

483 DR. MARTIN LUTHER KING DRIVE
JERSEY CITY, NJ

BLOCK: 19501 LOT: 26
PROPOSED 4 STORY MIXED USE BUILDING
W/ 3 DWELLING UNITS & GROUND FLOOR COMMERCIAL

ZONING & BUILDING DATA

USE GROUP CLASSIFICATION

MIXED USE BUILDING: R-2 MULTI-FAMILY RESIDENTIAL
B BUSINESS

CONSTRUCTION CLASSIFICATION

RESIDENTIAL: TYPE V(A): PROTECTED COMBUSTIBLE

GENERAL BUILDING AREA

	NET	GROSS	FL. TO CLG. HT.	ZONING REQ.
FIRST FLOOR	576 SF	694 SF	11.0' (CLG.)	10' MIN.- 14'-0" MAX.
SECOND FLOOR	551SF	694 SF	10.0' (CLG.)	9'-0" MIN.
THIRD FLOOR	643 SF	694 SF	10.0' (CLG.)	9'-0" MIN.
FOURTH FLOOR .	184 SF	198 SF	10.0' (CLG.)	9'-0" MIN.
TOTAL	1,954 SF	2,280 SF		

MEANS OF EGRESS

BUILDING OCCUPANT LOAD	OCCUPANT LOAD
RESIDENTIAL (1,887 SF GROSS/200 SF (table 1004.1.2)	9.4
COMMERCIAL (375+293 (CELLAR) SF GROSS/60 SF (table 1004.1.2)	11.2
TOTAL OCCUPANT LOAD:	20.6

OCCUPANCY PER FLOOR	
CELLAR - COMMERCIAL (293 SF GROSS/60 SF)	4.9 PER FLOOR
1ST FLOOR - COMM(375 SF GROSS/60 SF) + RES. (301 SF GROSS/200 SF)	7.8 PER FLOOR
2ND FLOOR - RESIDENTIAL (694 SF GROSS/200 SF)	3.5 PER FLOOR
3RD FLOOR - RESIDENTIAL (694 SF GROSS/200 SF)	3.5 PER FLOOR
4TH FLOOR - RESIDENTIAL (198 SF GROSS/200 SF)	1.0 PER FLOOR

	REQUIRED	PROVIDED
NUMBER OF EXITS PER FLOOR (TABLE 1006.3.2(1))		
ALL FLOORS	1	1
LENGTH OF EXIT ACCESS TRAVEL (TABLE 1006.3.2(1))		
ALL FLOORS W/ SPRINKLER SYSTEM (903.3.1.1)	125' MAXIMUM	64'-2" MAX.
MINIMUM CORRIDOR WIDTH (TABLE 1020.2)		
ALL FLOORS	36"	MIN. 36"
MINIMUM STAIRWAY WIDTH (SECTION 1011.2)		
ALL STAIRS	36"	MIN. 36"
MINIMUM WIDTH OF EGRESS DOORS (SECTION 1010.1.1)	32" CLEAR	36" CLEAR

INTERIOR ENVIRONMENT (DWELLING UNITS)

	REQUIRED	PROVIDED
CEILING HEIGHTS (ALL SPACES)	7'-6" MIN.	10'-0"
SOUND TRANSMISSION CONTROL UNIT SEPARATIONS - FLOORS/CEILINGS	50 STC MIN. (45 IF FIELD TESTED)	STC 54
UNIT SEPARATIONS - WALLS	50 STC MIN. (45 IF FIELD TESTED)	STC 50
STRUCTURE BORNE SOUND UNIT SEPARATIONS - FLOORS/CEILINGS	50 IIC MIN. (45 IF FIELD TESTED)	IIC 51

GENERAL BUILDING DATA

BLOCK: 19501 LOT: 26
ZONING DISTRICT: JACKSON HILL REDEVELOPMENT AREA (NEIGHBORHOOD MIXED USE DEVELOPMENT)
PROPOSED WORK: NEW 4 STORY MIXED USE BUILDING W/ 3 APARTMENTS & GROUND FLOOR COMMERCIAL
PROPOSED PRINCIPAL USE: MIXED-USE / RESIDENTIAL (2ND TO 3RD FL.) & COMMERCIAL / RESIDENTIAL (GROUND FL)
FIRE SPRINKLER: YES (AS PER SEC. 903.3.1.1)
BUILDING GROSS AREA: 2,349 SF
BUILDING HEIGHT: 45'-4" FT.
BUILDING VOLUME: 25,838 CF

