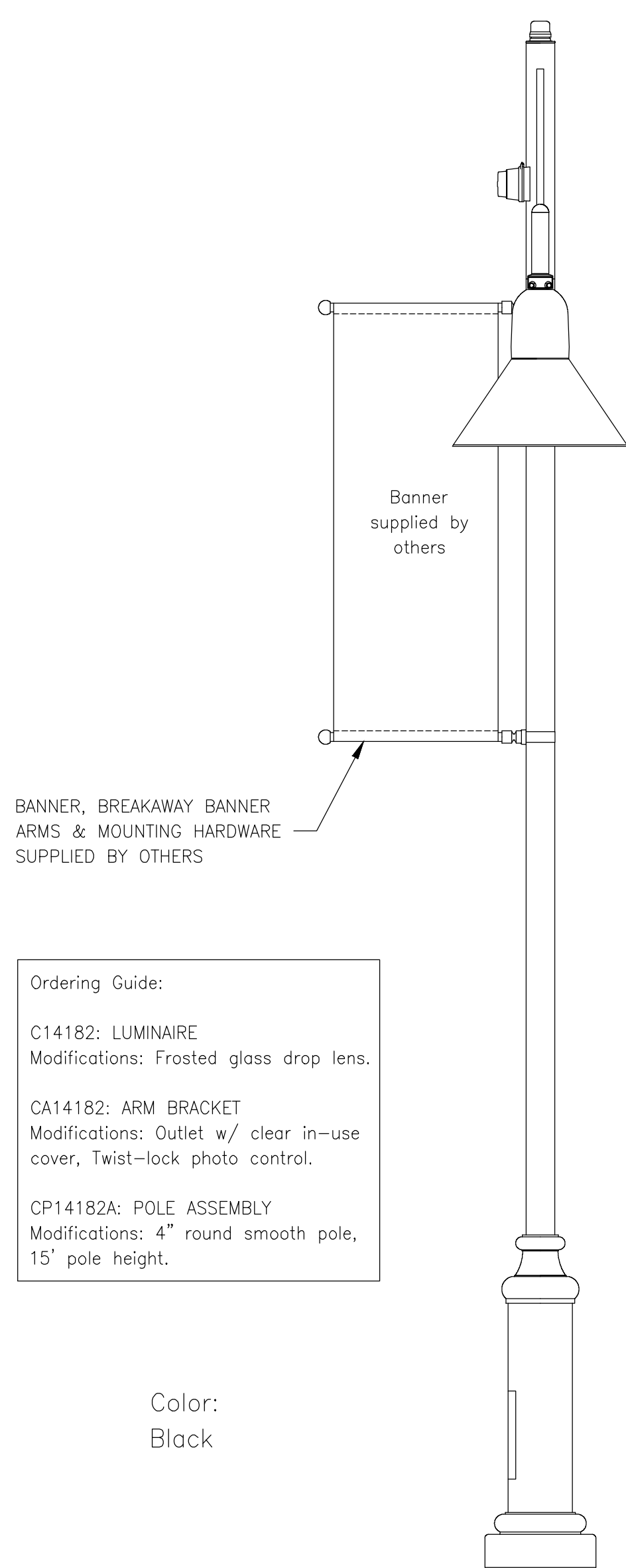
- 48, 4000K (neutral) Philips Lumiled Luxeon T LEDs, typical 75 Color Rendering Index (CRI), >100,000 hours of operational life (at 25°C ambient temperature & 70% lumen maintenance), injection molded Type V optical plates, IP66 rated LED module.
- Integral Philips Advance Titanium LE driver, class 1, IP66 rated, 350mA, IntelliVolt 120-277 VAC, 50-60 Hz, RoHS compliant, 10kV/10kA surge suppression.

Luminaire Certifications:

- UL8750 & UL1598 compliant, ETL/cETL listed to U.S. & Canadian safety standards for wet locations, manufactured to ISO 9001:2008 standards.

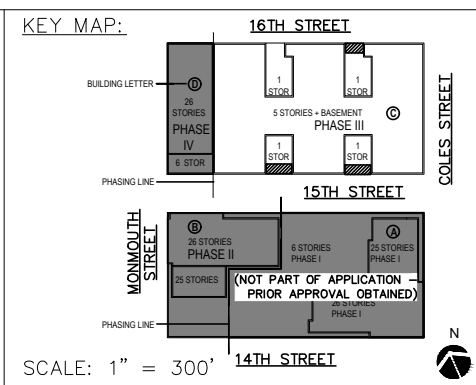
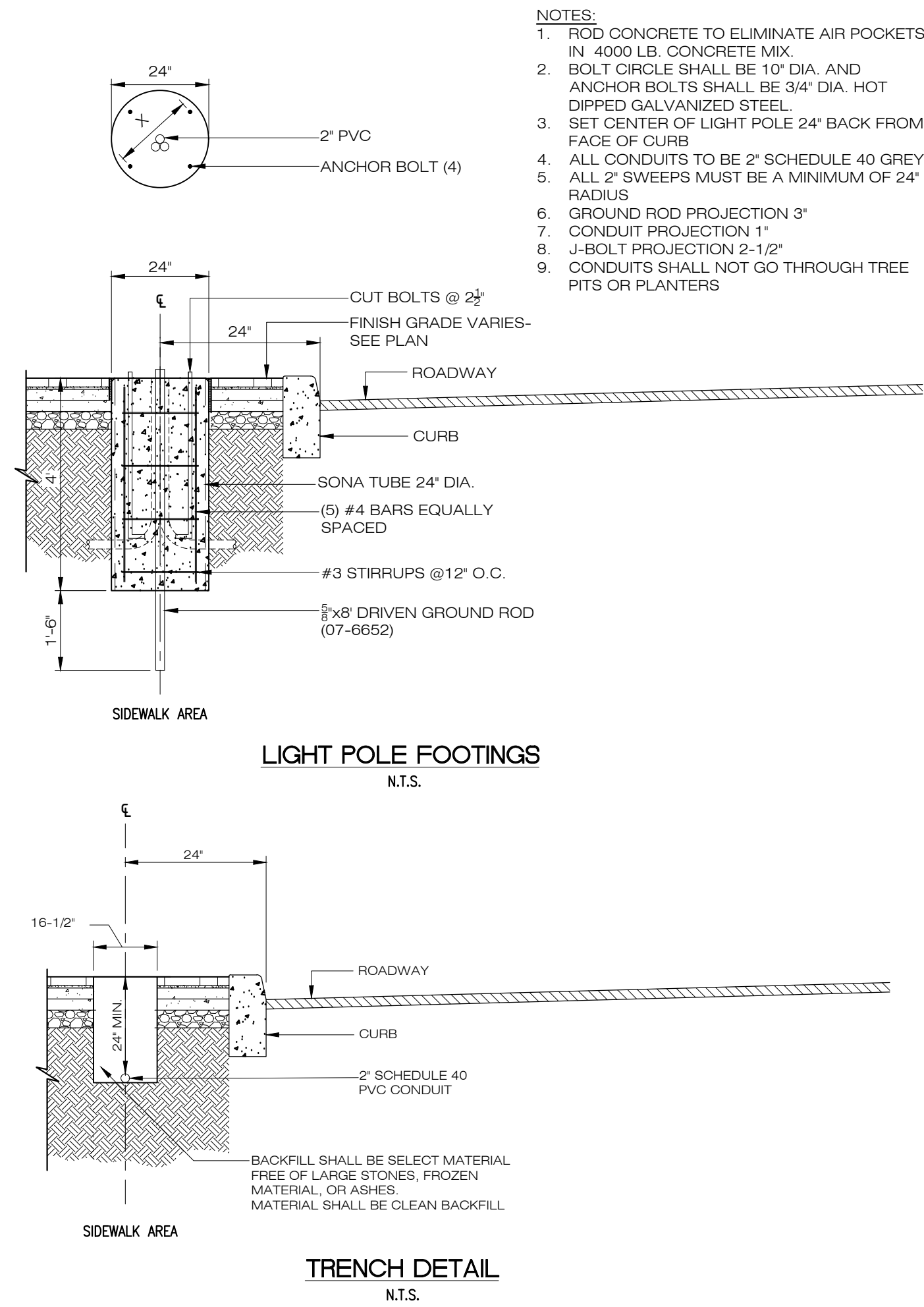
NOTE: LIGHT FIXTURE AS DESIGNED BY DAVE MURPHY & ASSOCIATES.

STREET LIGHT LUMINAIRE
NTS



NOTE: LIGHT FIXTURE AS DESIGNED BY DAVE MURPHY & ASSOCIATES.

DOUBLE BACK-TO-BACK LIGHT FIXTURE
NTS



SCALE:	AS SHOWN
DRAWN BY:	HJD
CHECKED BY:	JDR



ISSUES:			ISSUES:			ISSUES:		
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21			
32	EMERSON PHASE II: REDLINE	04.26.22	22	UPDATED PHASE I PER ARCHITECTS	08.12.21			
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED RUMPOUT WIDTH AT 15TH STREET	08.25.21			
34	EMERSON PHASE II: BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21			
35	EMERSON COMPLEX: LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21			
36	PHASE II: GAS & TELECOM LATERAL UPDATE	03.13.23	26	PH II: BUILDING PERMIT	11.18.21			
37	PHASE II: REDLINE UPDATE	04.26.23	27	PH II GRADE - UPDATE	01.04.22			
38	PHASE II: REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22			
39	PHASE II: ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB: PER AS-BUILT COND.	01.28.22			
40	PHASE III: SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.29.22			

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 24062403070
All work shall be done in accordance with the provisions of the Professional Engineering Act of 1997, Chapter 126, P.L. 1997-126, as amended, and the rules and regulations of the Board of Professional Engineering, Architecture and Surveying, State of New Jersey.