FIRE RESISTANCE RATINGS

FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS IN HOURS (table 601)	
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS & TRUSSES	1 HR.
BEARING WALLS	
EXTERIOR WALLS	1 HR.
INTERIOR WALLS	1 HR.
NONBEARING WALLS & PARTITIONS	
EXTERIOR WALLS	1 HR.
INTERIOR WALLS	0 HR.
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS & JOISTS	1 HR.
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS & JOISTS	1 HR.
FIRE PARTITIONS (SECTION 708)	
EXIT ACCESS CORRIDORS (table 1004.3.2.1)	1 HR.
DWELLING UNIT SEPARATIONS	1 HR.

FIRE PROTECTION SYSTEM

- SUPERVISED AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED PER SECTION 903.1.1. NFPA 13R.
- CLASS I STANDPIPE REQUIRED (PER SECTION 905.3.1(1) AND PROVIDED.
- FIRE DEPT. SIAMESE CONNECTION (LOCATED PER LOCAL OFFICIAL) PROVIDED.
- ANNUNCIATOR AND REMOTE ANNUNCIATOR PANELS PROVIDED.
- FIRE STOP @ CONCEALED SPACES AND PENETRATIONS
- INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP LOCATED IN EACH BEDROOM, DIRECTLY OUTSIDE SLEEPING AREAS WITHIN 10' OF BEDROOM DOORS
- TAMPER AND FLOW SWITCHES PROVIDED.
- MANUAL PULL STATIONS PROVIDED.
- AUDIBLE AND VISUAL ALARM INDICATING DEVICES SHALL BE CONNECTED TO WATER SPRINKLER SYSTEM
- SPRINKLER SYSTEM SHALL BE TESTED AND MAINTAINED PER THE INTERNATIONAL FIRE CODE
- FIRE PROTECTION SUBCONTRACTOR SHALL PREPARE SPRINKLER AND FIRE PROTECTION WATER SERVICE SHOP DRAWINGS ALONG WITH HYDRAULIC CALCULATIONS PREPARED BY N.J. LICENSED ENGINEER. SUBMIT TO ARCHITECT FOR APPROVAL.
- FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING FIRE PROTECTION PERMIT AND ALL REQUIRED INSPECTIONS OF THE WORK. PROVIDE OWNER W/ COPIES OF ALL PERMITS AND APPROVALS.

ZONING COMPARISON CHART (JACKSON HILL REDEVELOPMENT)

(NEIGHBORHOOD MIXED USE DISTRICT : Transit proximity bonus:)

ITEM	REQ.	EXISTING	PROPOSED	VARIANCE
— PRINCIPAL USE	SEE BELOW NOTE 1*	VACANT LOT	MULTI-FAMILY RES./ COMMERCIAL	NO
— MIN. LOT SIZE	EXISTING LOT ARE CONFORMING	785.975 SF	NO CHANGE	NO
— MIN. LOT WIDTH		14.9 FT.	NO CHANGE	NO
— MIN. SIDE YARD	NO REQUIREMENT	N/A	0 FT.	NO
— MIN. REAR YARD				
GROUND FLOOR	NOT EXTEND GREATER THAN 95 FT. FROM R.O.W.	N/A	47'-9"	NO
ABOVE FLOORS	NOT EXTEND GREATER THAN 85 FT. FROM R.O.W.	N/A	47'-9"	NO
— BLDG. HEIGHT 0- TO 8,999 SF	MIN. 2 / MAX. 6 STORIES MIN. 25' / MAX. 65 FT.	N/A	4 STORY 45'-4" FT.	NO
— MIN. SIDEWALK WIDTH	PREVAILING OR MINIMUM OF 8 FEET	10'-0"	NO CHANGES	NO
— MAX. OFF STREET PARKING				
RESIDENTIAL	1.5 SPACES PER DWELLING UNIT	N/A	0 SPACES (NO CURB CUT ALLOWED)	NO
COMMERCIAL	1.5 SPACES PER 1,000 SF OF COMMERCIAL GROSS FLOOR AREA.	N/A	0 SPACES (668 SF)	NO
— MIN. INDIVIDUAL FLOOR HEIGHT	10' FOR GROUND FL. 9' FOR ALL OTHER FL.	N/A N/A	10' 10'	NO NO