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:
LIGHTING DETAILS

DRAWING NUMBER:
C-65

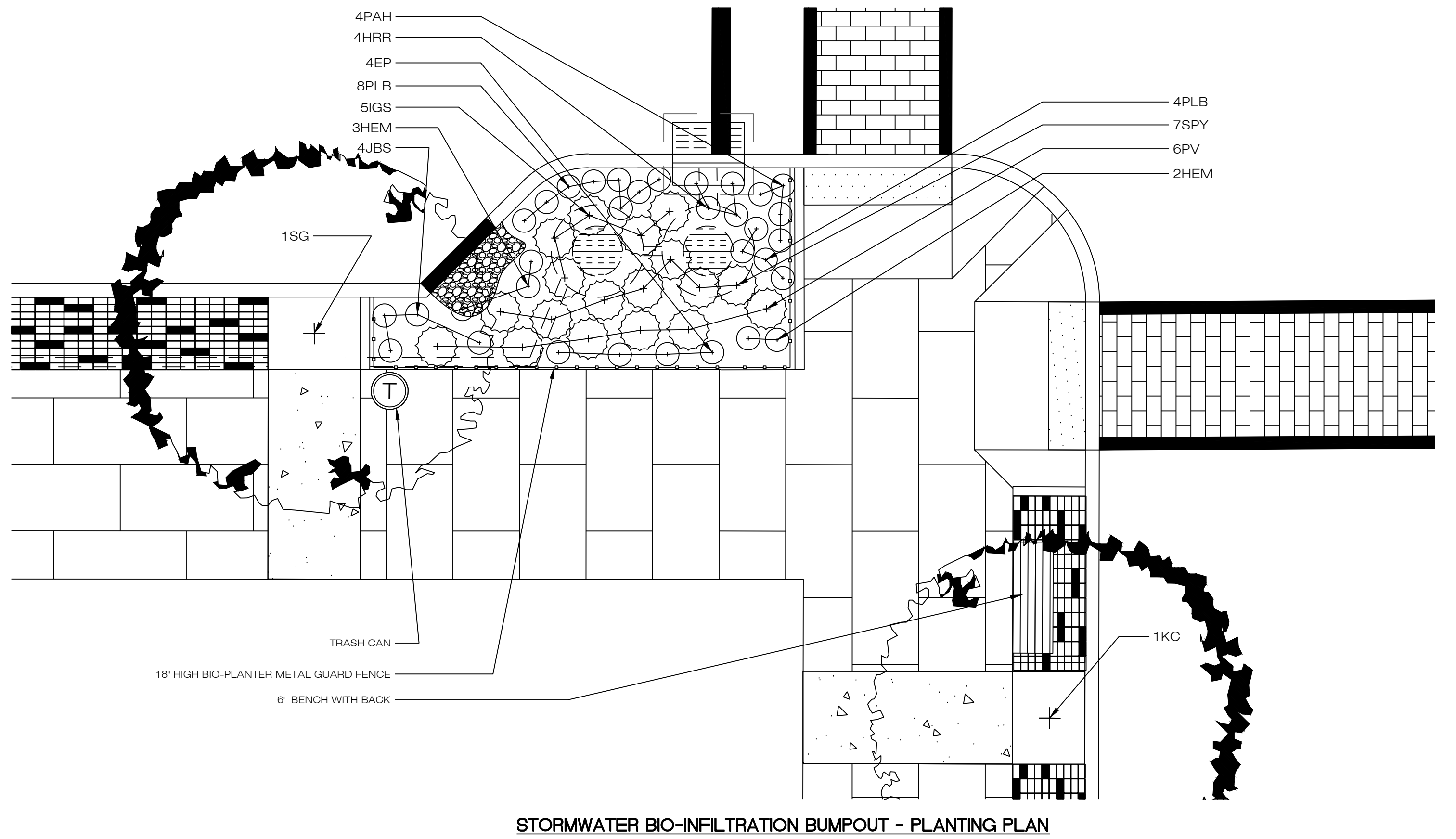
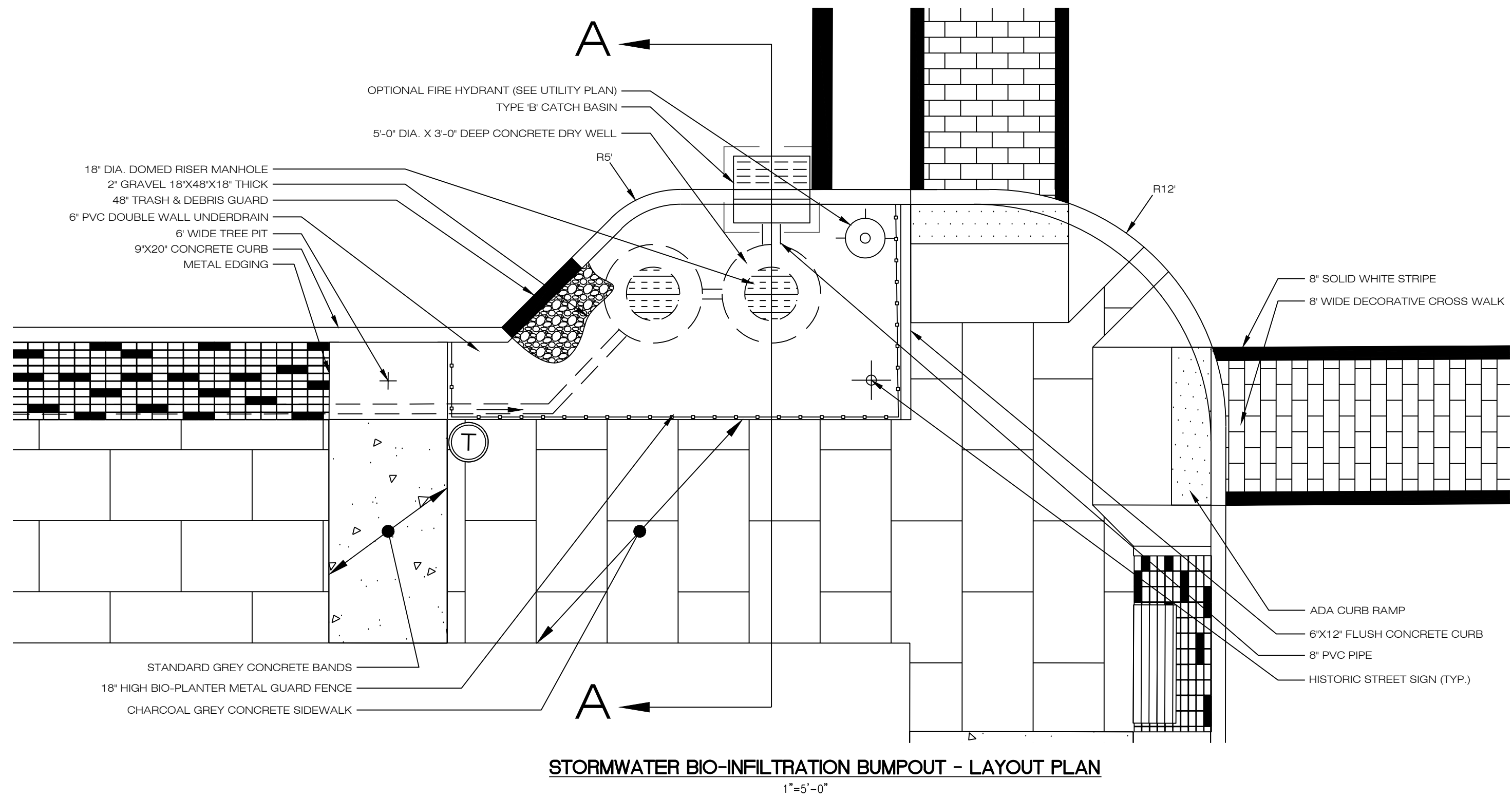
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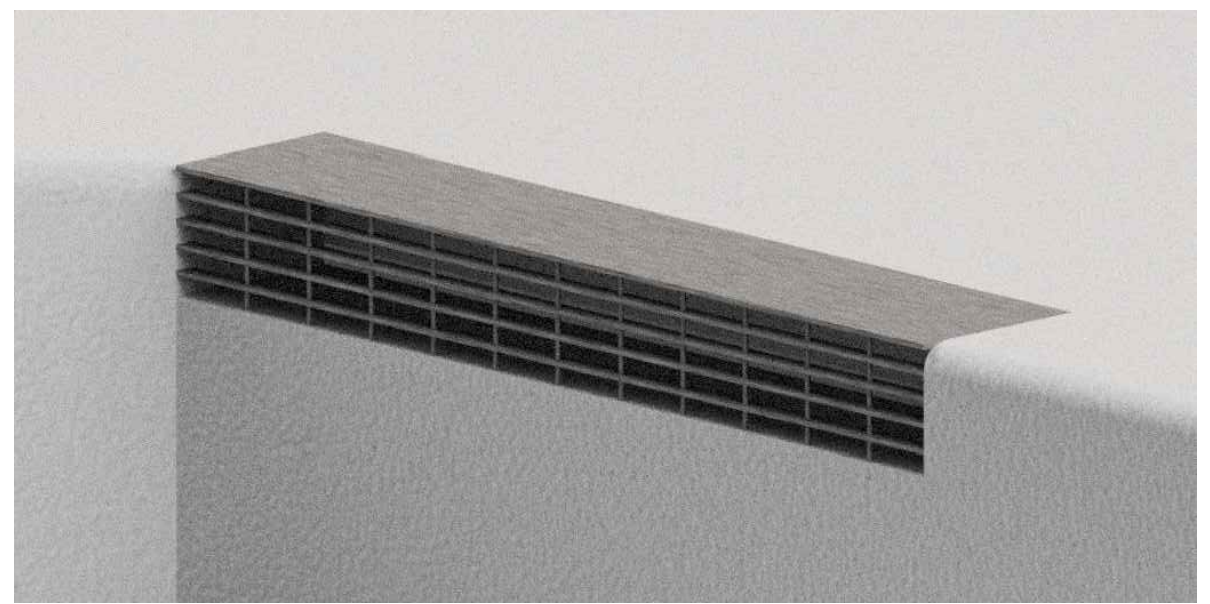
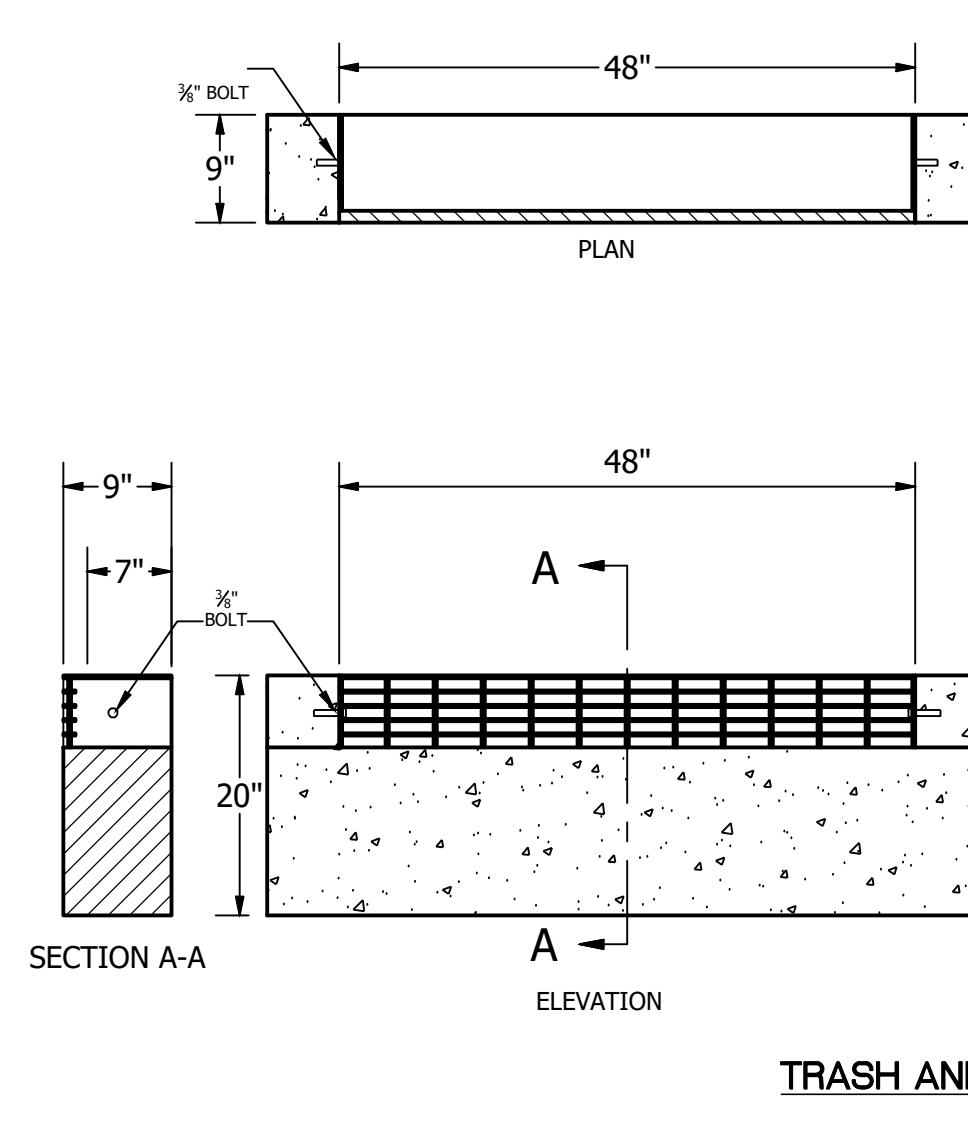
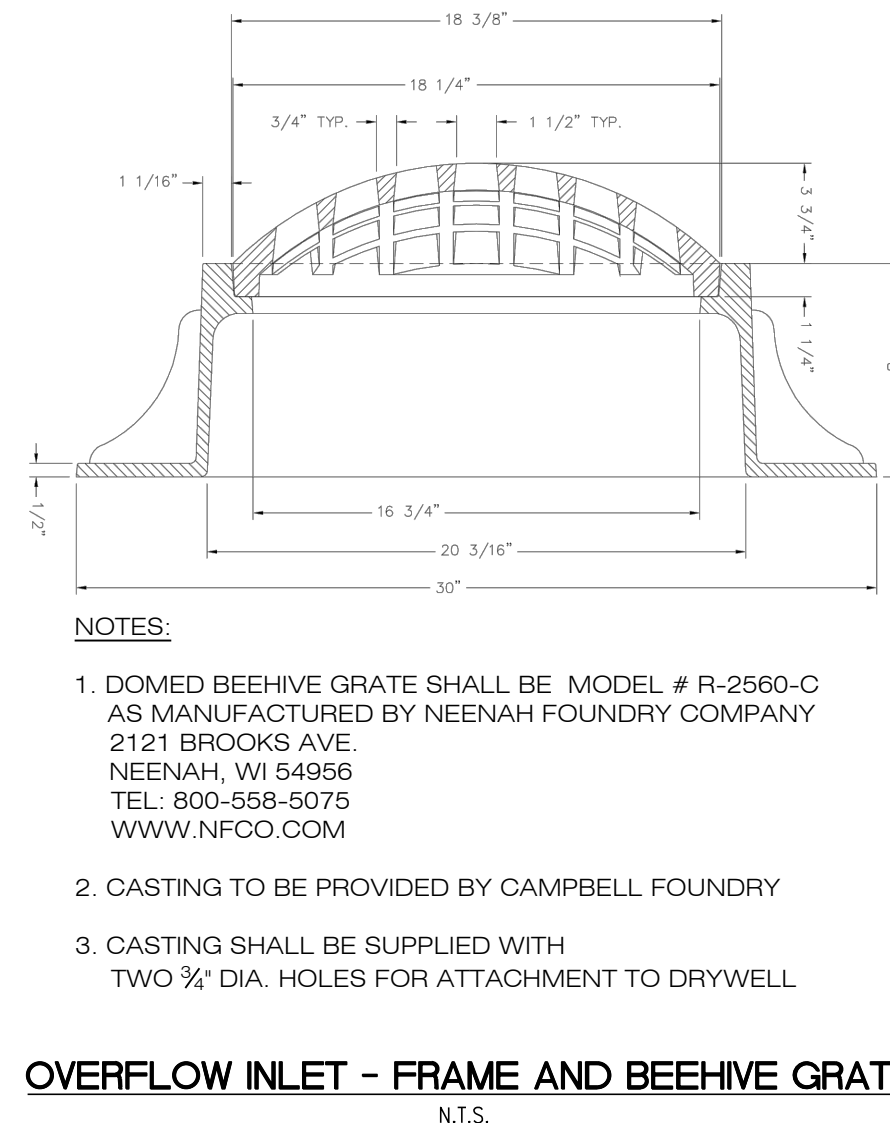
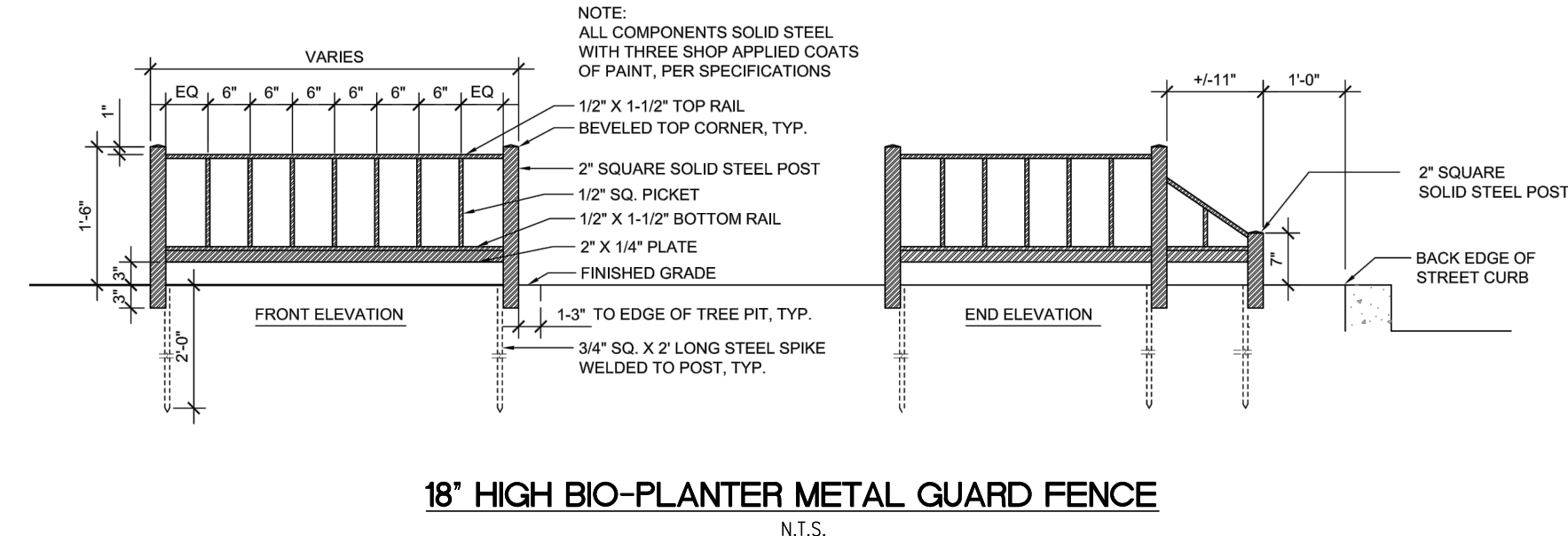
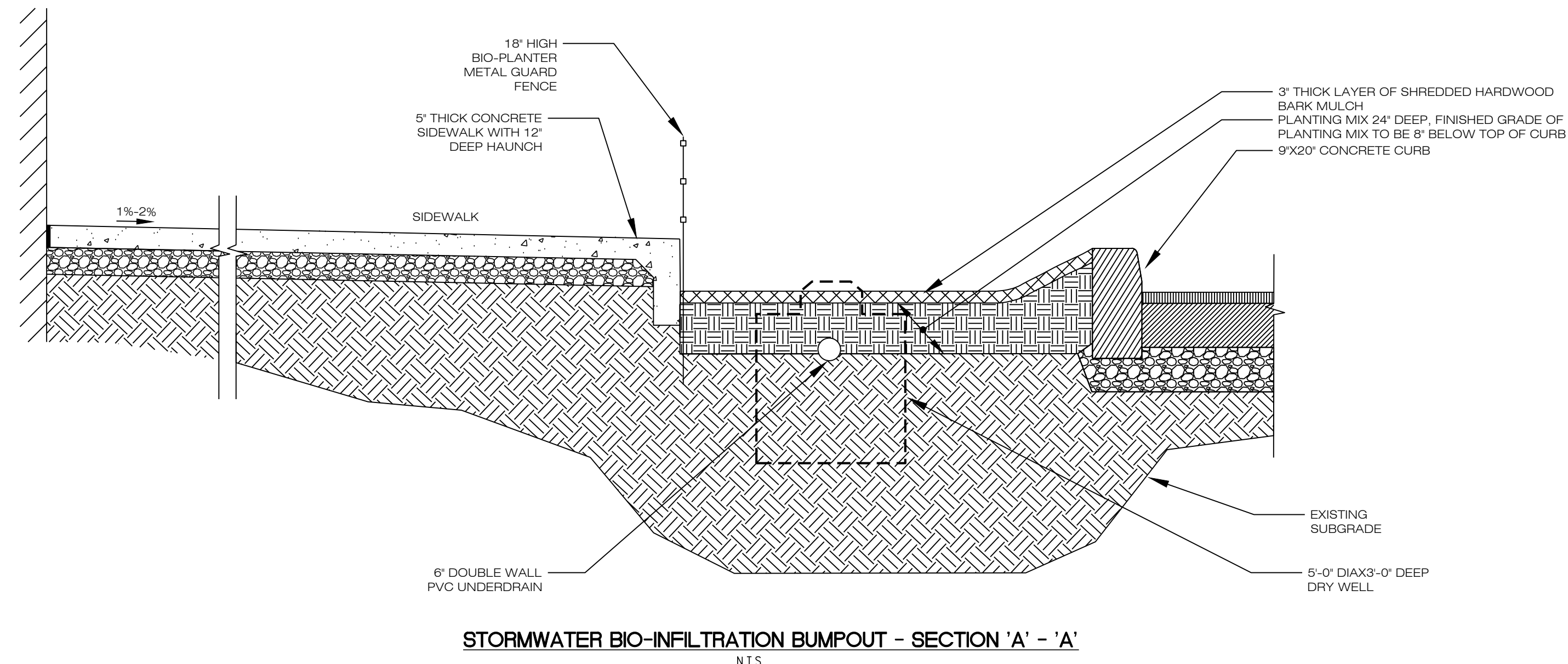
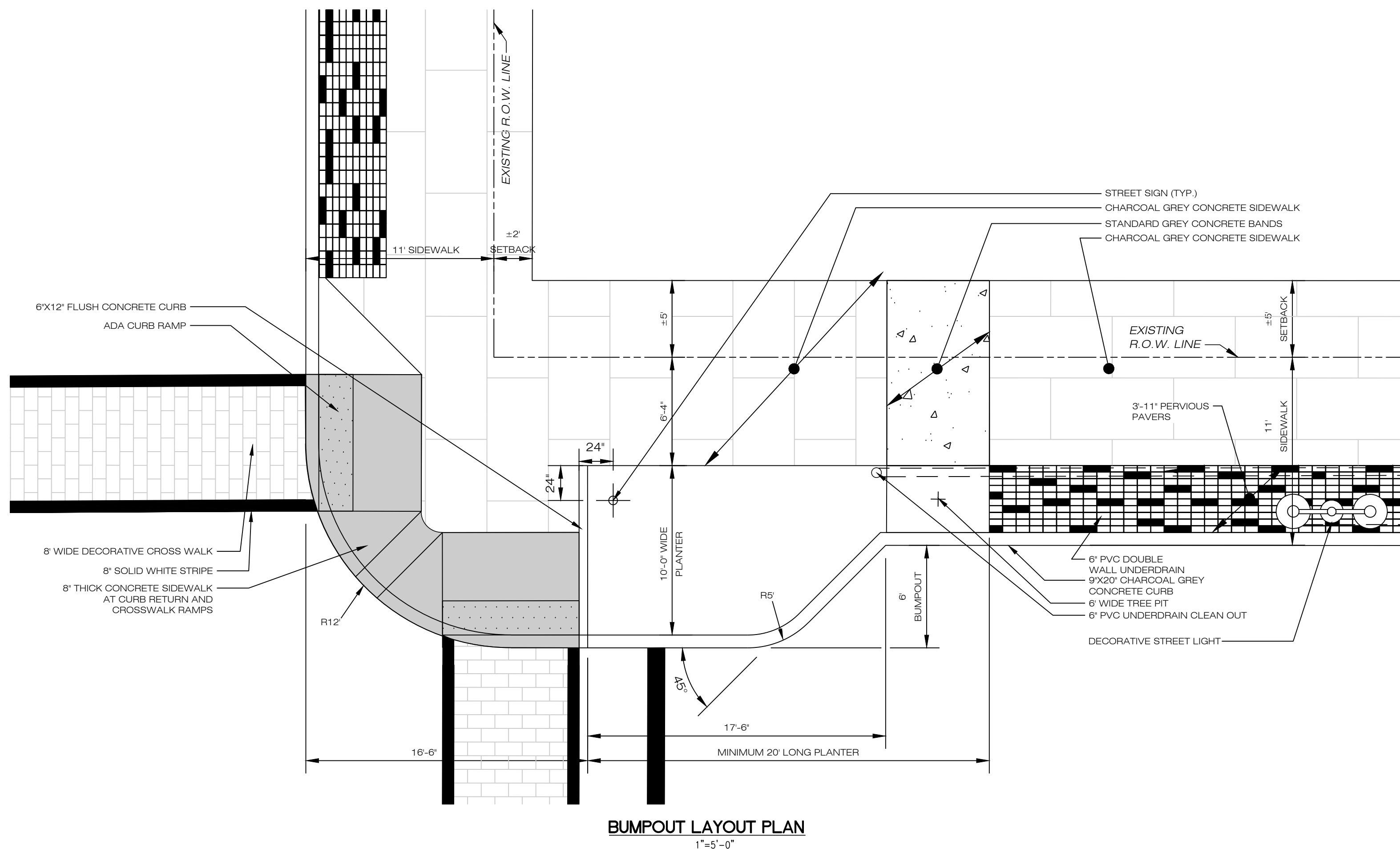
- 6"X12" FLUSH CONCRETE CURB - TYPE
N.T.S.



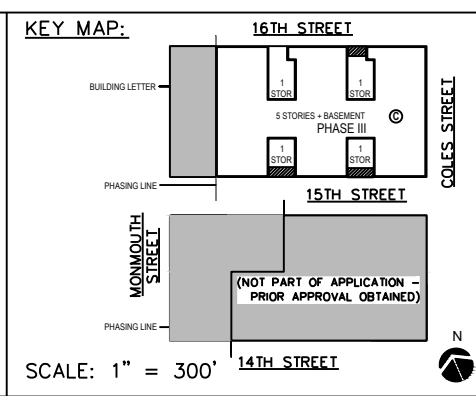


KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	SPACING
TREES						
KC	1	Prunus Serrulata 'Kwanzan'	Kwanzan Flowering Cherry	3"-3.5" cal	8' - 10'	Per Plan
SG	1	Prunus Serrulata 'Snow Goose'	Snowgoose Flowering Cherry	3"-3.5" cal	8' - 10'	Per Plan
SHRUBS						
IGS	5	Ilex glabra 'Shamrock'	Inkberry Holly	3 Gal	18" - 24"	Per Plan
JBS	4	Juniperus squamata 'Blue Star'	Blue Star Juniper	3 Gal	18" - 24"	Per Plan
SPY	7	Spiraea japonica 'Yan'	Double Play Gold Spirea	3 Gal	18" - 24"	Per Plan
PERENNIALS						
EP	6	Echinacea purpurea 'Merlot'	Merlot Coneflower	2 Gal	15" - 18"	24" O.C.
PAH	4	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	2 Gal	18" - 24"	24" O.C.
HRR	4	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	1 Gal	15" - 18"	12" O.C.
HEM	5	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	1 Gal	15" - 18"	12" O.C.
PV	6	Panicum virgatum 'Shanendoah'	Switch Grass	3 Gal	18" - 24"	24" O.C.
PLB	12	Pennisetum alopecuroides 'Little Bunny'	Dwarf Fountain Grass	2 Gal	15" - 18"	18" O.C.

PLANT LIST



- NOTES
1. TRASH & DEBRIS GUARD SHALL BE MADE OF STAINLESS STEEL
 2. GUARD SHALL HAVE A TOP PLATE
 3. GUARD SHALL BE BOLTED TO CONCRETE CURB WITH 3/8\"/>



SCALE: AS SHOWN

DRAWN BY: HJD

CHECKED BY: JDR

urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA28287900

ISSUES:	DATE	NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS
31	03.14.22	21	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21		
32	04.26.22	22	EMERSON PHASE II - RED LINE	04.26.22	22	UPDATED PHASE II PER ARCHITECTS	08.12.21		
33	05.14.22	23	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED BUMPOUT WIDTH AT 15TH STREET	08.26.21		
34	07.12.22	24	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21		
35	12.05.22	25	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.05.22	25	UPDATED LIGHTING	11.03.21		
36	03.12.23	26	PHASE II - GAS & TELECOM LATERAL UPDATE	03.12.23	26	PH II - BUILDING PERMIT	11.18.21		
37	04.26.23	27	PHASE II - REDLINE UPDATE	04.26.23	27	PH II CRANE - UPDATE	01.04.22		
38	07.17.23	28	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22		
39	08.29.23	29	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH CURB PER AS-BUILT COND.	01.28.22		
40	09.18.23	30	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRASSES	01.28.22		

JEFFREY D. REEVES
REGISTERED ENGINEER
N.J. LICENSE NUMBER 24GE0400700
24GE0400700
11:07:23-05:00

PROJECT:
**EMERSON LOFTS
PHASE III**
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:
**BIO-PLANTER &
BUMPOUT DETAILS**

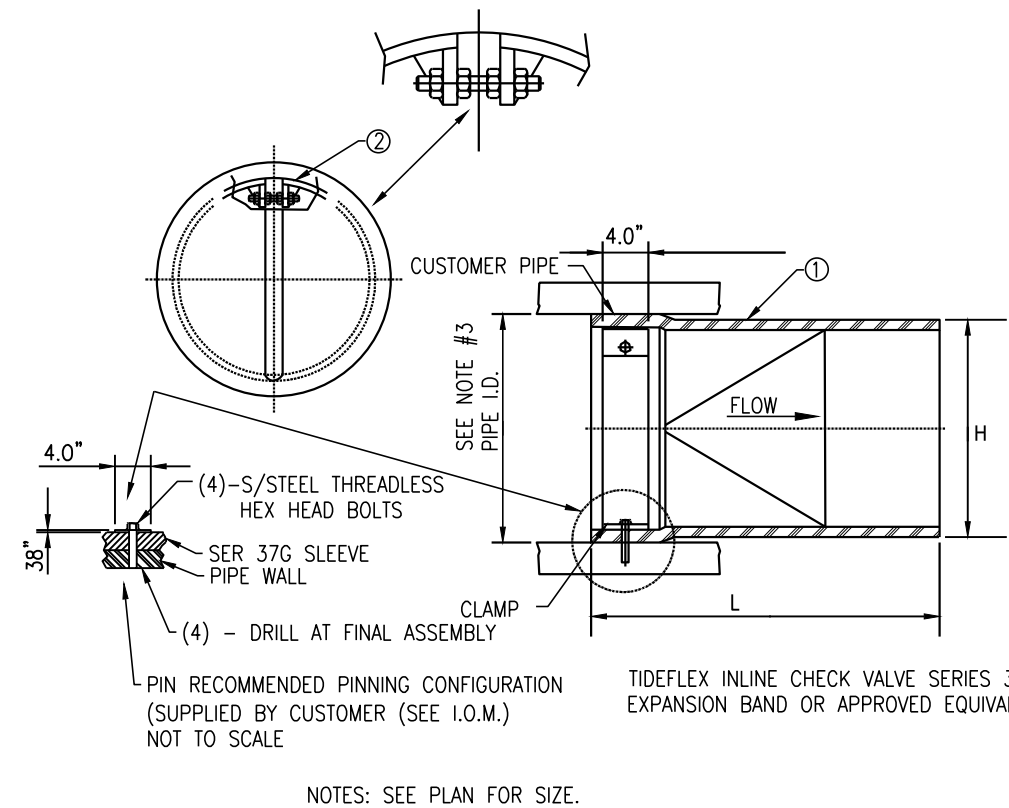
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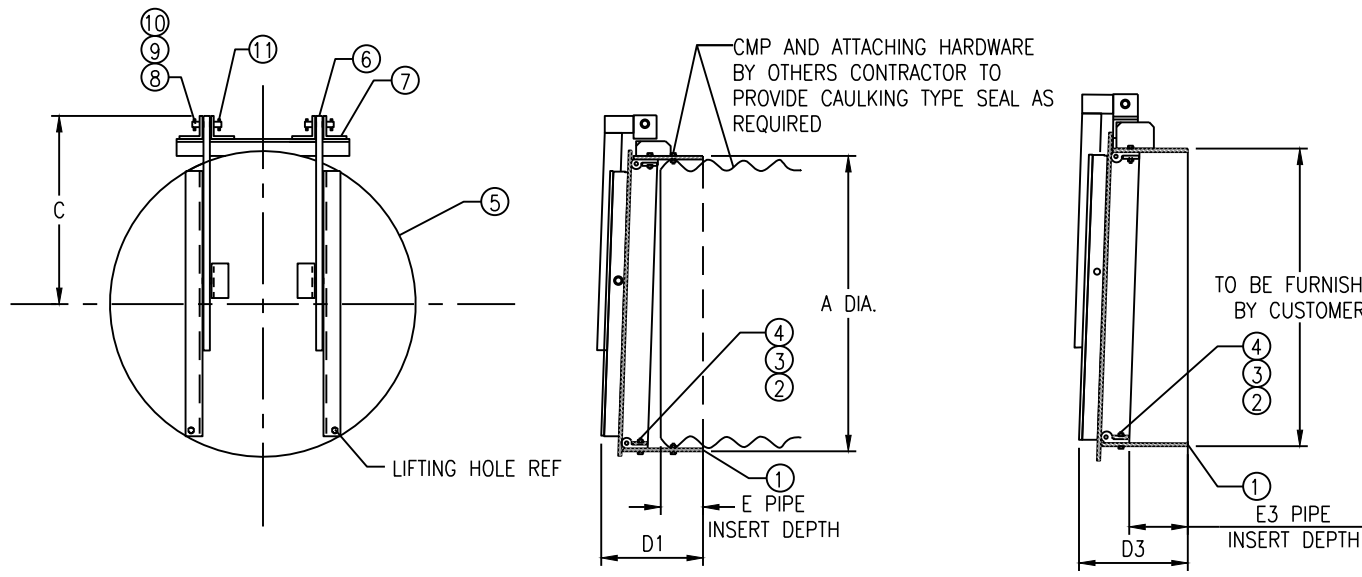
STANDARD REQUIREMENTS FOR NEW SANITARY AND STORM SEWERS AND SERVICE LATERALS

1. BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE REQUIREMENT OF THE NJDOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE No.77, 1993, AS APPLICABLE.
2. ALL SEWER SERVICE CONNECTIONS 6-INCHES IN SIZE OR SMALLER MUST BE MADE DIRECTLY TO THE SEWER MAIN AND ALL CONNECTIONS 8-INCHES IN SIZE OR LARGER MUST BE MADE TO A MANHOLE. WHERE A CONNECTION TO A MANHOLE IS REQUIRED, MANHOLE BENCH AND CHANNEL MAY REQUIRE MODIFICATION.
3. THE JCMUA REQUIRES THAT SEWER SERVICE CONNECTIONS TO BE RE-USED BE TELEVIEWED TO VERIFY THEIR INTEGRITY AND THAT THE PIPE IS FREE FROM ANY DEFECTS.
4. EACH BUILDING CONNECTION REQUIRES A CURB CLEANOUT. T-WYE CLEANOUTS WHICH ENABLE CLEANING IN BOTH DIRECTIONS SHALL BE INSTALLED ON BOTH THE STORM AND SANITARY LATERAL.
5. PROPOSED SEWER LATERAL CONNECTION TO JCMUA'S SEWER MAIN SHALL BE MADE ABOVE HORIZONTAL CENTER LINE OF PIPE.
6. THE SIZE, MATERIAL, DEPTH, CONDITION, DIRECTION OF FLOW AND ANY OTHER RELEVANT CONDITIONS OF THE EXISTING JCMUA SEWER TO WHICH YOU PLAN TO CONNECT MUST BE FIELD VERIFIED BY DEVELOPER TO DETERMINE IF SAID CONNECTION IS PHYSICALLY POSSIBLE AND PRACTICAL. IN ADDITION, MANHOLE INVERTS AND RIM ELEVATIONS MUST BE SHOWN ON PLANS. THIS VERIFICATION IS TO BE INCLUDED ON THE PLANS FOR THE PROJECT.
7. CIRCULAR HOLE SAWS WHICH ARE APPROXIMATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE THE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE LATERALS. JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE JCMUA'S SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE THE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO PIPE.
8. A DETAIL OF ANY PROPOSED MANHOLE OR CATCH BASIN SHOWING ALL DIMENSIONS IN ADDITION TO RIM, GRATE AND INVERT ELEVATIONS OF THE STRUCTURE AND ALL PIPES CONNECTED TO THE STRUCTURE MUST BE SHOWN ON PLANS. REFER TO JCMUA STANDARD DETAIL DRAWINGS FOR MANHOLES AND CATCH BASINS.
9. PROPOSED MANHOLES CONSTRUCTED IN THE PUBLIC R.O.W. ON EXISTING OR PROPOSED JCMUA SEWERS SHALL BE AS MANUFACTURED BY CAMPBELL FOUNDRY CO. PATTERN #1012B OR EQUAL WITH OUTSIDE COVER DIAMETER OF 31 3/4" INCHES. THE LETTERS "JCMUA" AND "SANITARY" OR "STORM" SHALL BE CAST IN THE COVER. MANHOLE FRAMES SHALL BE CAMPBELL FOUNDRY CO. PATTERN #1012B (FOR 30-INCH OPENING). REFER TO THE JCMUA'S STANDARD DETAIL FOR MANHOLE FRAMES AND COVERS.
10. STORM INLETS WHICH ARE CONNECTED DIRECTLY TO JCMUA COMBINED SEWER MUST BE FURNISHED WITH A SUMP AND TRAP AS PER JCMUA STANDARD DETAILS.
11. THE JCMUA HAS A COMBINED SEWER SYSTEM WHICH SURCHARGES DURING WET-WEATHER PERIODS RESULTING IN POSSIBLE SEWAGE BACK-UPS THROUGH PLUMBING FIXTURES (SINKS, TOILETS, FLOOR DRAINS, ETC.) BELOW STREET LEVEL. THIS POSSIBILITY MUST BE ADDRESSED DURING THE DESIGN/CONSTRUCTION PHASE.
12. A DROP MANHOLE CONNECTION SHALL BE USED WHERE THERE IS A DIFFERENCE IN ELEVATION OF TWO (2) FEET OR GREATER BETWEEN THE INVERT OF A SANITARY OR COMBINED INLET PIPE TO MANHOLE AND THE CROWN OF THE OUTLET PIPE FROM MANHOLE. REFER TO JCMUA'S STANDARDS DETAIL FOR DROP MANHOLE CONNECTION WHICH MUST BE SHOWN ON SITE PLAN IF REQUIRED.
13. TEST PITS MUST BE PERFORMED AT THE DEVELOPER'S EXPENSE DURING THE DESIGN PHASE OF THE PROJECT TO ENSURE THAT PROPOSED SEWERS AND SEWER SERVICES MAY BE CONSTRUCTED AS PROPOSED WITHOUT CONFLICTING WITH OTHER UNDERGROUND UTILITIES OR STRUCTURES.
14. ALL EXISTING SEWER MAINS AND SANITARY LATERALS TO BE ABANDONED MUST BE FILLED WITH CONCRETE SLURRY OR REMOVED FROM THE GROUND. CATCH BASINS AND MANHOLES MUST BE REMOVED FROM THE GROUND. CONNECTIONS MUST BE CUT AND SEALED AT THE MAIN AND PRECAUTIONS MUST BE UNDERTAKEN BY THE CONTRACTOR TO ENSURE CONCRETE AND OTHER MATERIALS DO NOT ENTER THE MAIN AND CREATE OBSTRUCTION(S).
15. ALL PROPOSED INLETS/CATCH BASINS MUST BE CONSTRUCTED WITH A BICYCLE SAFE GRATE AND CAMPBELL FOUNDRY CO. TYPE 'N' CURBPIECE WHERE REQUIRED.
16. PROPOSED WATER SERVICES REQUIRE THE REVIEW AND APPROVAL OF THE DIVISION OF WATER ENGINEERING.
17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR STREET OPENINGS FROM THE JERSEY CITY ENGINEERING DEPARTMENT LOCATED AT 13-15 LINDEN AVENUE EAST, 2ND FLOOR, JERSEY CITY, N.J. AND ALL OTHER APPLICABLE PERMITS FROM AGENCIES HAVING JURISDICTION.



NOTES: SEE PLAN FOR SIZE.

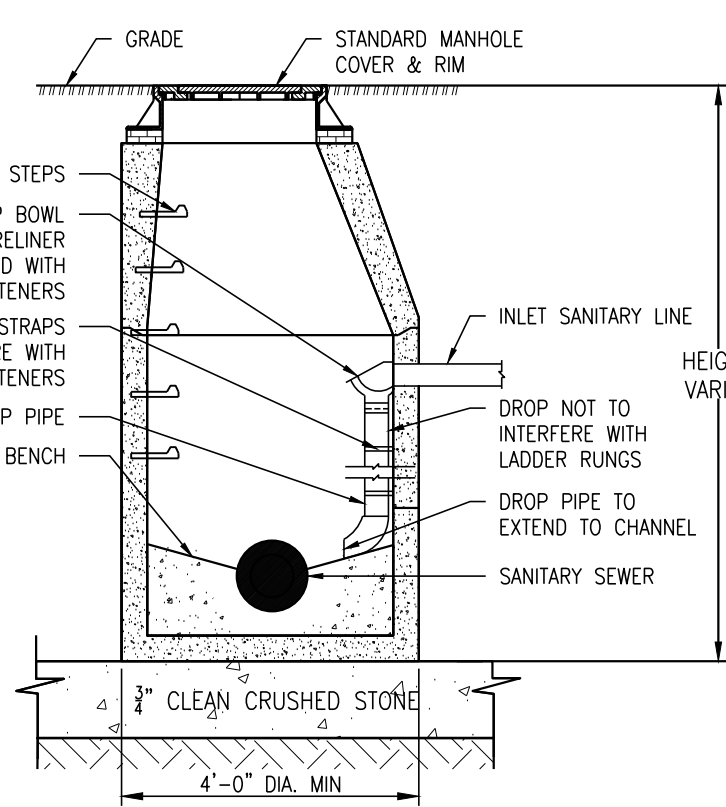
PREFERRED METHOD
TIDEFLEX 37G INLINE BACKFLOW PREVENTOR
N.T.S.



DIMENSIONS IN INCHES															
GATE SIZE	A	B	C	D	D2	D3	E	E3	O.D.	B.C.	W	P	I	O	
12	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2	1 1/2

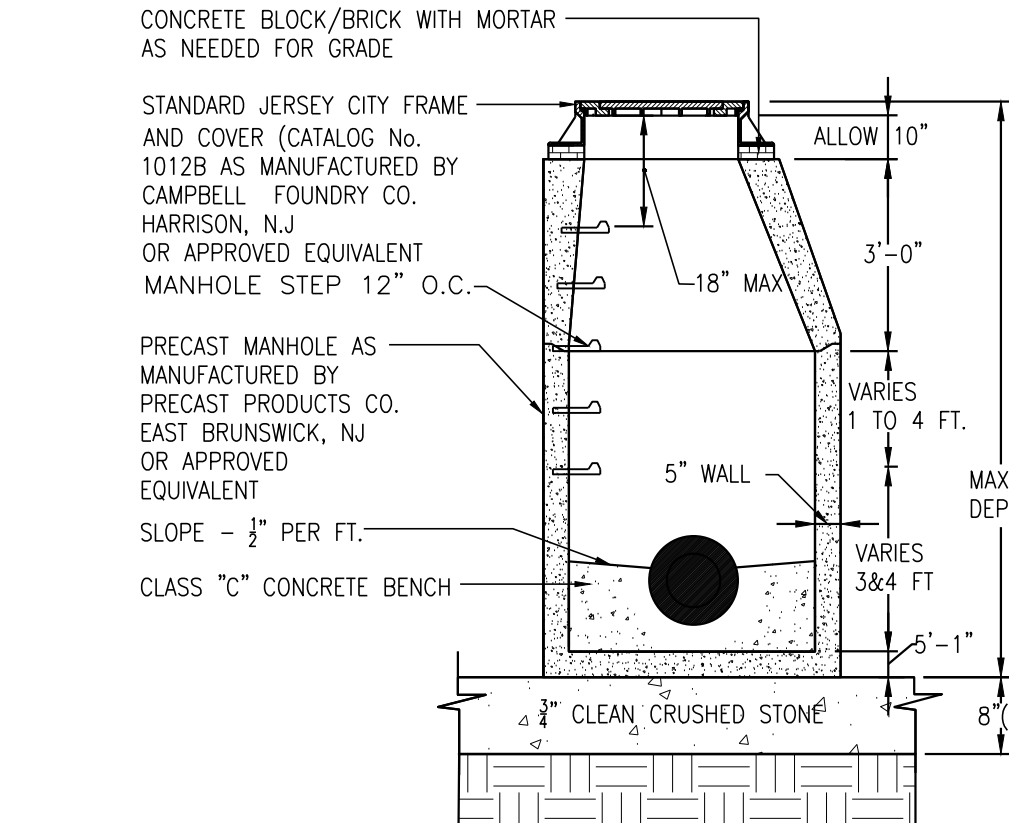
NOTES: SEE PLAN FOR SIZE.

ALTERNATE METHOD
FLAP GATE BACKFLOW PREVENTOR
N.T.S.



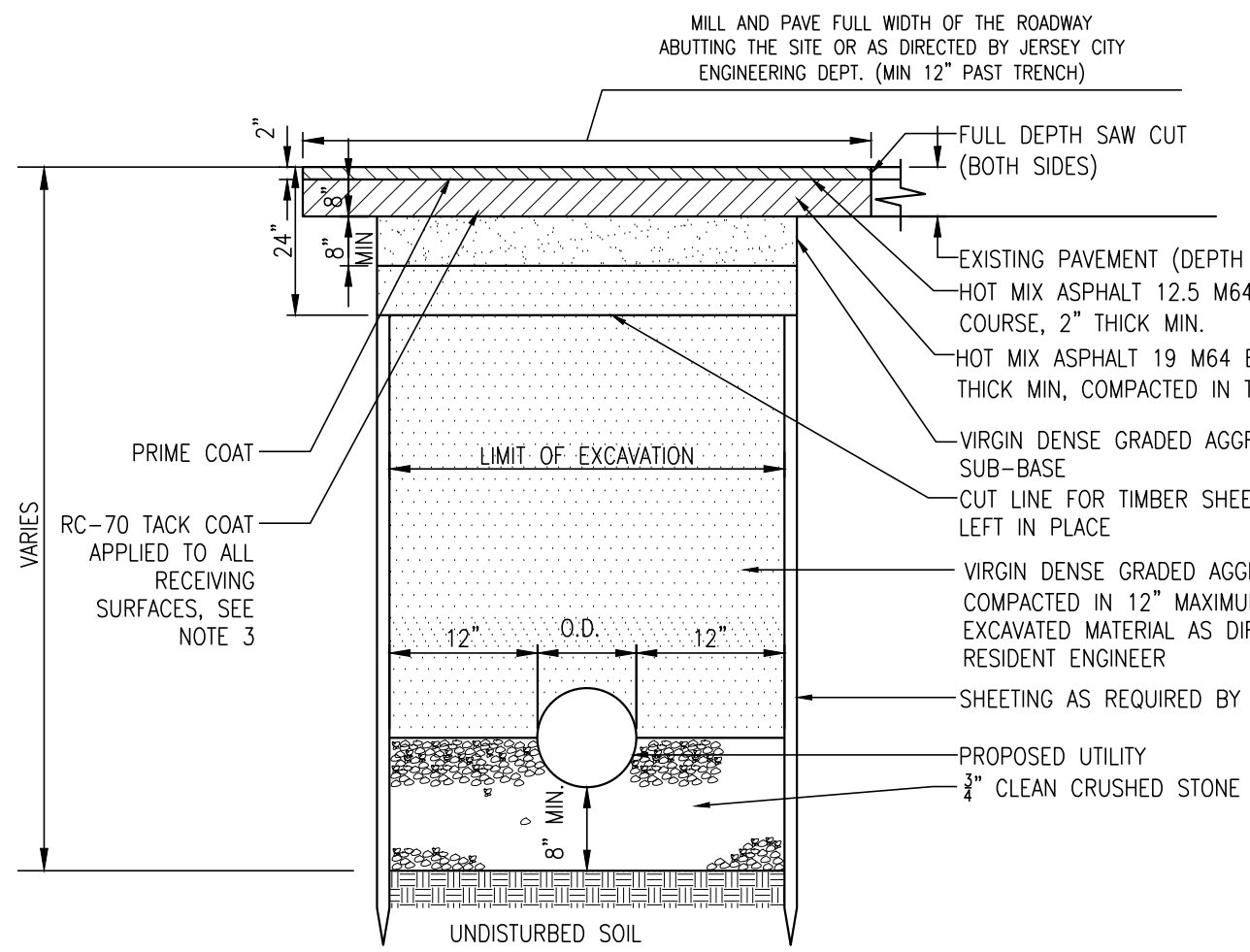
- NOTES:
1. SLOPE BENCH TO CHANNEL.
 2. CHANNEL DEPTH MUST BE 80% OF SEWER MAIN DIAMETER.
 3. LADDER RUNGS AND PIPING SHOULD BE PLACED TO AVOID CONFLICT WITH EACH OTHER.
 4. FOR 8" DIAMETER INLET PIPE USE 6" SDR DROP PIPE.
 5. FOR 12" DIAMETER INLET PIPE AND LARGER USE 8" SDR DROP PIPE.

INSIDE-DROP MANHOLE
N.T.S.

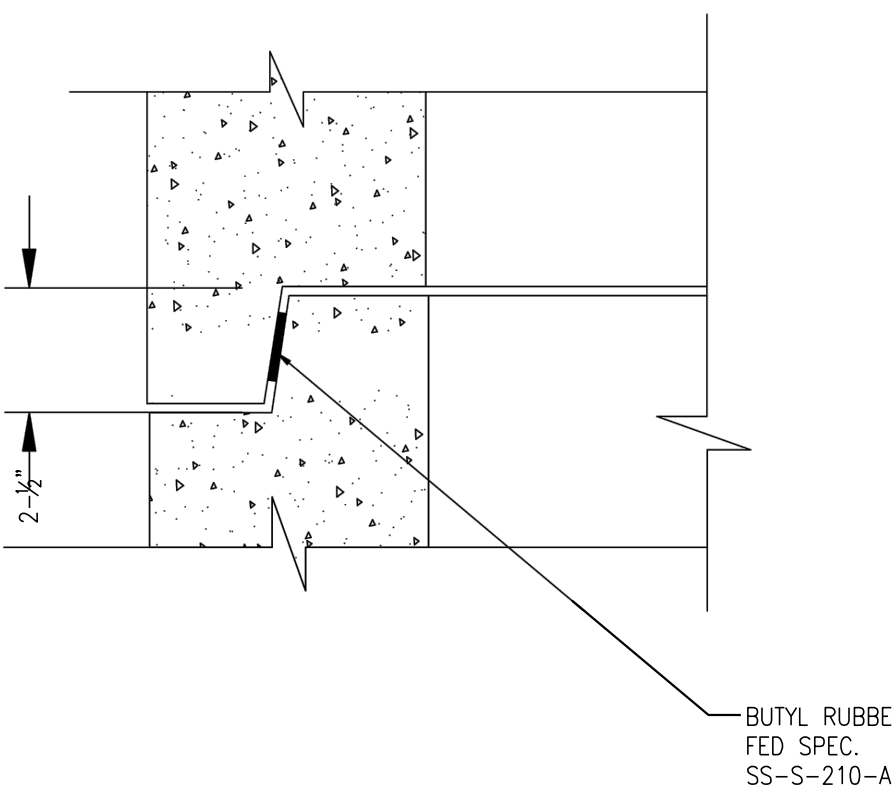


- NOTES:
1. PRECAST MANHOLE SECTIONS TO BE IN ACCORDANCE WITH LATEST ASTM DESIGNATION MINIMUM COMPRESSION STRENGTH TO BE 4000 PSI.
 2. A-LOK CONNECTION OR FLEXIBLE RUBBER BOOT SHALL BE USED FOR CONNECTION OF PVC PIPE TO MANHOLE.
 3. PRECAST CHANNELS SHALL NOT BE USED FOR BENDS GREATER THAN 45°.
 4. MANHOLE INSIDE DIAMETER SHALL BE 4 FT FOR UP TO 18" DIA. PIPE.

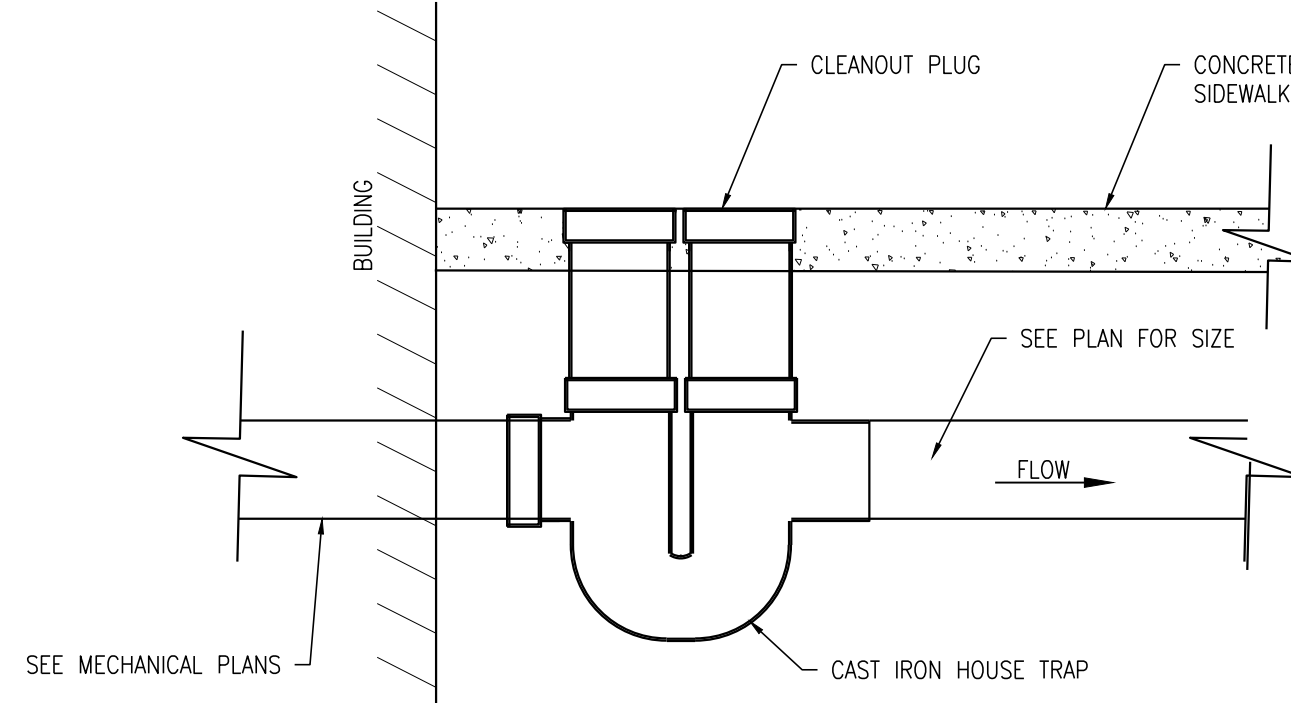
STANDARD PRECAST SANITARY MANHOLE
N.T.S.



TYPICAL TRENCH
N.T.S.