*NOTE 1: PRINCIPAL PERMITTED USES, SUBJECT TO THE REQUIREMENTS OF SECTION VIII:
A) RESIDENTIAL ABOVE THE GROUND FLOOR (SEE VIII.B FOR EXCEPTION), B) RESIDENTIAL WITHIN GROUND FLOOR AREAS GREATER THAN 35 FEET FROM THE FOLLOWING RIGHTSOFF-WAY:, C) RETAIL SALES OF GOODS AND SERVICES, D) FINANCIAL SERVICES., E) OFFICES., F) PROFESSIONAL OFFICES., G) RESTAURANTS: CATEGORY ONE AND TWO., H) CAFES., I) MEDICAL OFFICES ABOVE THE GROUND FLOOR LEVEL, EXCEPT FOR BLOCK 22601 WHERE GROUND FLOOR MEDICAL OFFICE USES SHALL BE PERMITTED. J) CHILD AND ADULT DAY CARE CENTERS ABOVE THE GROUND FLOOR LEVEL., K) ART GALLERIES., L) THEATERS., M) ARTIST STUDIO WORKSPACES., N) COMMUNITY FACILITIES/CENTERS., O) BUSINESS INCUBATORS., P) HEALTH CLUBS/GYMS.
NOTE 2: ALL BUILDING SIGN NUMBERS & COMMERCIAL SIGNAGE SHALL BE CONFORMING WITH THE CURRENT JACKSON HILL REDEVELOPMENT PLAN - SIGN DESIGN REQUIREMENT

DESIGN LOADS

APARTMENTS: LL 40 PSF
DL 15 PSF
CORRIDORS: LL 100 PSF
DL 10 PSF
ROOFS: LL 25 PSF
DL 30 PSF
WIND LOAD: BASIC WINDSPEED 115 MPH

UNIT BREAKDOWN

COMMERCIAL 1 375 SF (1ST.) + 293 SF (CELLAR)
TOTAL: 668 SF

DUPLEX UNIT #1 (1BED/ 1BA)
201 SF (1ST.FL.) + 281 SF (2ND FL.)
TOTAL: 482 SF
OUTDOOR DECK AREA: 75 SF

DUPLEX UNIT #2 (1BED/ 1BA)
270 SF (2ND.FL.) + 270 SF (3RD FL.)
TOTAL: 540 SF
OUTDOOR DECK AREA: 188 SF

APPLICABLE CODES

CURRENT REHABILITATION SUBCODE (NJAC 5:23-6)
NJUCC, Subchapter 6
2018 International Building Code - New Jersey Edition
2018 International Mechanical Code
2018 International Fuel Gas Code
2018 Energy Code Version of ASHRAE 90.1-2007
2018 National Standard Plumbing Code
2017 National Electrical Code
2018 IBC/NFPA
2018 International Fire Code ASME A17.1 Section 2.27

DRAWING LIST

T-100 TITLE SHEET
C-100 EXISTING SITE PLAN & PROPOSED SITE PLAN / SITE DETAILS
C-200 SITE DETAILS I
C-210 SITE DETAILS II

A-100 PROPOSED FLOOR PLANS
A-110 PROPOSED FLOOR PLANS
A-200 PROPOSED ELEVATIONS
A-210 PROPOSED ELEVATIONS
A-220 PROPOSED ELEVATIONS

CURRENT SITE STREET VIEW



JACKSON HILL REDEV. PLAN LAND USE MAP

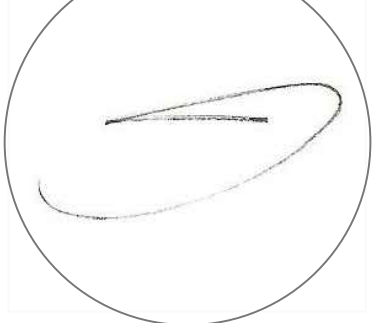
SCALE:1"=300'