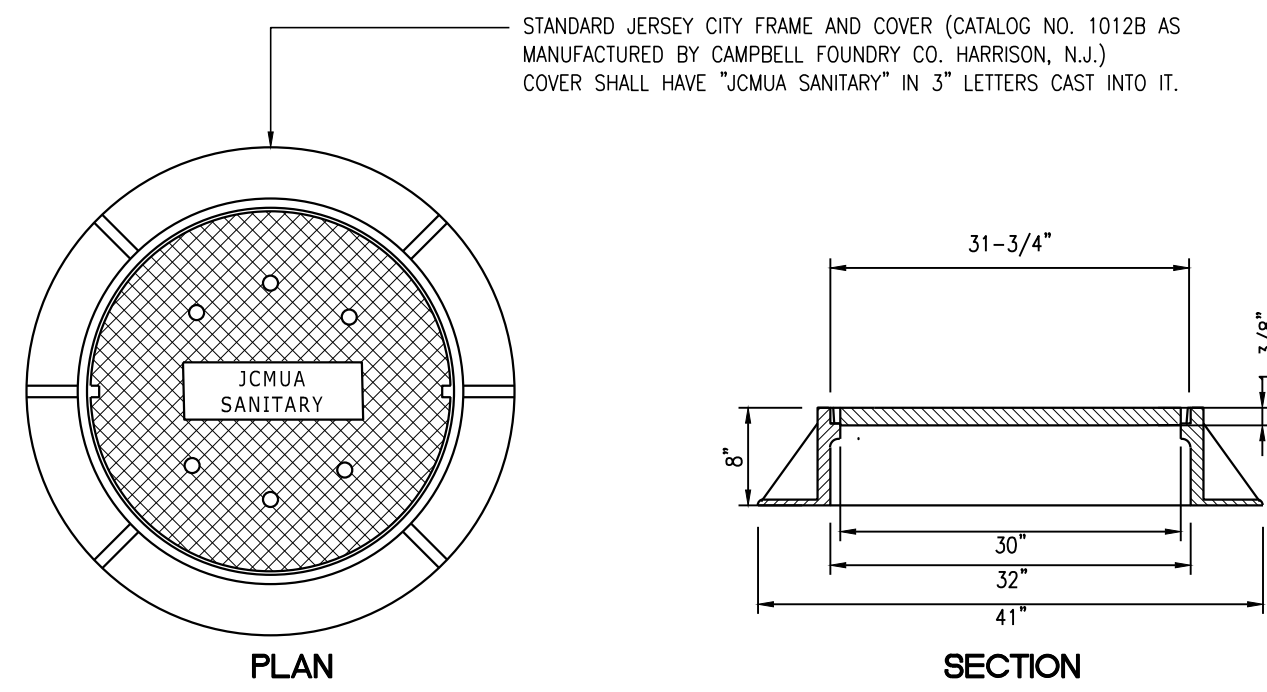


PRECAST WALL JOINT DETAIL
N.T.S.



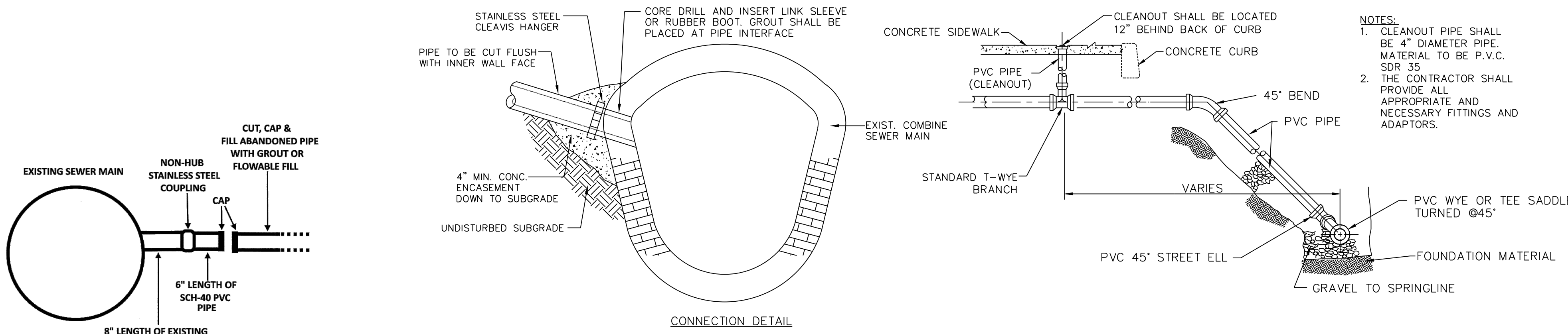
- NOTES:
1. IF TRAP IS 36" OR MORE BELOW SIDEWALK ELEVATION, CONSTRUCT A CHAMBER.
 2. CHAMBER SHALL BE A STANDARD 4" DIA. MANHOLE WITH ACCESS MANHOLE CASTING.
 3. NO CHAMBER REQUIRED IF HOUSE TRAP IS LOCATED INSIDE THE BUILDING.

HOUSE TRAP
N.T.S.



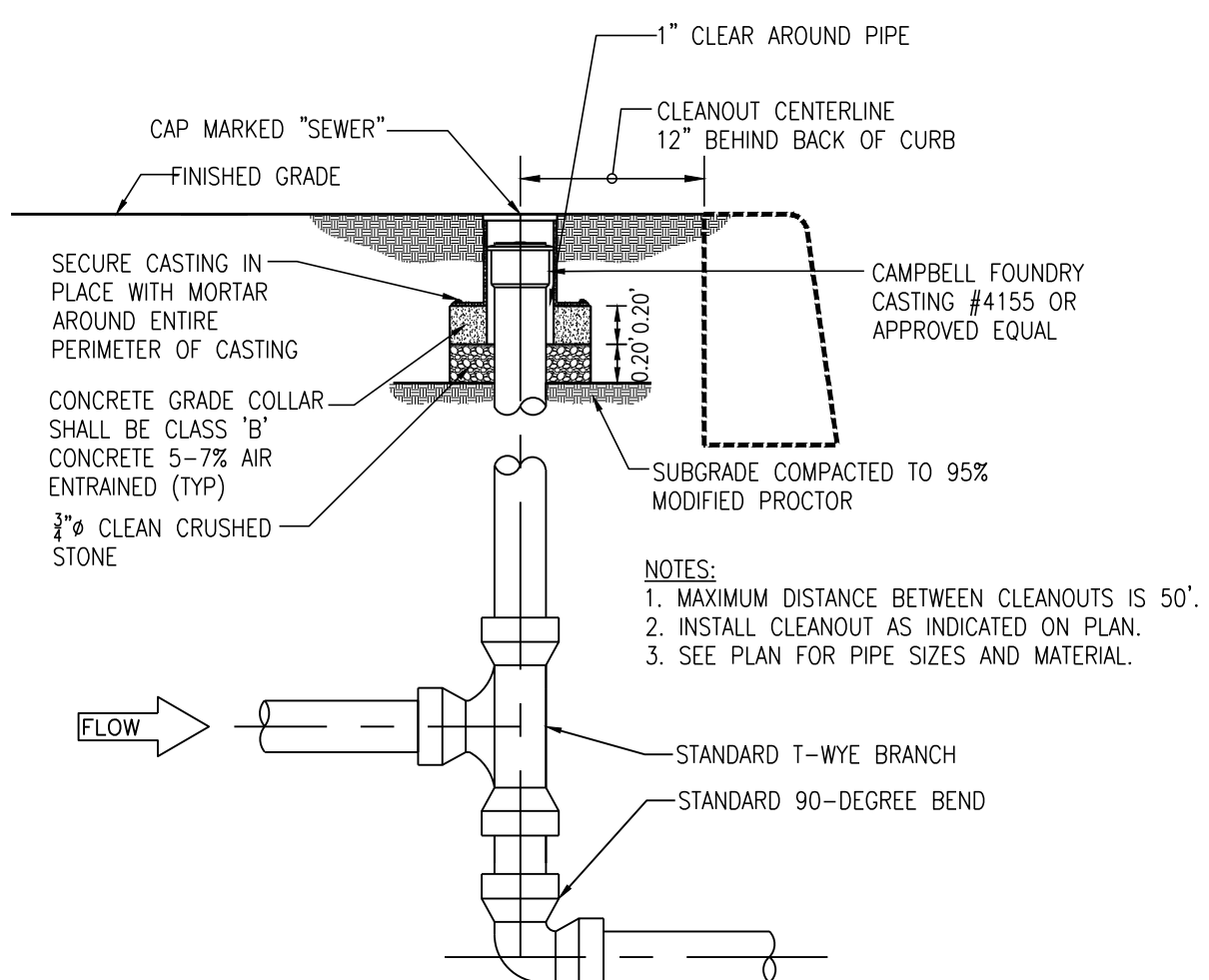
- NOTES:
1. MATERIAL: GRAY CAST IRON, ASTM A48-B3, CLASS 35B.
 2. ASBESTO CESS HIGHWAY LOADING.
 3. BEARING SURFACE AT SEAT OF COVER AND FRAME SHALL BE MACHINED FOR UNIFORM FIT.
 4. COVER SHALL HAVE NON-PENETRATING PICK HOLES AND SIX 3/4" VENTS.
 5. CASTINGS SUPPLIED WITHOUT SURFACE COATING.

SANITARY SEWER MANHOLE CASTING
N.T.S.

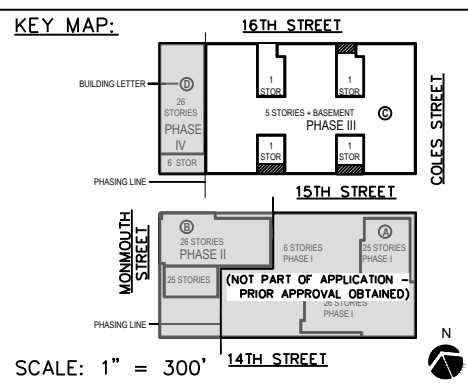


SEWER LATERAL ABANDONMENT DETAIL
N.T.S.

SANITARY SERVICE LATERAL WITH CLEANOUT
N.T.S.



SANITARY DROP CLEANOUT
N.T.S.



SCALE:

AS SHOWN

DRAWN BY:

CHECKED BY:

HJD

JDR



300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 246A28287900

ISSUES:

NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22
32	EMERSON PHASE II: REDLINE	04.26.22
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22
34	EMERSON PHASE II: BUILDING PERMIT SUBMISSION	07.12.22
35	EMERSON COMPLEX LIGHTING PLAN UPDATE	12.06.22
36	PHASE II: GAS & TELECOM LATERAL UPDATE	03.13.23
37	PHASE II: REDLINE UPDATE	04.26.23
38	PHASE II: REDLINE UPDATE	07.17.23
39	PHASE II: ENTRANCE STAIR ELEVATION UPDATE	08.29.23
40	PHASE II: SITE PLAN AMENDMENT SUBMISSION	09.18.23

ISSUES:

NO.	DESCRIPTIONS	DATE
31	UPDATED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE II: REDLINE	04.26.22
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22
34	EMERSON PHASE II: BUILDING PERMIT SUBMISSION	07.12.22
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40	PHASE II: SITE PLAN AMENDMENT SUBMISSION	09.18.23

PROJECT:

**EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ**

DRAWING TITLE:

SANITARY SEWER DETAILS

DRAWING NUMBER:

C-93

32

36

JEFFREY D. REEVES
N.J. LICENSE NUMBER 2460400670
Professional Engineer
The State of New Jersey Department of Transportation
Division of Transportation Engineering

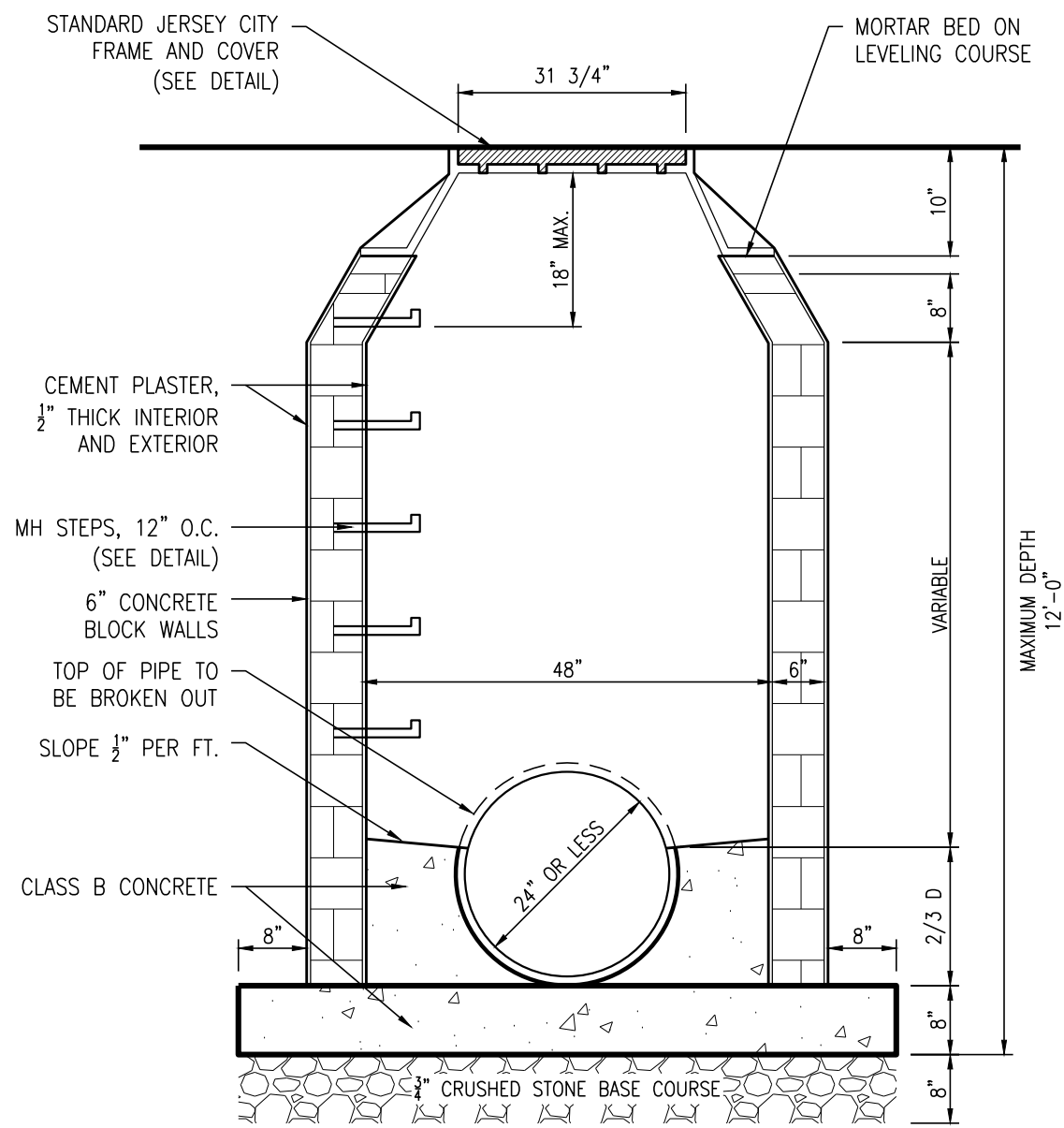
Digitally signed by Jeffrey D. Reeves
Date: 2023.11.28 11:07:35-0500

WATER DISTRIBUTION SYSTEM STANDARDS

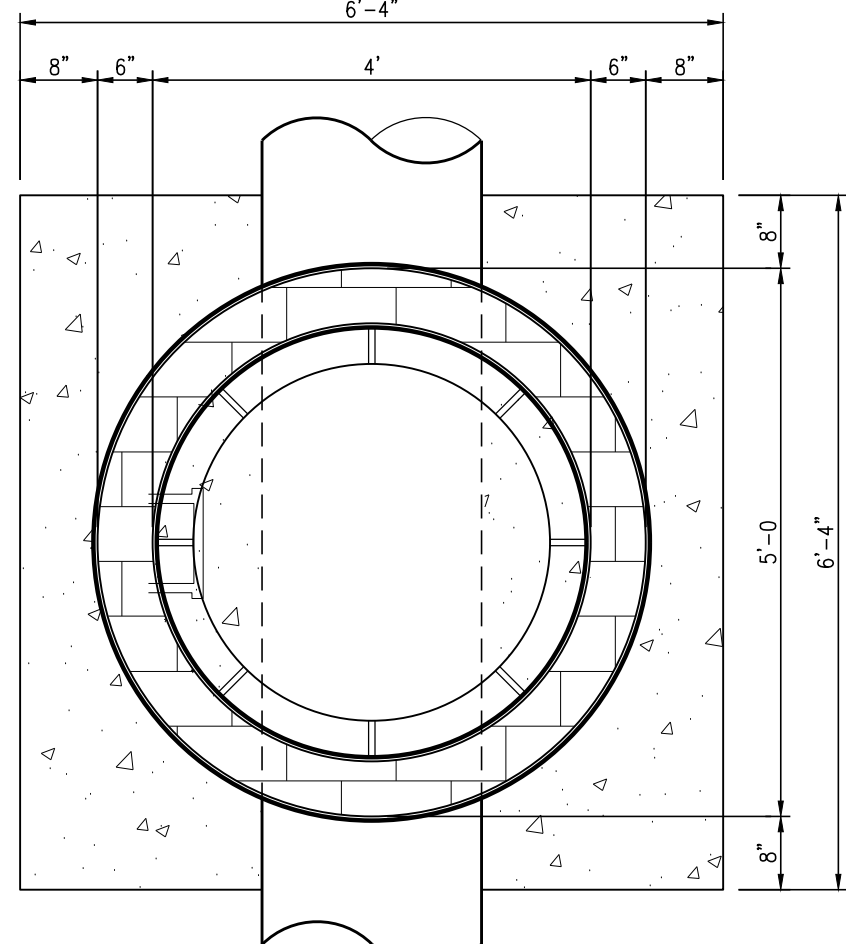
1. WATER MAINS SHALL BE PRESSURE CLASS 350 (WITH WALL CLASS 54) CEMENT LINED, DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND SHALL BE IN CONFORMANCE WITH A.N.S.I. STANDARD A21.5-1976 (A.W.W.A. C151-76). ALL WATER MAINS WILL BE AT LEAST 8" IN DIAMETER. TEN (10") AND 14" DIAMETER MAINS SHALL NOT BE USED.
2. GATE VALVE SHALL BE IN CONFORMANCE WITH A.N.S.I./A.W.W.A. C509 BY MUELLER COMPANY A2362 RESILIENT WEDGE GATE VALVES, 2"-12" VALVES SHALL BE NON-RISING STEM, MECHANICAL JOINT SHALL BE FURNISHED WITH A (27) SQUARE OPERATING NUT SHALL OPEN BY TURNING TO THE RIGHT. GATE VALVES (16") AND OVER SHALL BE FURNISHED WITH B-PRESS. VALVE SHALL BE 100% SOLID HEAT CURED EPOXY COATED HOLIDAY-FREE IN THE WATERWAY.
3. BUTTERFLY VALVES SHALL BE IN CONFORMANCE WITH A.N.S.I./A.W.W.A. STANDARD C504-80, BUTTERFLY VALVES SHALL BE CLASS 1508, MECHANICAL JOINT, WITH RUBBER SEAT MOUNTED ON THE DISC. SHALL BE FURNISHED WITH A (27) INCH SQUARE OPERATING NUT AND SHALL OPEN BY TURNING TO THE RIGHT. THE VALVE SHALL BE 100% SOLID HEAT CURED EPOXY COATED HOLIDAY-FREE IN THE WATERWAY. THE USE OF BUTTERFLY VALVES WILL NOT BE PERMITTED IN MAINS (16") AND UNDER.
4. VALVES BOXES SHALL BE JERSEY CITY "STANDARD" AS MANUFACTURED TYLER UNION6855 SERIES, OR APPROVED EQUIVALENT. BOXES SHALL HAVE A MINIMUM OF 8-1/4 INCH DIAMETER AND SHALL BE AN ADJUSTABLE SCREW TYPE WITH THE BOX EXTENDING FROM THE SURFACE TO (57) INCHES ABOVE THE VALVE BONNET BASE. VALVE BOX SHALL BE CAST IRON WITH A STANDARD COAR. TAP FOUNDRY DIP WITH CAST IRON WATER DROO COVER AND THE WORD "WATER" CAST IN COVER. VALVE BOX COVER SHALL BE INSTALLED FLUSH WITH THE EXISTING GRADE ELEVATION.
5. CONCRETE FOR VALVE SEATS AND THRUST BLOCKS SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 3000 PSI.
6. SELECT GRANULAR BACKFILL MATERIAL SHALL BE SOIL AGGREGATE TYPE 1-6 (POROUS FILL, CLEAN SAND, GRAVEL OR STONE) OBTAINED FROM DRY SOURCES AND SHALL BE FREE FROM STUMPS, BRUSH, WEEDS, ROOTS, RUBBISH, WOOD AND OTHER MATERIAL THAT MAY DECA. GRADUATION SHALL CONFORM TO TABLE 901-2, FOR TYPE 1-6 IN ARTICLE 901.09 OF THE N.J.I.O.1.3 NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN TWELVE (12") INCH LIFTS.
7. THE RODS SHALL BE THREE QUARTER (3/4) INCH DIAMETER THREADED STEEL BARS. RODS SHALL HAVE A MINIMUM YIELD STRESS OF 36,000 PSI. THRUST BLOCKS AND TIE RODS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS.
8. COUPLINGS SHALL BE DRESSER STYLE NUMBER 153 FOR PIPE SIZES THROUGH (307) INCH DIAMETER. FOR LARGER DIAMETER PIPE, DRESSER STYLE NUMBER 38 STEEL COUPLINGS SHALL BE USED.
9. SHEETING, SHORING AND BRACING SHALL BE CLOSED VERTICAL SHEETING, TONGUE AND GROOVE WHICH IS CONFORMED TO PREVENT THE ONE-IN-OF TRENCHES. ALL LABOR EQUIPMENT, MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
10. BROKEN STONE FOUNDATION CUSHION SHALL BE PLACED IN THOSE AREAS WHERE THE SITE ENGINEER HAS DEEMED THE SOIL CONDITIONS INTERIOR BROKEN STONE SHALL CONFORM TO ARTICLE 901.03 OF THE STANDARD SPECIFICATIONS AS CURRENTLY AMENDED. THE SIZE OF BROKEN STONE SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE SITE ENGINEER FOR SIZE NUMBER 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 24, 30, 36, 48, 60, 72, 84, 96, 108, 120, 144, 168, 192, 216, 240, 270, 300, 324, 360, 400, 432, 480, 504, 540, 576, 600, 648, 696, 720, 756, 792, 828, 864, 900, 936, 972, 1008, 1044, 1080, 1116, 1152, 1188, 1224, 1260, 1296, 1332, 1368, 1404, 1440, 1476, 1512, 1548, 1584, 1620, 1656, 1692, 1728, 1764, 1800, 1836, 1872, 1908, 1944, 1980, 2016, 2052, 2088, 2124, 2160, 2196, 2232, 2268, 2304, 2340, 2376, 2412, 2448, 2484, 2520, 2556, 2592, 2628, 2664, 2700, 2736, 2772, 2808, 2844, 2880, 2916, 2952, 2988, 3024, 3060, 3096, 3132, 3168, 3204, 3240, 3276, 3312, 3348, 3384, 3420, 3456, 3492, 3528, 3564, 3600, 3636, 3672, 3708, 3744, 3780, 3816, 3852, 3888, 3924, 3960, 3996, 4032, 4068, 4104, 4140, 4176, 4212, 4248, 4284, 4320, 4356, 4392, 4428, 4464, 4500, 4536, 4572, 4608, 4644, 4680, 4716, 4752, 4788, 4824, 4860, 4896, 4932, 4968, 5004, 5040, 5076, 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11. FILTER CLOTH SHALL BE PLACED IN THOSE AREAS WHERE THE SITE ENGINEER HAS DEEMED THE SOIL CONDITIONS INFERIOR.
12. AFTER THE SITE ENGINEER HAS INSPECTED THE COMPLETED INSTALLATION OF VALVES, AND WATER MAIN, AND BEFORE BACKFILLING THE EXCAVATIONS, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PRESSURE TEST THE PIPE. THE PIPE SHALL BE PRESSURIZED TO 1.5 X THE WORKING PRESSURE FOR A PERIOD OF TWO (2) HOURS. THERE SHALL BE NO PRESSURE DROP IN ANY VARIATIONS. THE VALVED SECTION OF PIPE SHALL BE FILLED WITH WATER SLOWLY, AND THE TEST PRESSURE SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A MANNER SATISFACTORY TO THE SITE ENGINEER. BEFORE APPLYING THE TEST PRESSURE, AIR SHALL BE EXPELLED COMPLETELY FROM THE PIPE BY INSTALLING CORPORATION COCKS AT SUCH POINTS SO THAT THE AIR CAN BE EXPELLED AS THE LINE IS FILLED WITH WATER. IF THE JOINTS LEAK, REPAIRS OR REPLACEMENTS SHALL BE MADE. TESTING SHALL BE IN CONFORMANCE WITH A.W.W.A. STANDARD C600-77.
13. THE CONTRACTOR SHALL DISINFECT ALL WATER MAINS IN ACCORDANCE WITH A.W.W.A. STANDARD FOR "DISINFECTING WATER MAINS" DESIGNATION C-601. COMMERCIAL PRODUCTS SUCH AS "THT", "PERSCHLARMON", AND "MAXOXHLO" MAY BE USED IN FLAKE OR CRYSTAL FORM BUT IN NO INSTANCE WILL TABLETS BE PERMITTED TO BE USED IN THE DISINFECTION OF WATER MAINS.
14. THE CHLORINE DOSAGE SHALL INITIALLY PRODUCE 50 PPM RESIDUAL TO THE WATER AND MAINTAIN A MINIMUM RESIDUAL OF 25 PPM AFTER 24 HOURS. AFTER SATISFACTORY DISINFECTION OF THE TEST SECTION, THE LINE SHALL BE CONTINUOUSLY FLUSHED UNTIL THE RESIDUAL CHLORINE RESIDUAL EQUALS ONE PPM OR THE RESIDUAL OF THE SYSTEM, WHICHEVER IS GREATER. AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE, SAMPLES SHALL BE COLLECTED FROM EACH END OF THE MAIN AND TESTED FOR BACTERIOLOGIC QUALITY. IF THE INITIAL DISINFECTION FAILS TO PRODUCE SATISFACTORY SAMPLES, DISINFECTION SHALL BE REPEATED UNTIL SATISFACTORY SAMPLES HAVE BEEN OBTAINED.
15. AIR RELEASE VALVES SHALL BE INSTALLED AT THE HIGH POINTS OF THE WATER MAINS.
16. ALL WATER MAINS SHALL BE AT LEAST 8" IN DIAMETER. TEN (10") AND 14" DIAMETER MAINS SHALL NOT BE USED.
17. THRUST BLOCKS AND TIE RODS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS OR MEGALU RESTRAINT JOINT.
18. FOR EITHER NEW CONSTRUCTION OR RELOCATION THE FOLLOWING SHALL BE REQUIRED:
 - A. HYDRANTS SHALL BE LOCATED NO CLOSER THAN 20 FEET FROM THE POINT OF TANGENCY OR CURVATURE AT INTERSECTIONS.
 - B. ALL ONE PIECE FIRE HYDRANTS NOT MANUFACTURED BY MUELLER CO. MODEL NO. A-423 THAT ARE TO BE RELOCATED SHALL BE REMOVED AND DELIVERED TO THE JERSEY CITY DIVISION OF WATER DISTRIBUTION. A NEW HYDRANT WILL BE SUPPLIED BY THE CITY FOR INSTALLATION.
 - C. HYDRANTS SHALL BE NO CLOSER THAN TEN (10) FEET FROM THE EDGE OF A RESIDENTIAL DRIVEWAY OR (20) FEET FROM THE EDGE OF COMMERCIAL DRIVEWAY. IN THE CASE WHERE DRIVEWAYS ARE EXPANDED OR NEWLY CONSTRUCTED, THE OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION OF AN EXISTING HYDRANT IF ABOVE REQUIREMENTS ARE VIOLATED.
 - D. ALL SINGLE GATED HYDRANTS ON (16") INCH OR LARGER MAINS SHALL REQUIRE A NEW VALVE AT THE BASE OF THE RELOCATED HYDRANT.
 - E. NEW GATE VALVES AND BOXES ARE REQUIRED AT THE BASE OF RELOCATED HYDRANTS WHEN MORE THAN (10') FEET OF PIPE IS REQUIRED.
19. ALL FIRE HYDRANTS SHALL BE TWO (2) PIECE "JERSEY CITY STANDARD" HYDRANTS, AS MANUFACTURED MUELLER CO. MODEL NO. A-423.
20. EXISTING WATER SERVICE LINES SHALL BE SHUT-OFF AND CAPPED AT THE MAIN PRIOR TO THE INSTALLATION OF NEW WATER SERVICES. PRIOR TO NEW SERVICE TAP THE JERSEY CITY WATER DEPARTMENT SHALL INSPECT AND CERTIFY THE ABANDONED SERVICES.
21. WATER MAINS TO BE ABANDONED SHALL BE CUT AND PLUGGED WITH REQUIRED FITTINGS, RODS AND CONCRETE AS CLOSE TO THE EXISTING MAIN IN SERVICE AS POSSIBLE.
22. ALL VALVES SHALL BE OPERATED BY SUEZ WATER PERSONNEL. THE CONTRACTOR SHALL NOT BE PERMITTED TO OPERATE ANY VALVES. THE CONTRACTOR SHALL NOTIFY SUEZ WATER AT (201) 239-1108, AND IN WRITING AT 233 COLES STREET JERSEY CITY, NJ 07310, FIVE (5) DAYS IN ADVANCE OF VALVE OPERATING REQUIREMENTS.
23. FAILURE TO COMPLY WITH THE ABOVE REQUIREMENTS WILL RESULT IN THE IMMEDIATE SHUTDOWN OF THE PROJECT.

REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS

1. ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JCMUA'S BUREAU OF WATER ENGINEERING FOR APPROVAL. FIVE (5) SETS OF PLANS SHALL BE SUBMITTED FOR APPROVAL. ALL PLANS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY.
2. SUBMITTED PLANS SHALL BE STANDARD ENGINEERING DRAWINGS, SIZE 24 INCHES X 36 INCHES, INCLUDED SHALL BE A SITE PLAN SHOWING ADJACENT STREET WITH WATER MAIN, SERVICE, AND DETAILS INDICATED. ALSO INCLUDED SHALL BE A KEY MAP SHOWING GENERAL LOCATION WITHIN THE CITY.
3. INDICATED ON THE SUBMITTED PLANS SHALL BE THE SIZE OF TAP, LOCATION OF TAPPING AND THE CURB GATE VALVES, DETAILED METER SET-UP, AND SIZE OF FACILITY'S METER. ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF OCCUPANCY OF THE FACILITY RECEIVING THE WATER SERVICE. (I.E. HOSPITAL, WAREHOUSE, APARTMENTS BUILDING, ECT.)
4. ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN, IN ACCORDANCE WITH JCMUA STANDARDS, AND INSPECTED WITHIN 24 HOURS AFTER INSTALLATION OF NEW TAP. THE MAXIMUM OF ONE (1) TAP SHALL BE MADE FOR BOTH DOMESTIC AND FIRE SERVICE PER FACILITY. THE TAP SHALL BE THE MAXIMUM OF ONE (1) SIZE SMALLER THAN THE CITY'S WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT BY SUEZ WATER UNLESS SPECIFICALLY APPROVED BY JCMUA.
5. ONLY ONE DOMESTIC/FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL CHECK METERS ON INDIVIDUAL BRANCH CONNECTIONS DOWNSTREAM OF DOMESTIC METER SETUP WHERE THERE IS MORE THEN ONE OWNER/TENANT FOR A FACILITY. HOWEVER, ONLY ONE WATER BILL WILL BE ISSUED FOR THE FACILITY.
6. A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUIVALENT SHALL BE UTILIZED FOR ALL TAPS 2-INCHES AND LARGER. THE TAPPING SLEEVE SHALL PASS PRESSURE TESTING BASED ON ANWW STANDARDS BEFORE TAP IS MADE.
7. FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT; A TAPPING VALVE LOCATED AT THE TAP AND CURB VALVE LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING GATES SHALL BE FURNISHED OPENED RIGHT. TAPPING AND CURB VALVES GATE VALVES OR A-2362 RESILIENT WEDGE GATE VALVES AS MANUFACTURED BY MUELLER CO. OR APPROVED EQUIVALENT AND MEET ANWW STANDARDS. THE MET TAP UP TO 12 INCHES SHALL BE PERFORMED BY SUEZ WATER.
8. FOR TAPS OFF MAINS SIXTEEN (16) INCHES AND LARGER, THE CONTRACTOR SHALL FURNISH AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATING WATER SOURCE, AND SPECIAL WRITTEN APPROVAL IS ISSUED BY THE JCMUA.
9. VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE CONTRACTOR. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL CURB VALVES/STOPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED CORPORATION VALVES/ STOPS SHALL BE USED AT THE TAP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER.
10. ALL SERVICE PIPES, SIZES 2-INCHES THROUGH 12-INCHES, SHALL BE PRESSURE CLASS 350 PSI, THICKNESS CLASS 54 CEMENT-LINED DUCTILE IRON PIPE WITH MECHANICAL JOINTS.
11. THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING, IF THE BUILDING LINE IS IN EXCESS OF 75 FT. FROM THE MAIN, THE APPLICANT SHALL PLACE THE METER IN A PIT NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP.
12. FOR A REGULAR FIRE SUPPRESSION SYSTEM, A COMBINED REDUCED PRESSURE DETECTOR ASSEMBLY (WATTS 909 RPD4) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTOR ON THE BYPASS (AMES 400SS OR WATTS 909*). ON THE LIMITED FIRE SUPPRESSION SYSTEM, A FIRE LINE DETECTOR CHECK WITH A SINGLE CHECK VALVE (AMES 1000DC4*) SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTOR (WATTS 909*) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS. ALL FIRE SERVICES MUST HAVE OS&Y VALVES INSTALLED. THE FIRE UNIT SHALL BE FURNISHED WITH A 5/8" INCH X INCH METERED BYPASS. BYPASS METERS SHALL BE JERSEY CITY STANDARD SINGLE DISPLACEMENT SENSUS METERS WITH TOUCHPAD AND RADIO READ CAPABILITIES. THE SAME RADIO MXU UNIT SHALL BE USED FOR A COMBINED DOMESTIC AND FIRE SERVICE.
13. FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTOR (AMES 400SSS OR WATTS 909*) IS REQUIRED WHEN THE JCMUA DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PRESENTS A THREAT TO THE CITY'S DISTRIBUTION SYSTEM WATER QUALITY IN ACCORDANCE WITH THE PLUMBING SUB CODE OF THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE, NAC 5:23-3.15 AND THE NEW JERSEY SAFE DRINKING WATER ACT NAC 7:10-10 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL BY CONTAMINANT. SOME SERVICES, WHICH REQUIRE SUCH DEVICES INCLUDE: A HOSPITAL, SCHOOL, CHEMICAL PLANT, FACTORY, AND A FACILITY WITH SEWAGE EJECTORS.
14. ALL METERS SIZES 2 INCHES THROUGH 6 INCHES SHALL BE SINGLE COMPOUND METERS AND ALL METERS 8 INCHES AND LARGER SHALL BE DUPLEX COMPOUND MANFOLD METERS.
15. ALL METERS SHALL BE ADEQUATELY RESTRAINED WITH METAL BRACKETS FASTENED TO THE FLOOR OR WALL OR OTHER APPROVED MEANS SUCH AS UNFLANGES WHERE INTERNAL PIPE PRESSURE AND FLOW WARRANT SUCH RESTRAINTS. METERS, DETECTOR CHECKS, AND VALVES MAY BE SEATED ON CONCRETE BLOCK AND TAPERED SHAG TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 36" ABOVE FLOOR GRADE.
16. ALL METER INSTALLATIONS IN METER PIT OR VAULT SHALL BE PRE-APPROVED BY JCMUA AND HAVE PROPER ACCESS OPENINGS FOR METER READING AND REPLACEMENT.
17. EACH COMPOUND METER SHALL HAVE STRAINER INSTALLED ON THE INLET SIDE IMMEDIATELY BEFORE THE METER. ALL STRAINERS MUST BE PURCHASED FROM JCMUA OR ITS AUTHORIZED AGENT.
18. ALL METERS 2" AND LARGER SHALL BE FURNISHED WITH SENSUS ECR/MP REMOTE TOUCH PAD MODULES AND RADIO MXU UNITS FOR BOTH TYPES OF READING CAPABILITIES.
19. REMOTE TOUCH PAD MODULE WIRE SHALL BE CONNECTED TO THE METER REGISTER UTILIZING A GEL CAP FOR WATERTIGHT SEALING OF ALL TERMINAL CONNECTIONS. TOUCH PADS MAY BE WALL MOUNTED OR LID MOUNTED WHERE A METER PIT IS UTILIZED. TOUCH PADS ARE TO BE INSTALLED ON EXTERIOR BUILDING WALL FACING THE STREET AND LOCATED AS CLOSE AS POSSIBLE TO STREET. THE RADIO MXU UNIT MUST BE INSTALLED WITH MOUNTING BRACKET AND LIKEWISE IS TO BE INSTALLED IN PROXIMITY TO STREET.
20. ALL INSTALLATIONS OF EQUIPMENT AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
21. ALL METERS INCLUDING TOUCH PAD MODULES, AND RADIO MXU UNITS SHALL BE PURCHASED THROUGH THE PERMIT CLERK AT JCMUA OFFICE. APPROVED PLANS MUST BE SUBMITTED TO THE PERMIT CLERK FOR ISSUANCE OF REQUIRED PERMITS.
22. AFTER OBTAINING THE REQUIRED PERMITS (STREET OPENING, TAP, AND METER) THE APPLICANT SHALL CALL JCMUA AT (201) 239-1108 TO SCHEDULE THE TAP. THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED TAP, AND VERIFIED BY JCMUA OR ITS AUTHORIZED AGENT BEFORE THE TAP WILL BE INSTALLED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS FOR SHEETING AND SAFETY.
23. UPON COMPLETION OF THE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS, TO THE

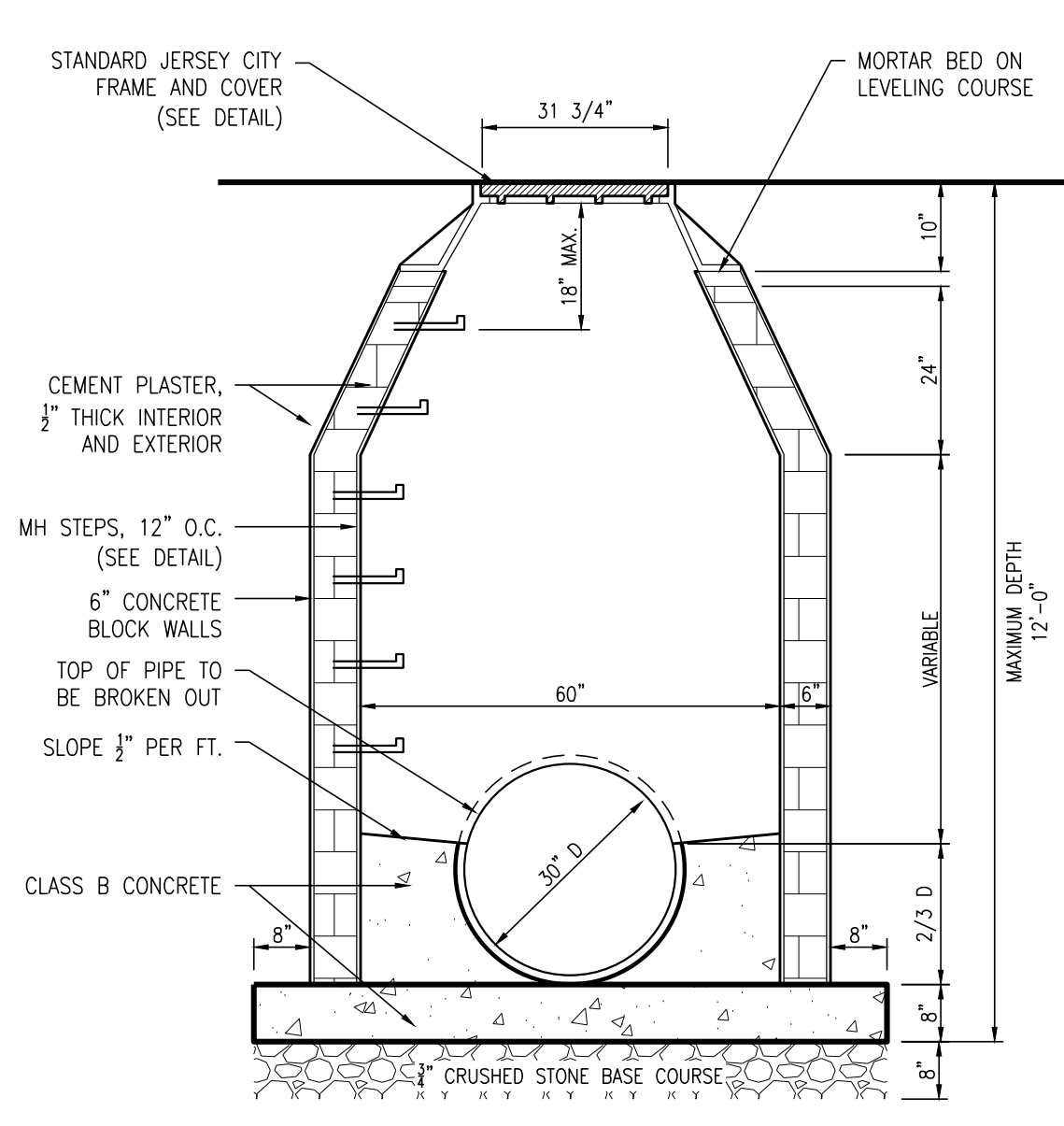


SECTION

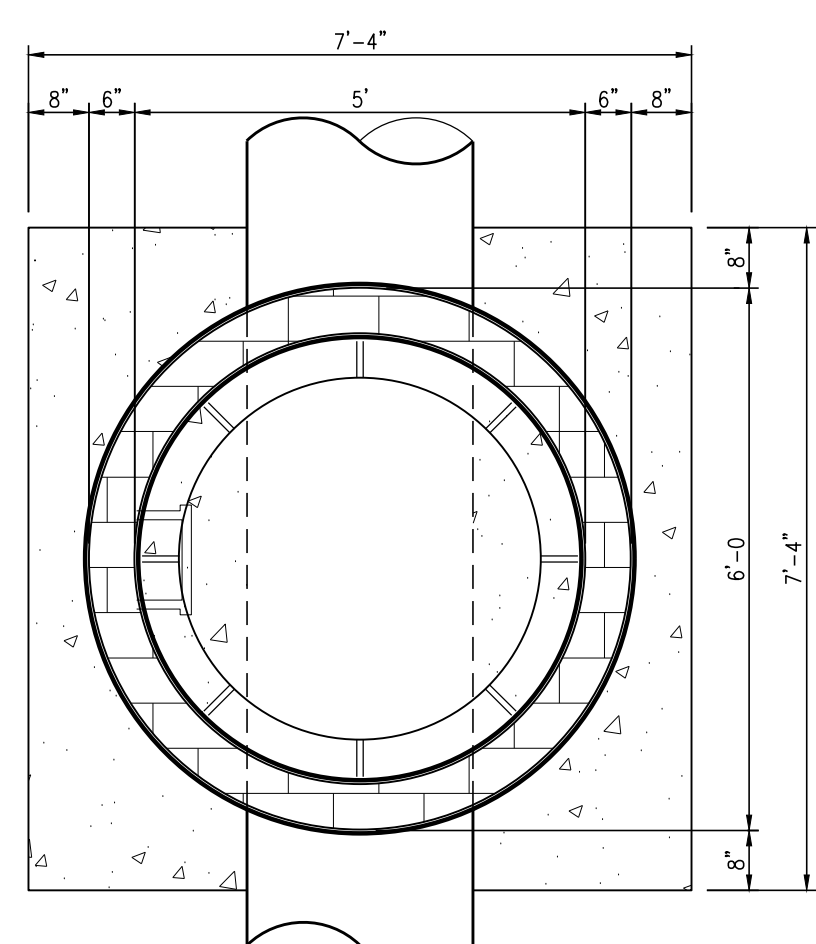


PLAN
COVER REMOVED

48' DIAMETER CONCRETE BLOCK MANHOLE
N.T.S.