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SEAL:



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Registered Architect: NJ LIC 21 AJ 01985300

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PROPOSED
4 STORY
MIXED USE
BUILDING W/
3 DWELLING
UNITS
& GROUND
FLOOR
COMMERCIAL

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483 DR. MARTIN
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LOT: 26

FOR:

REVISIONS:

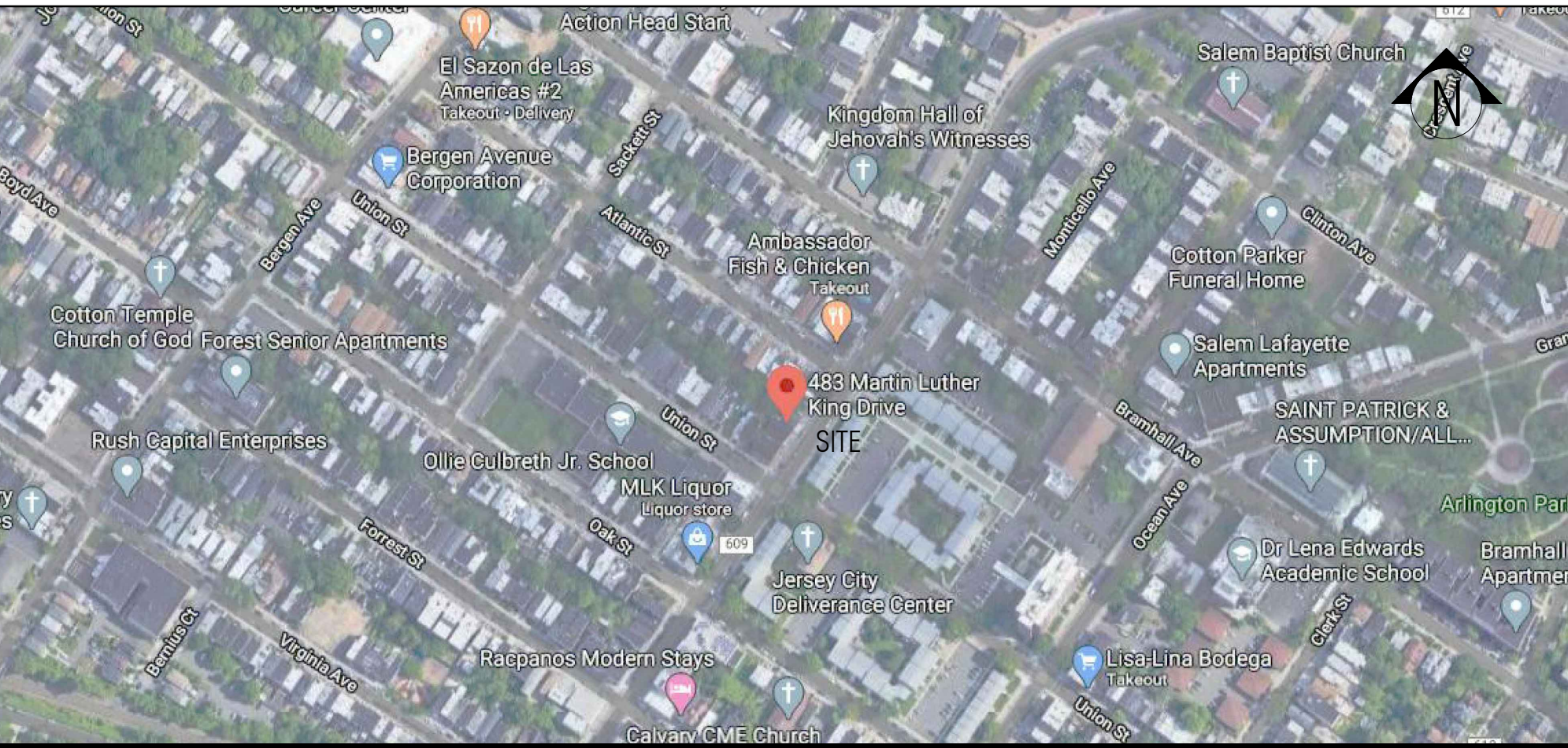
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PROJECT NO: 20025