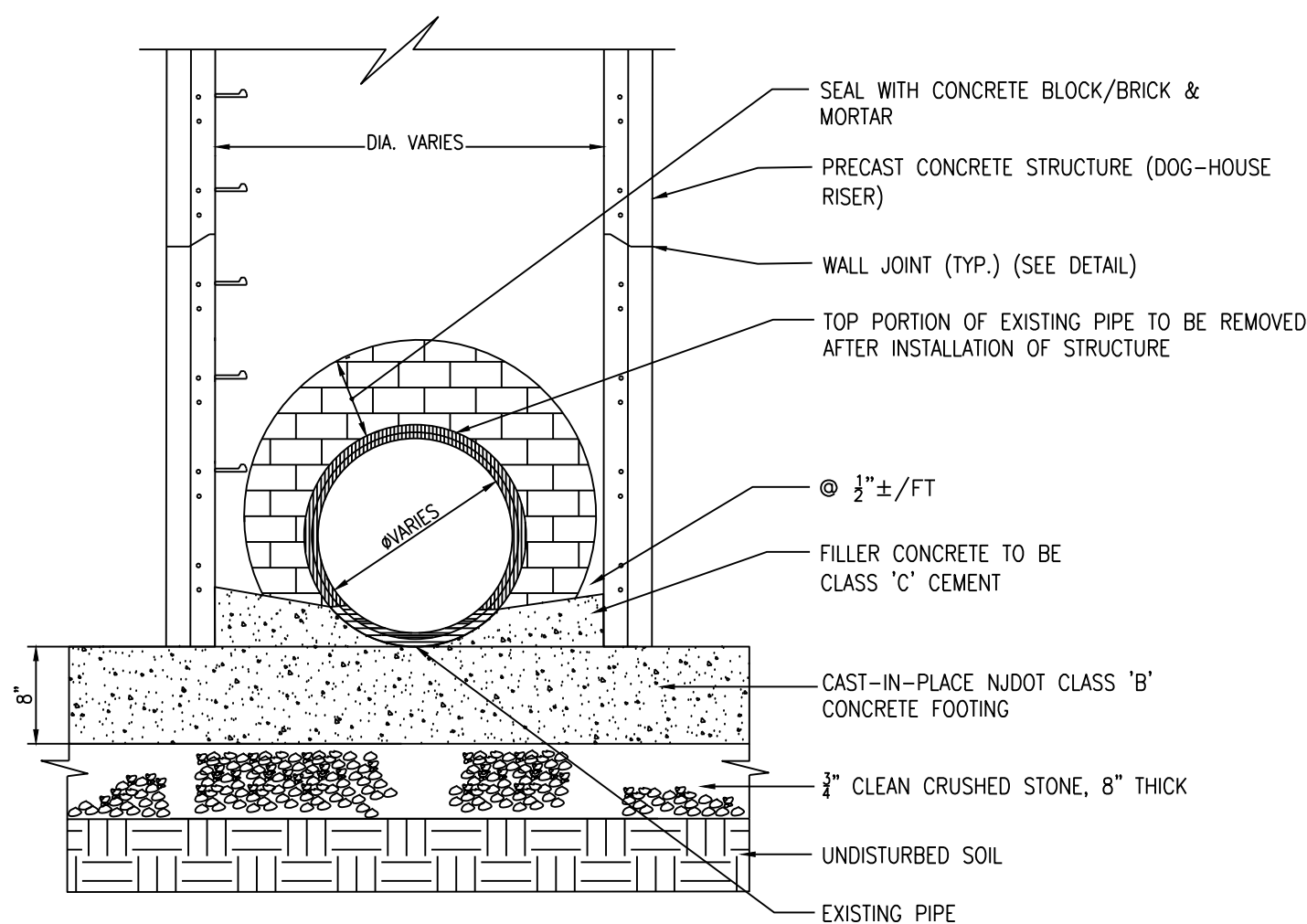
SECTION



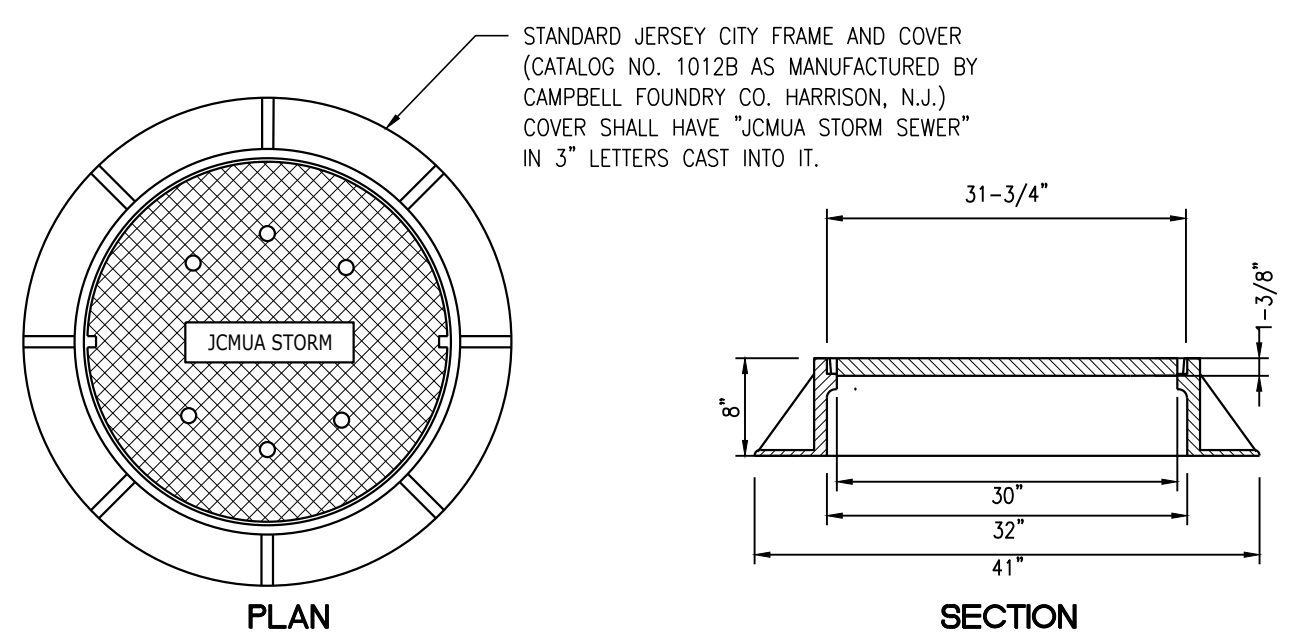
PLAN
COVER REMOVED

60' DIAMETER CONCRETE BLOCK MANHOLE
N.T.S.

- NOTES FOR DRAINAGE STRUCTURES
1. PRECAST MANHOLES SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C-478. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4,000 PSI IN 28 DAYS.
 2. CONCRETE BLOCK/BRICK SHALL BE PLACED ACCORDING TO NJDOT STANDARD SPEC. SECTION 603. JOINTS SHALL BE STAGGERED. A 1/2\"/>



PRECAST DOGHOUSE MANHOLE DETAIL
N.T.S.

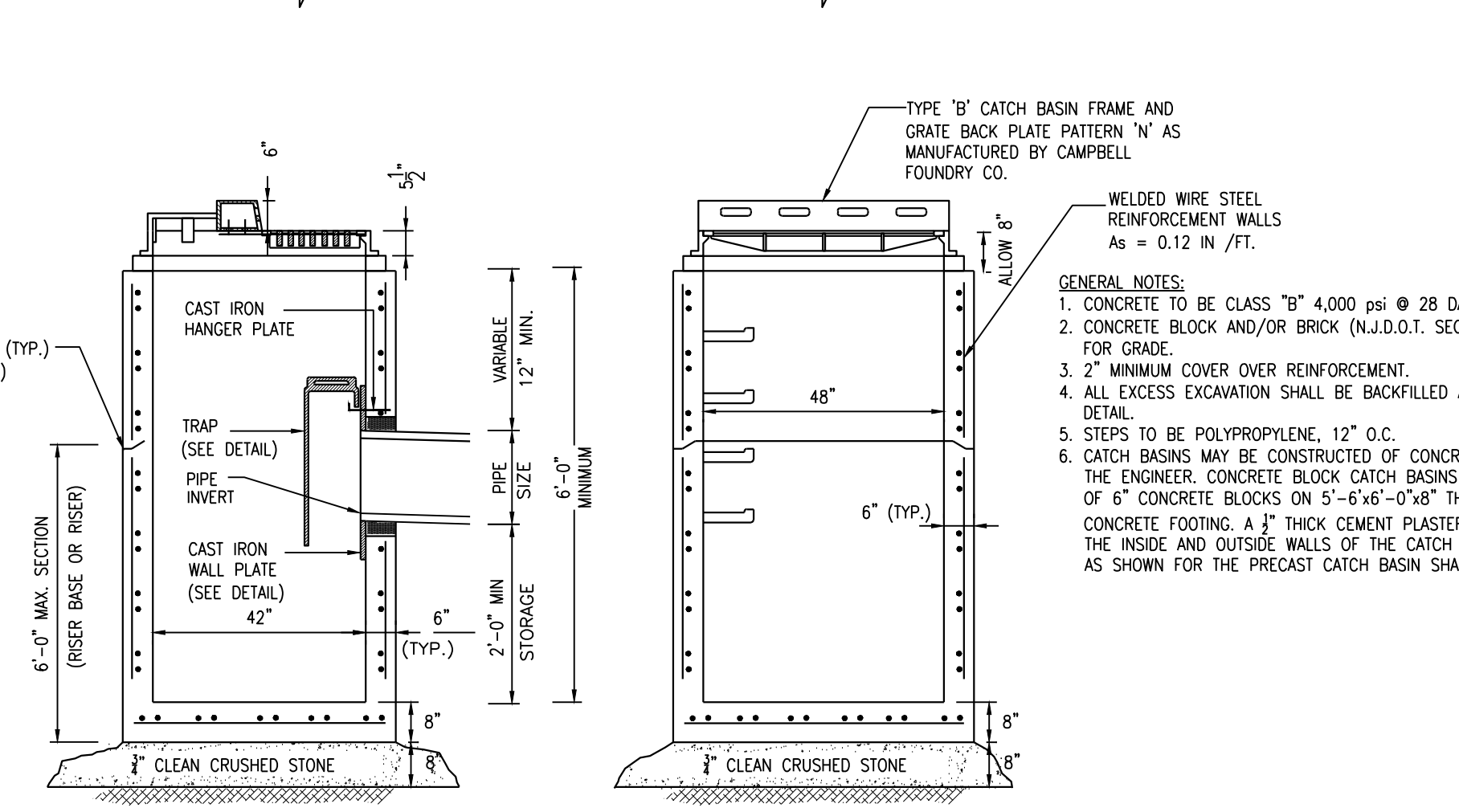
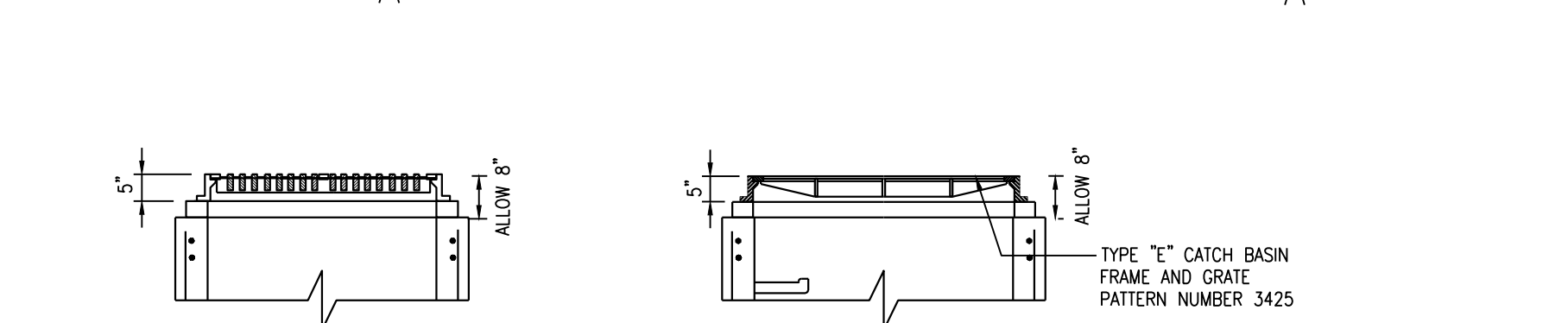
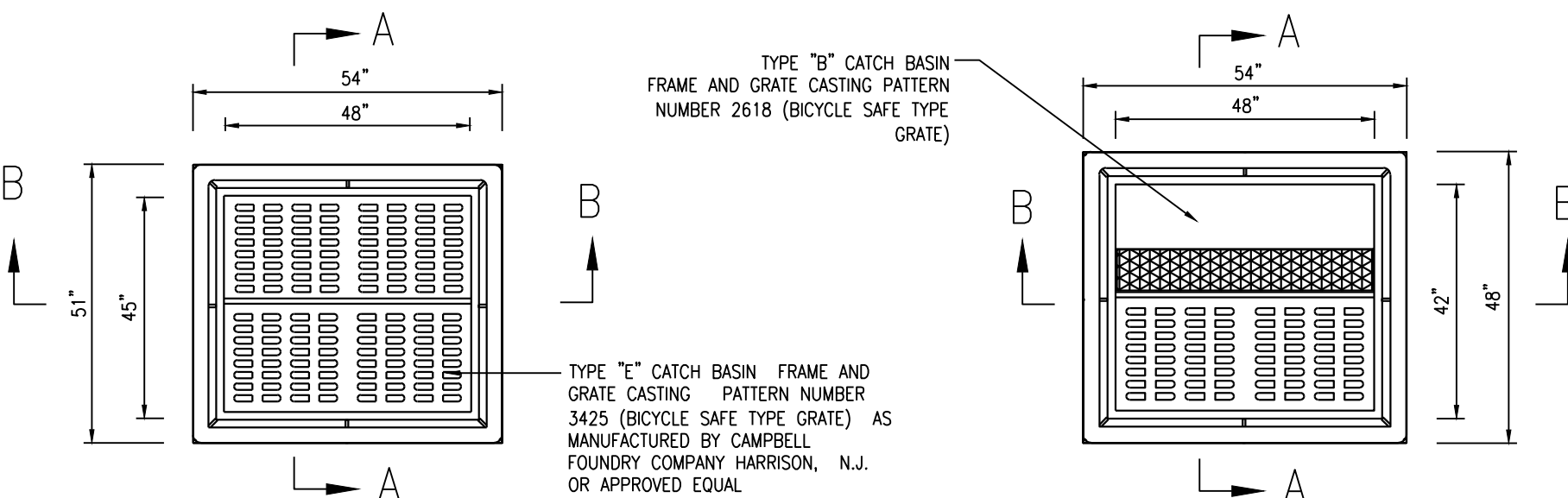


PLAN

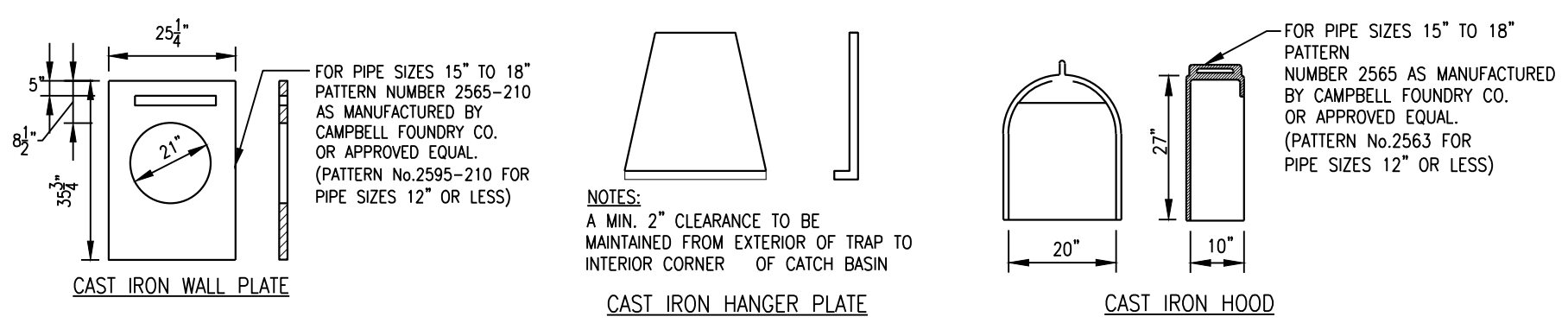
SECTION

NOTES:

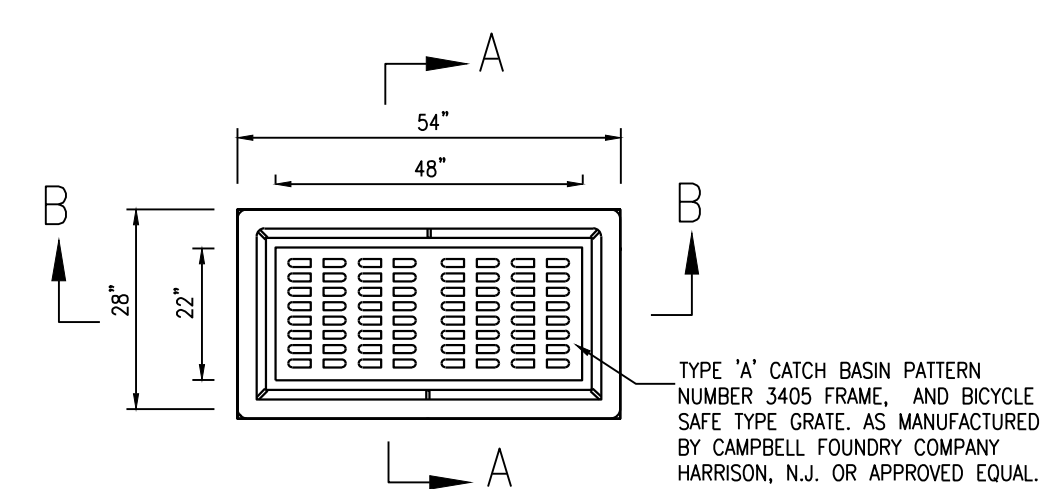
1. MATERIAL: GRAY CAST IRON, ASTM A48-B3, CLASS 30B.
2. ASHFTD HS20-44 HIGHWAY LOADING.
3. BEARING SURFACE AT SEAT OF COVER AND FRAME SHALL BE MACHINED FOR UNIFORM FIT.
4. COVER SHALL HAVE 2 NON-PENETRATING PICK HOLES 180 DEGREES APART, AND SIX 1/2\"/>



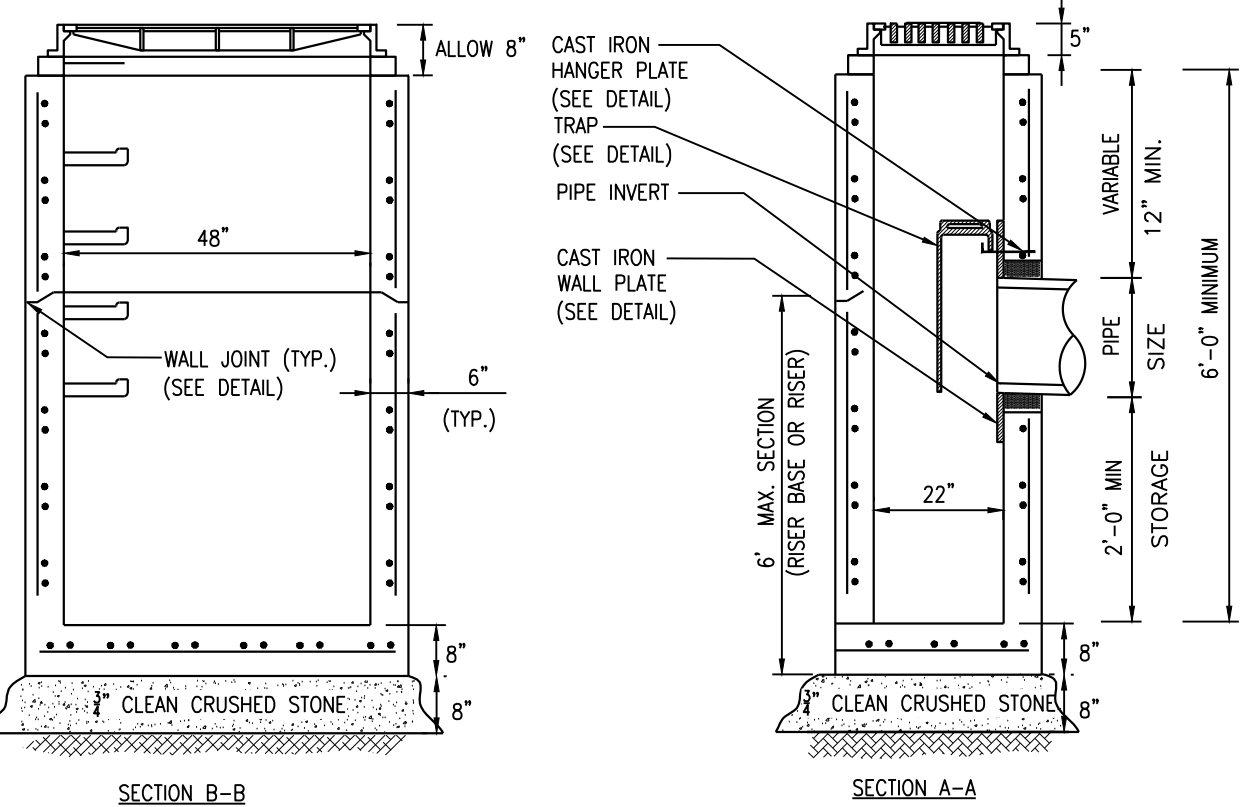
TYPE 'B' AND 'E' INLETS
N.T.S.



CATCH BASIN TRAP DETAIL
N.T.S.

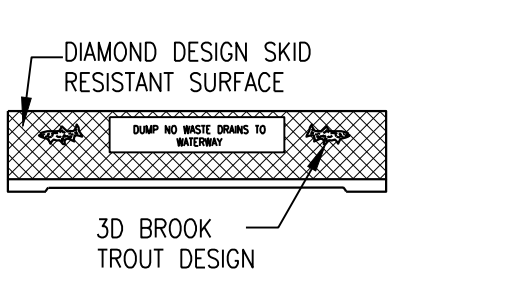
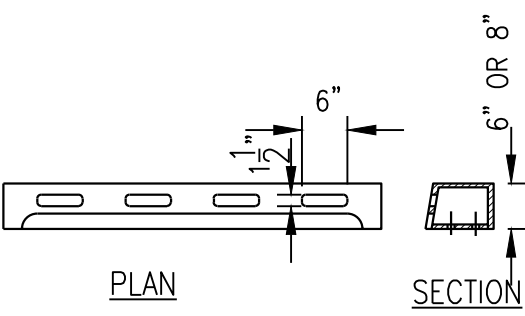


TYPE 'A' INLET
N.T.S.

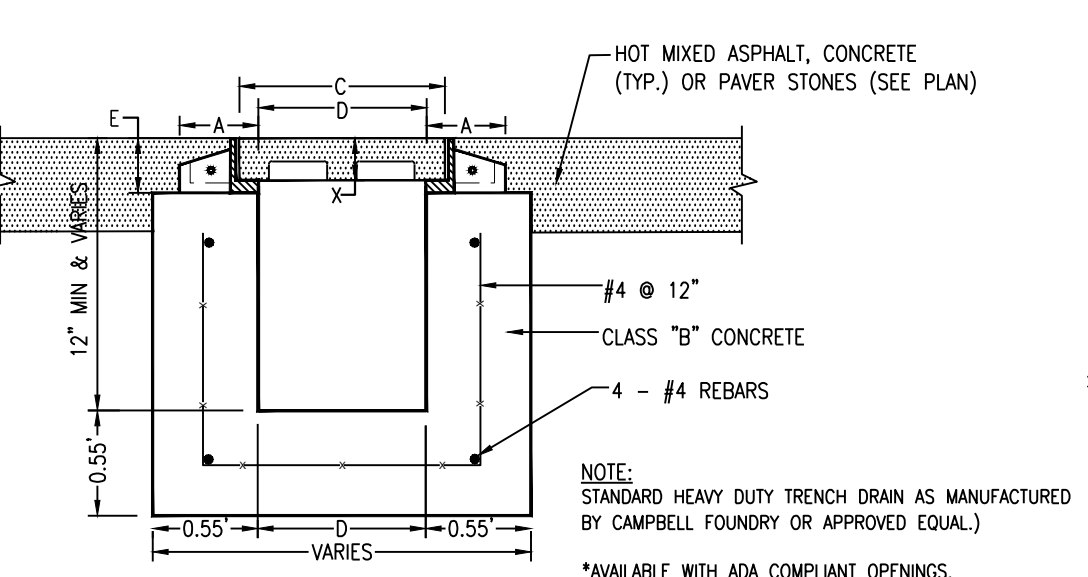


TYPE 'A' INLET
N.T.S.

STORM SEWER MANHOLE CASTING
N.T.S.

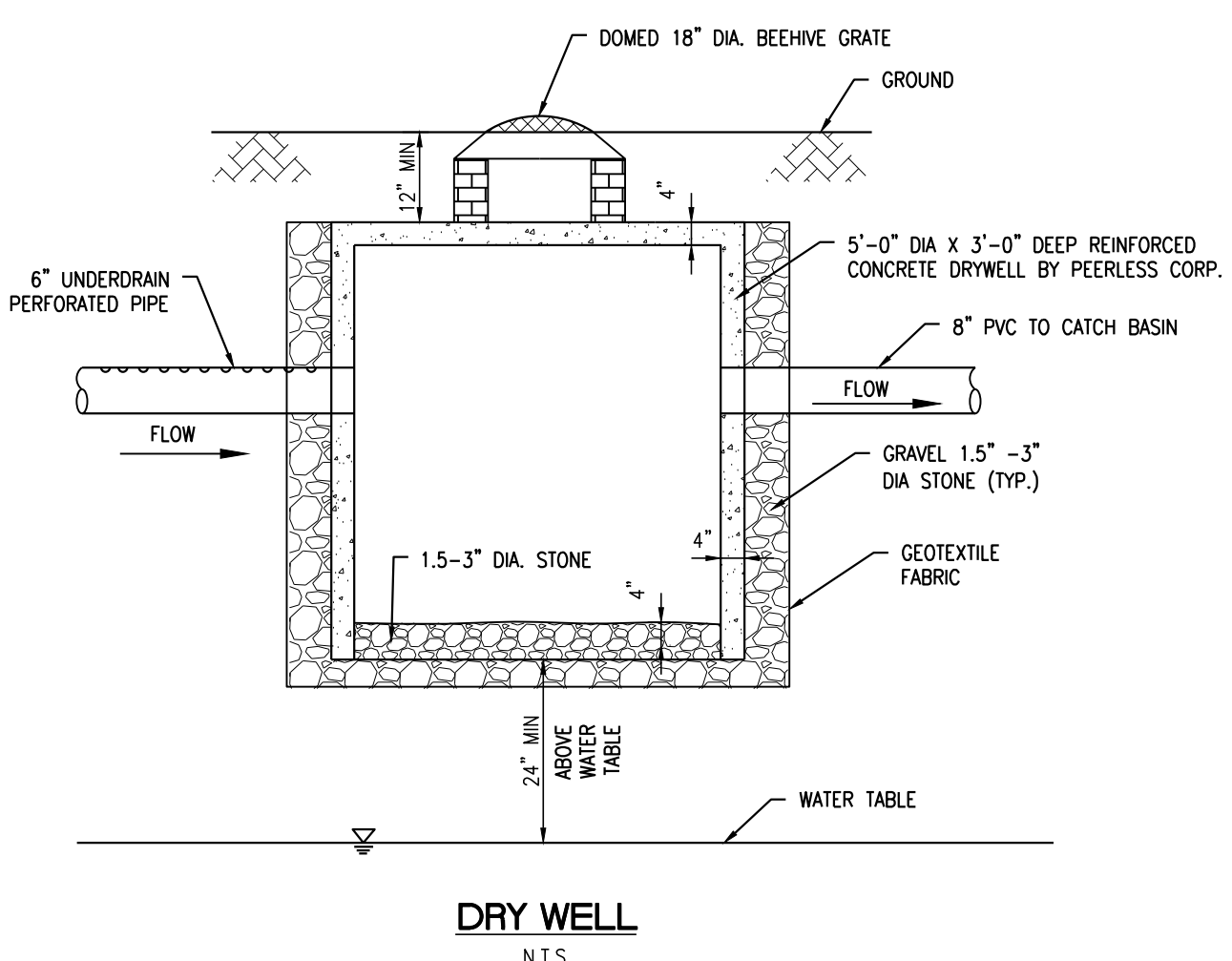


CURB PIECE TYPE N-ECO
SOURCE: JERSEY CITY STANDARD DETAIL
N.T.S.

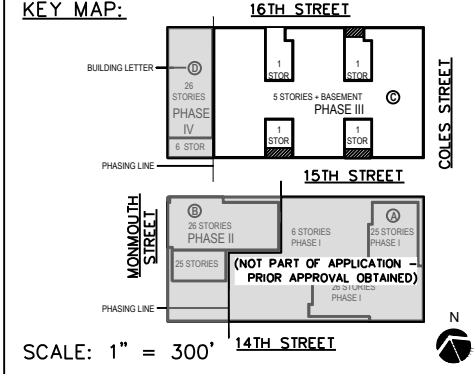


TRENCH DRAIN
N.T.S.

PATTERN NUMBER		DIMENSIONS IN INCHES					
COVER	GRATE	A	C	D	E	X	
4500	4525 *	3 3/4	7 1/2	6	2 1/2	2	
4500A	4525 A *	3 3/4	9 1/2	8	2 1/2	2	
4501	4526	3 3/4	11 1/2	10	2 1/2	2	
* 4501A	4526 A *	3 3/4	14	12	2 1/2	2	
4501B	4526 B	3 3/4	15 1/2	14	2 1/2	2	
4501C	4526 C	3 3/4	17 1/2	16	2 1/2	2	
4504	4529	5	25 1/2	24	4	2 1/2	



DRY WELL
N.T.S.



SCALE:

AS SHOWN

DRAWN BY: HJD
CHECKED BY: JDR



ISSUES:		ISSUES:		ISSUES:	
NO.	DESCRIPTIONS	DATE	NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22	21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
32	EMERSON PHASE II - REDLINE	04.26.22	22	UPDATED PHASE I PER ARCHITECTS	08.12.21
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22	23	REVISED RUMPOUT WIDTH AT 15TH STREET	08.25.21
34	EMERSON PHASE II - BUILDING PERMIT SUBMISSION	07.12.22	24	ADDED CONCRETE ADA RAMPS	09.13.21
35	EMERSON COMPLEX - LIGHTING PLAN UPDATE	12.06.22	25	UPDATED LIGHTING	11.03.21
36	PHASE II - GAS & TELECOM LATERAL UPDATE	03.13.23	26	PH II - BUILDING PERMIT	11.16.21
37	PHASE II - REDLINE UPDATE	04.26.23	27	PH II GRABE - UPDATE	01.04.22
38	PHASE II - REDLINE UPDATE	07.17.23	28	REVISED 14TH STREET	01.05.22
39	PHASE II - ENTRANCE STAIR ELEVATION UPDATE	08.29.23	29	REVISED 14TH ST SOUTH COURB: PER AS-BUILT COND.	01.28.22
40	PHASE II - SITE PLAN AMENDMENT SUBMISSION	09.18.23	30	REVISED PH II GRADES	01.29.22

PROJECT:

EMERSON LOFTS

PHASE III

BLOCK 6903,

LOTS 3.04

255-259 COLES STREET,

JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:

STORM SEWER DETAILS

DRAWING NUMBER:

C-95

DATE:

2023.11.28

11:09:05-05:00'

34

36



300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 24GA28287900

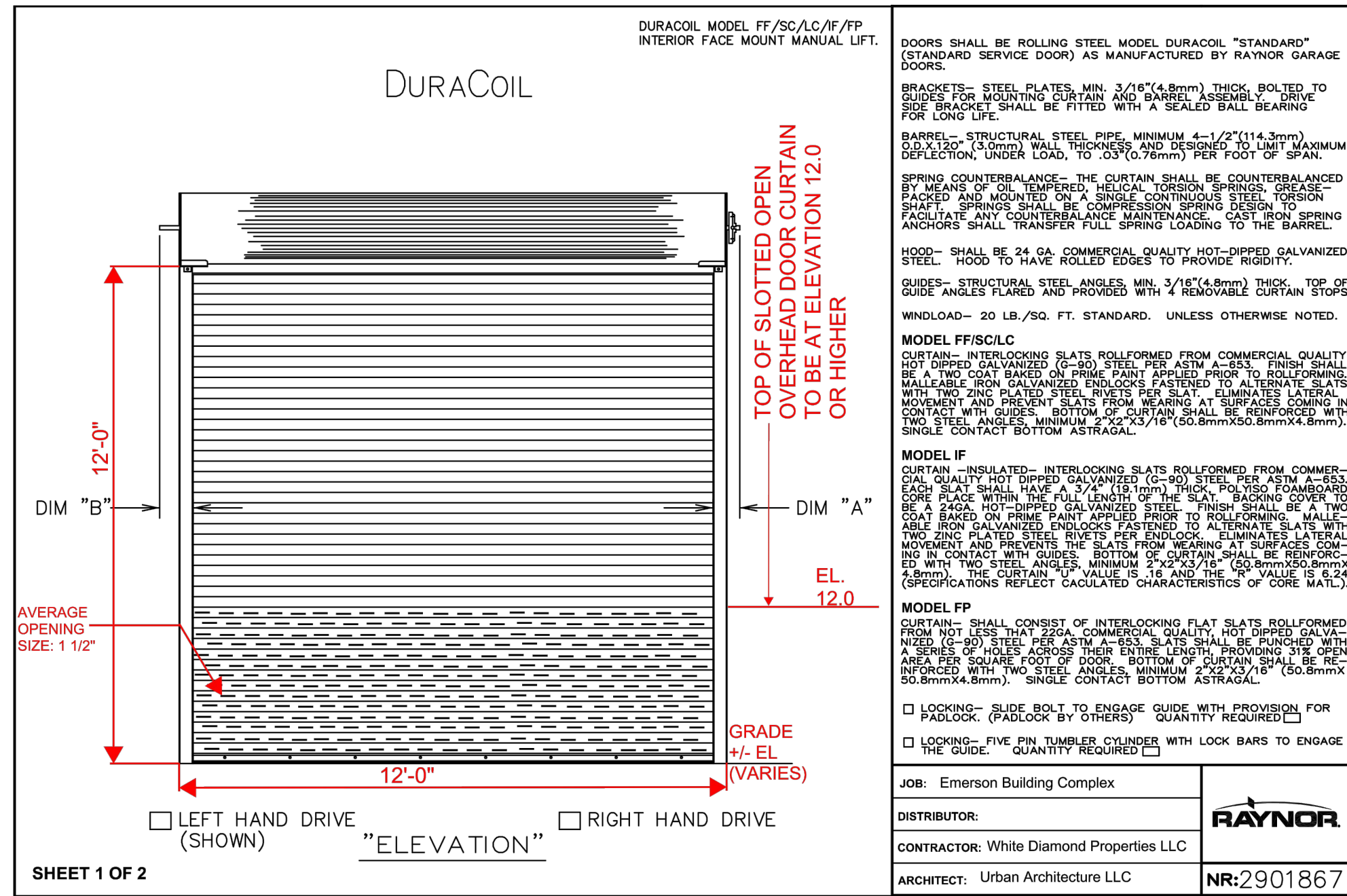
JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 243EO40357

by Jeffrey
Reeves
Date:
2023.11.28
11:10:29-05'00'

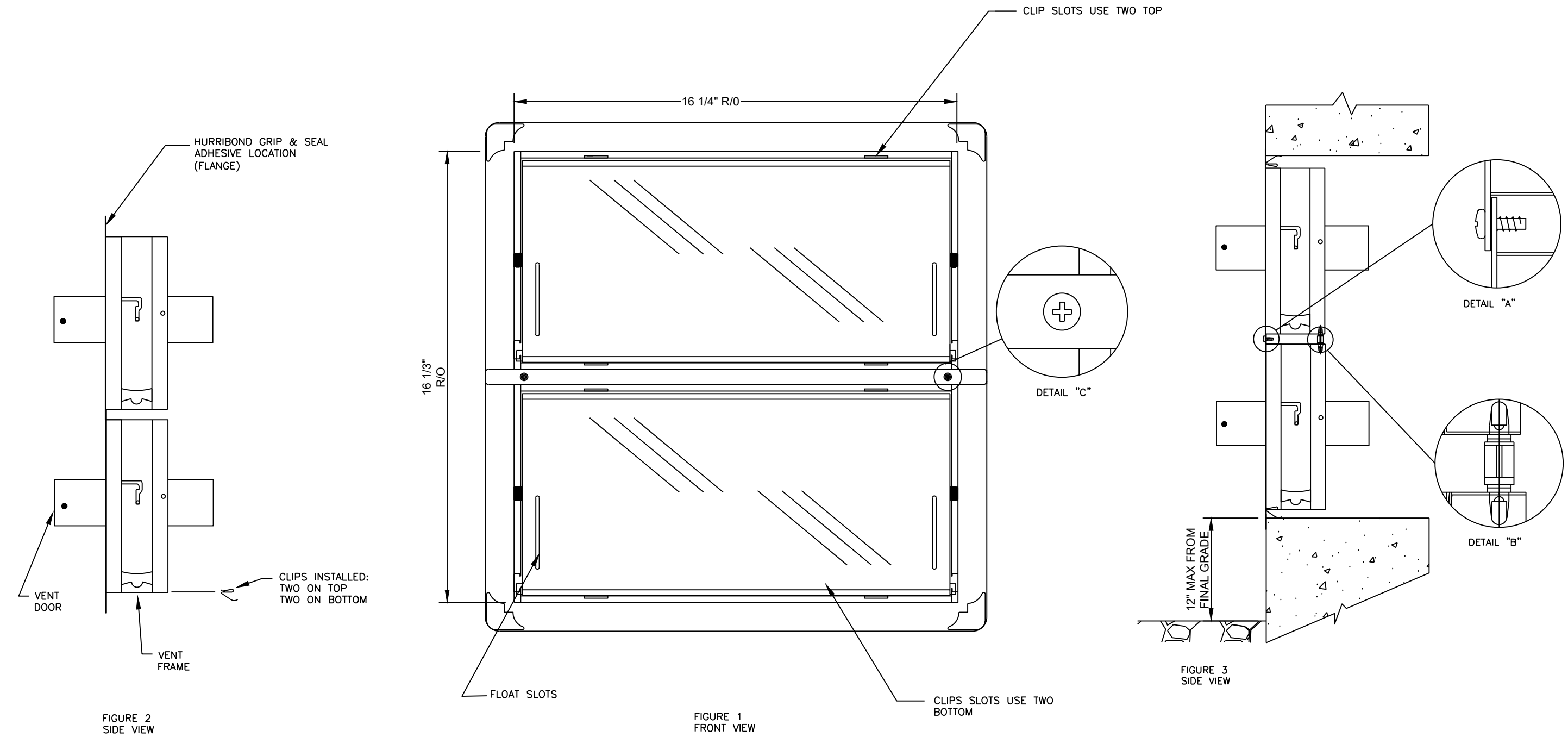


NOTES:

- GARAGE DOORS SHALL BE AS MANUFACTURED BY RAYNOR GARAGE DOORS.
- OPEN CURTAIN TO BE PROVIDED ON OVERHEAD STEEL DOORS WITH MINIMUM 50% OPENING UP TO ELEVATION 12.0.



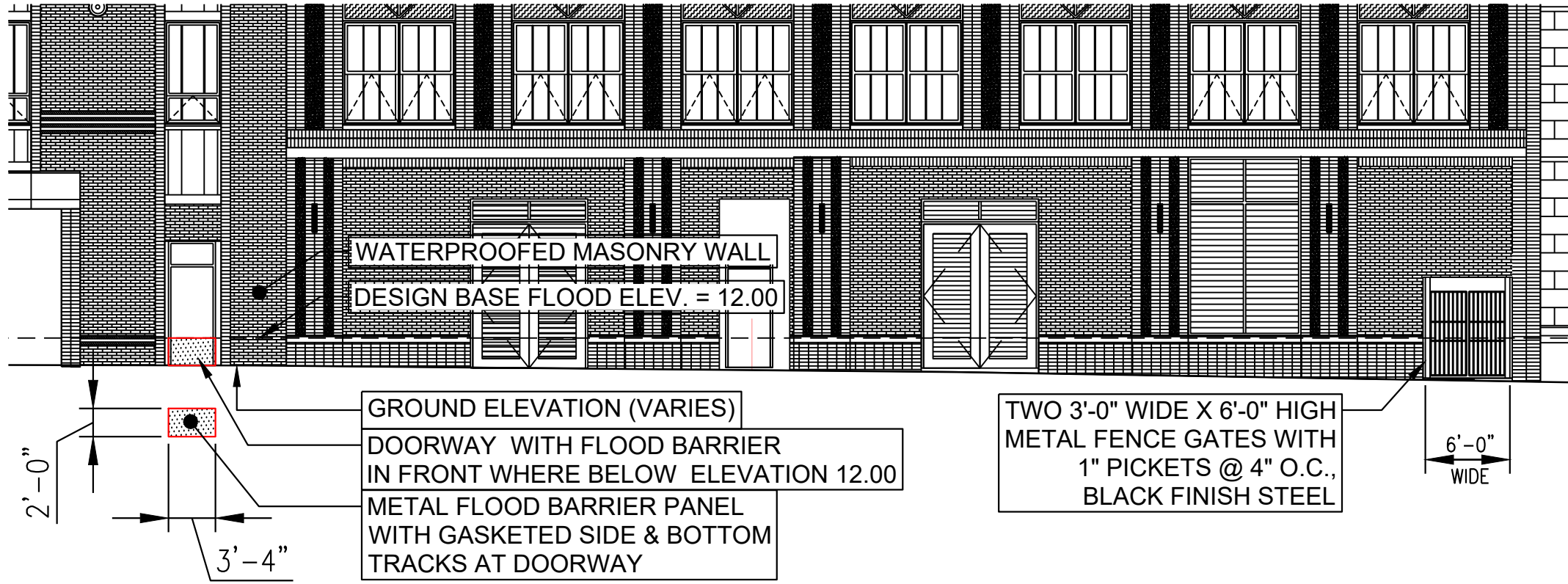
GARAGE DOOR DETAIL
DETAIL B
N.T.S.



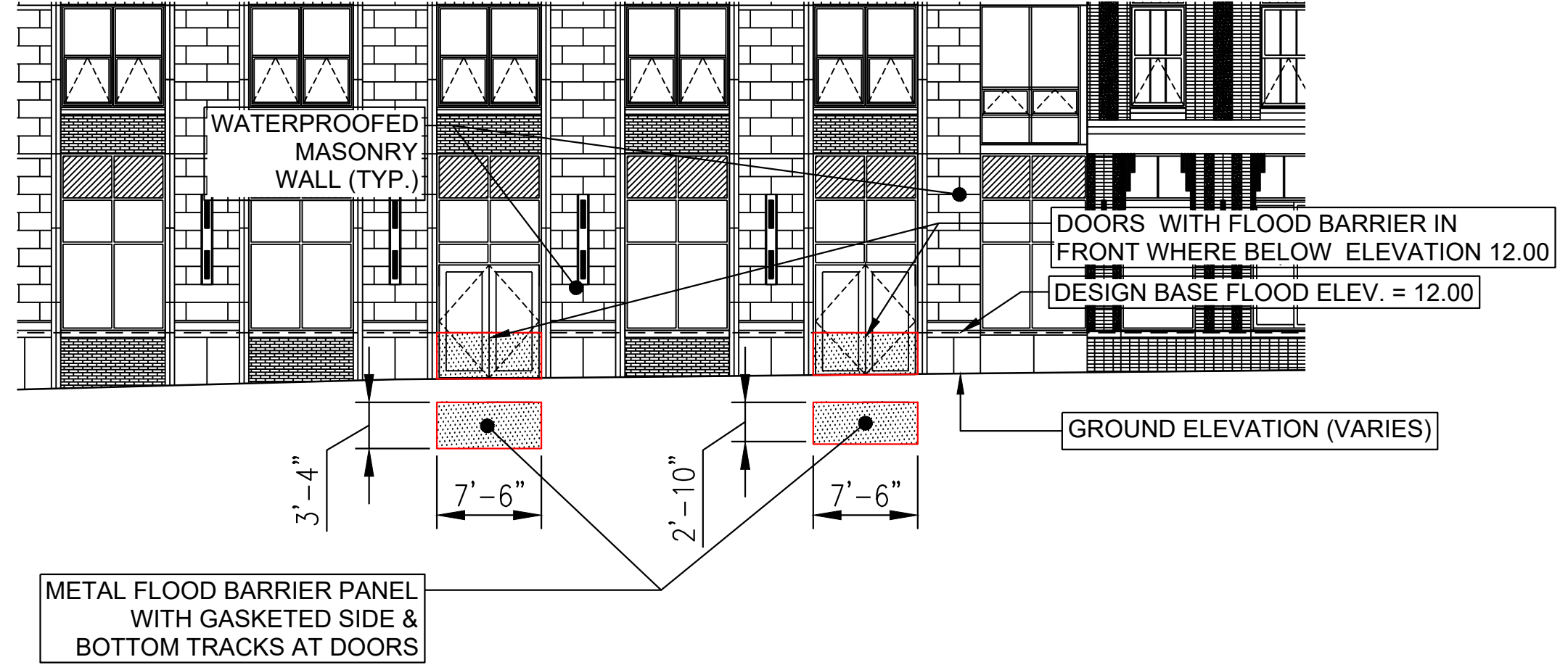
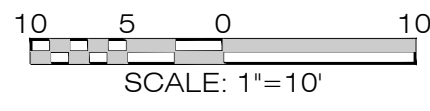
NOTES:

- SMART VENTS AS MANUFACTURED BY:
SMART VENT FOUNDATION FLOOD VENTS
430 ANDERBRO DRIVE
UNIT 1
PITMAN, NJ 08071
- MODEL NOS. 1540-520, 1540-521,
1540-530, 1540-531-12 AND
1540-524 TO BE USED AS SPECIFIED BY
ENGINEER.

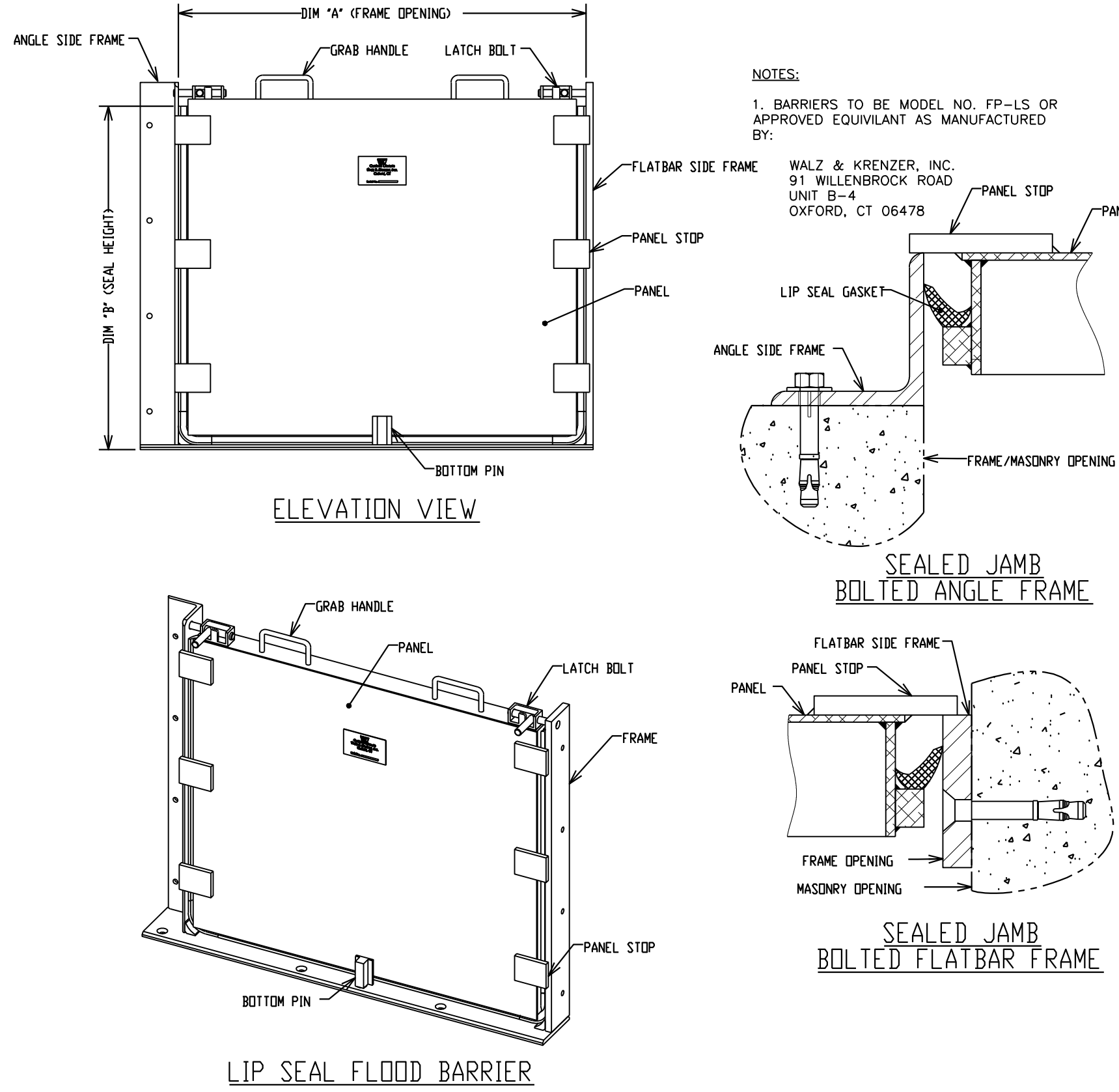
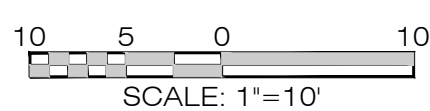
SMART VENT DETAIL
DETAIL D
N.T.S.



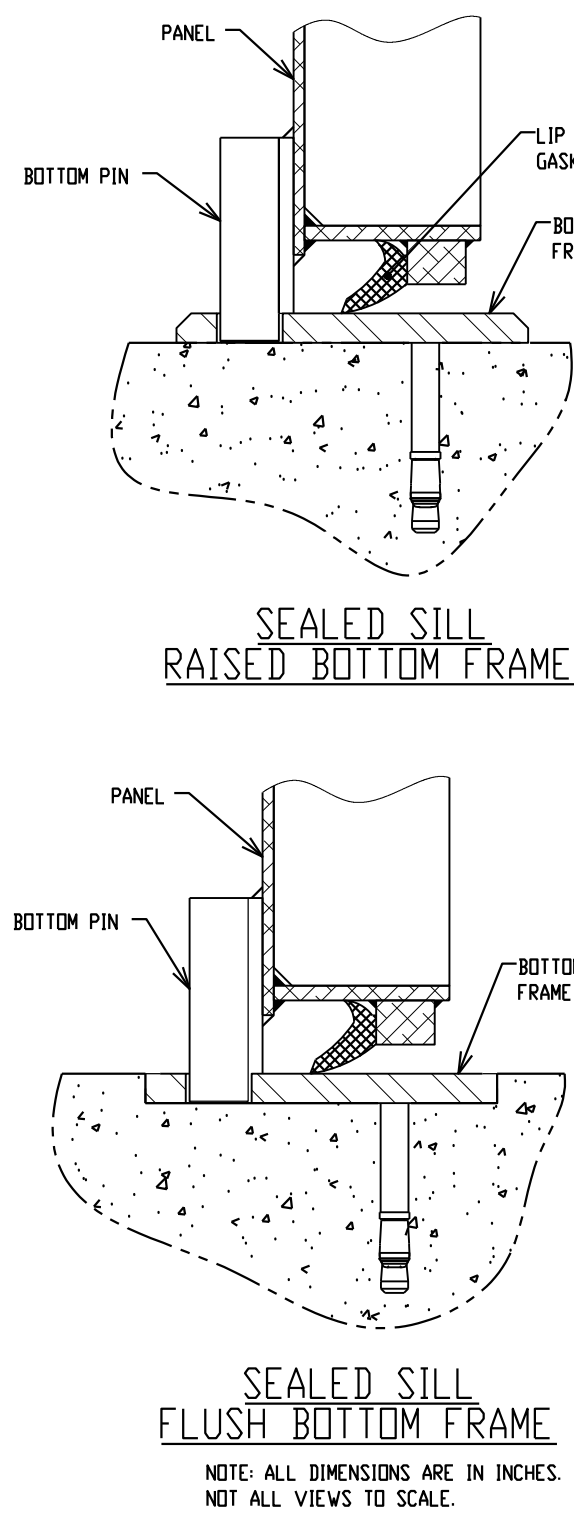
FLOOD CONTROL ELEVATION DRAWING: 14TH STREET



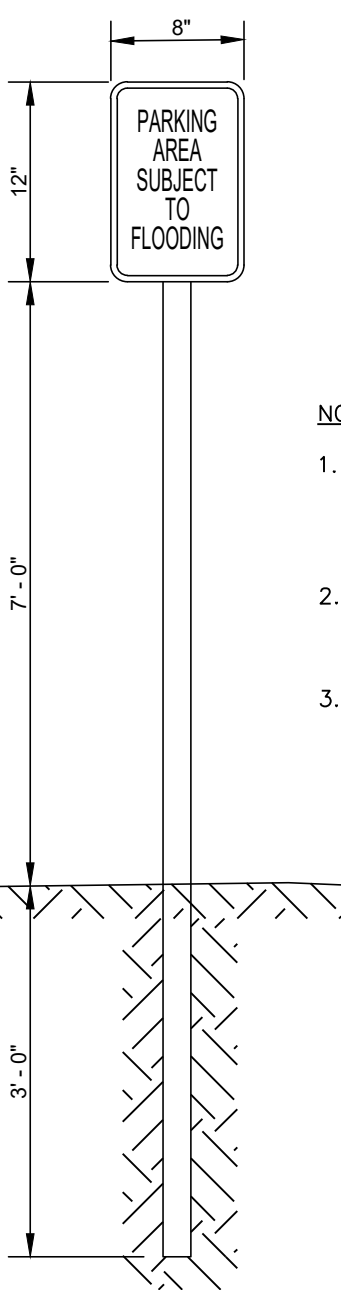
FLOOD CONTROL ELEVATION DRAWING: COLES STREET



FLOOD CONTROL BARRIER DETAILS
DETAIL A
N.T.S.

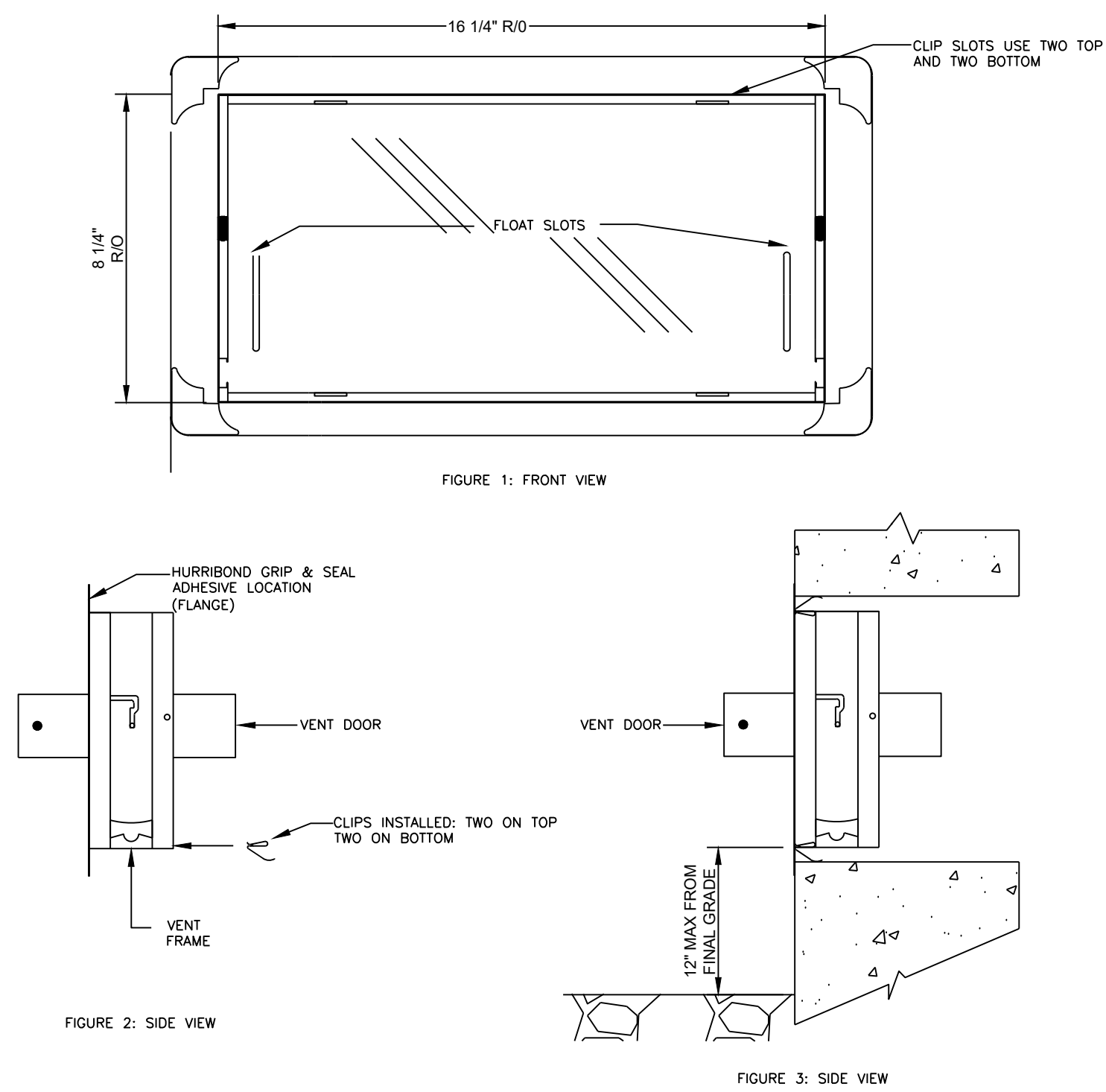


FLOOD 'SIGN A' DETAIL
N.T.S.



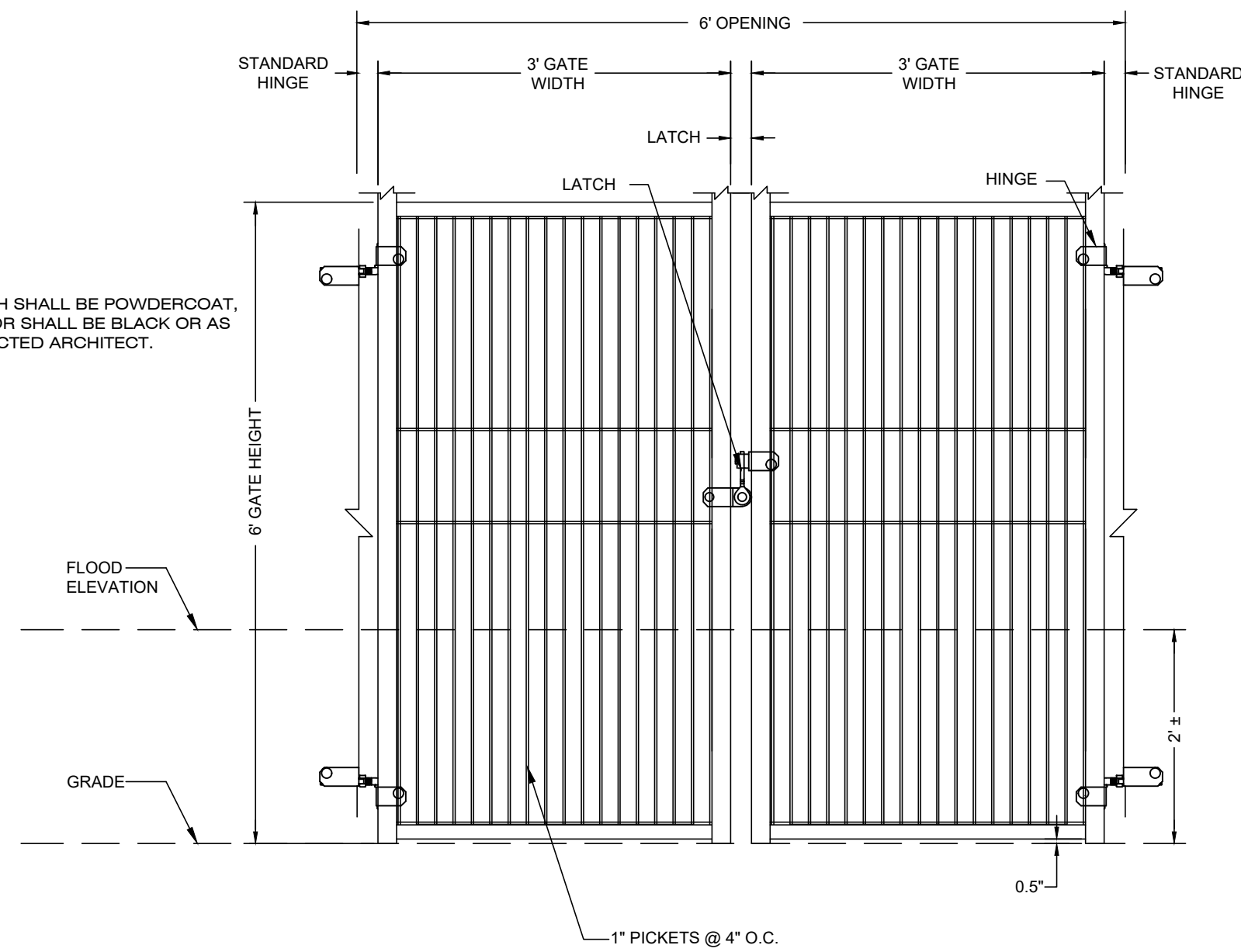
NOTES:

- ALL SIGNS TO CONFORM WITH FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- INSTALL UNDER "NO PARKING" SIGN IN PLACES WITH EXISTING SIGN POLES
- FOR SIGN LOCATIONS SEE SITE PLAN, SHEET C-120.



NOTES:

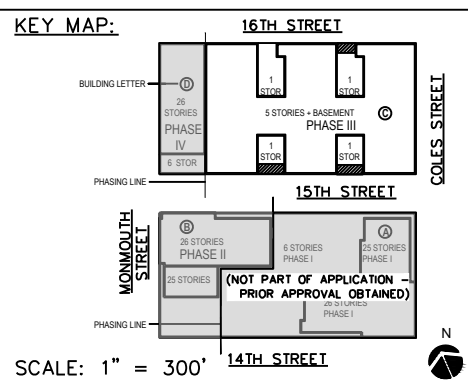
- FINISH SHALL BE POWDERCOAT, COLOR SHALL BE BLACK OR AS SELECTED ARCHITECT.



METAL GATE FENCE AT 14TH STREET
DETAIL C
N.T.S.

FLOOD CALCULATION:

- REQUIREMENTS
- NJDEP REQUIREMENT:
1 SQ. IN. OPENINGS/ 1 SF FLOODED AREA
- AREA OF INUNDATION OF RAMP:
6' WIDE X 40' LONG = 240 SF = 240 SQ. IN. OF OPENINGS
- AREA OF GATE REQUIRED TO HAVE OPENINGS:
2' HIGH X 6' WIDE = 12 SF
- AS SHOWN
- OPENINGS PER SF:
144 SQ. IN. SF = 36 SQ. IN. OF METAL PICKETS = 108 SQ. IN.
- AREA OF OPENINGS IN FENCE:
108 SQ. IN. X 12 SF = 1296 SQ. IN.
- 1296 SQ. IN. > 240 SQ. IN. (REQUIRED)
- ∴ DESIGN IS ADEQUATE



SCALE:

AS SHOWN

DRAWN BY:

CHECKED BY:

HJD

JDR

Urban
architecture llc

300 Coles Street, Suite 2 | Jersey City, New Jersey 07310 | T 201.656.0314
Certificate of Authorization # 246A28287900

ISSUES:

NO.	DESCRIPTIONS	DATE
31	UPDATED UTILITY LAYOUT	03.14.22
32	EMERSON PHASE II, RED LINE	04.26.22
33	UPDATED GROUND FLOOR BUILDING LAYOUT	05.14.22
34	EMERSON PHASE II, BUILDING PERMIT SUBMISSION	07.12.22
35	EMERSON COMPLEX, LIGHTING PLAN UPDATE	12.06.22
36	PHASE II, GAS & TELECOM LAYOUT UPDATE	03.13.23
37	PHASE II, REDLINE UPDATE	04.26.23
38	PHASE II, REDLINE UPDATE	07.17.23
39	PHASE II, ENTRANCE STAIR ELEVATION UPDATE	08.29.23
40	PHASE II, SITE PLAN AMENDMENT SUBMISSION	09.18.23

ISSUES:

NO.	DESCRIPTIONS	DATE
21	REVISED STORM PIPE MATERIALS PER AVAILABILITY	06.30.21
22	REVISED PHASE I PER ARCHITECTS	08.12.21
23	REVISED RUMPOUT WIDTH AT 15TH STREET	08.26.21
24	ADDED CONCRETE ADA RAMPS	09.13.21
25	UPDATED LIGHTING	11.03.21
26	PHASE II, BUILDING PERMIT	11.16.21
27	PH II GRAB - UPDATE	01.04.22
28	REVISED 14TH STREET	01.05.22
29	REVISED 14TH ST SOUTH COURSE PER AS-BUILT COND.	01.28.22
30	REVISED PH II GRADES	01.29.22

ISSUES:

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30	REVISED PH II GRADES	01.29.22

JEFFREY D. REEVES
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 24624040870
2023.11.28
11:11:11-05:00

PROJECT:

EMERSON LOFTS
PHASE III
BLOCK 6903,
LOTS 3.04
255-259 COLES STREET,
JERSEY CITY, HUDSON COUNTY, NJ

DRAWING TITLE:

FLOOD CONTROL DETAILS

DRAWING NUMBER:

C-98

36

36