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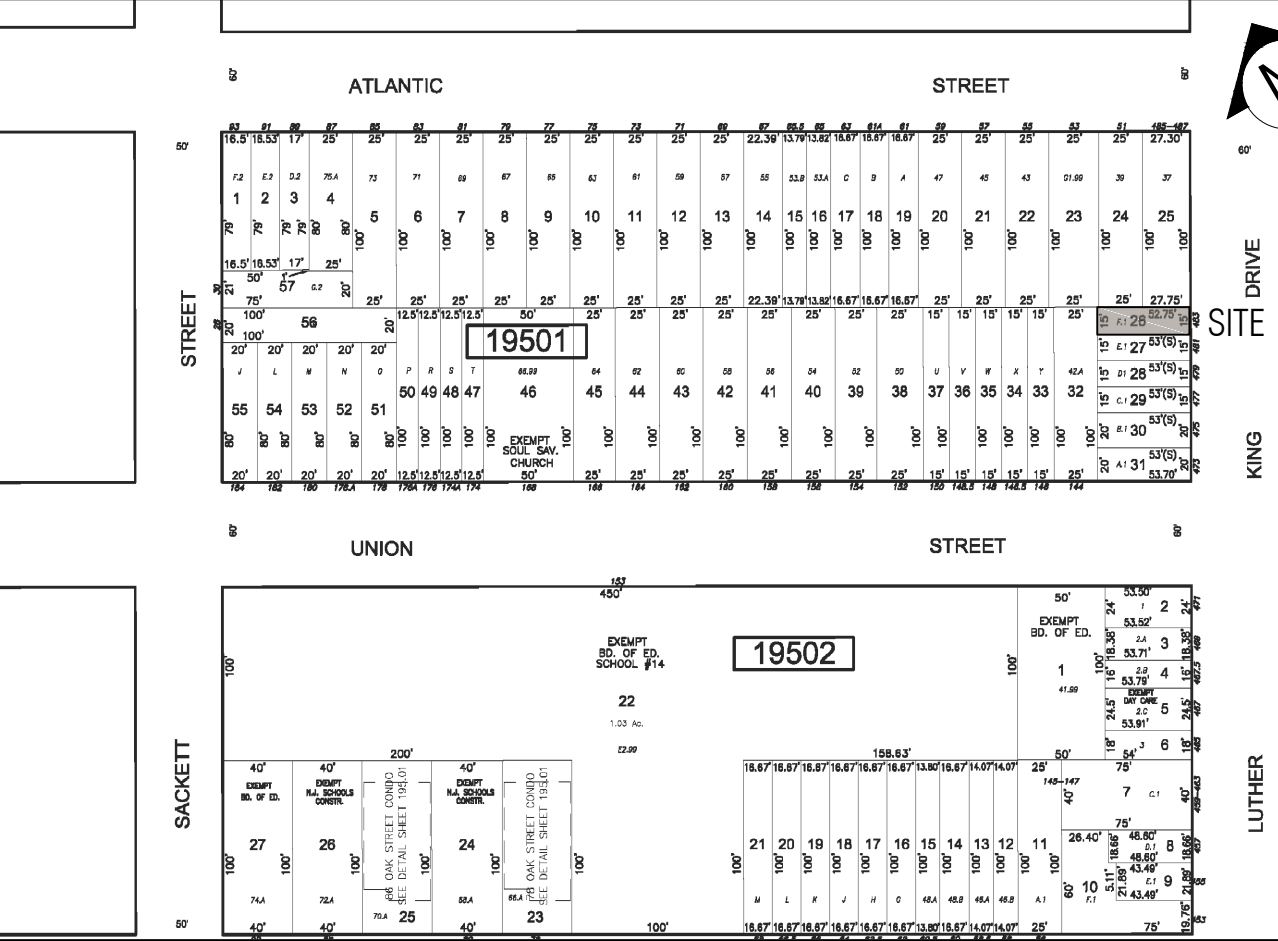
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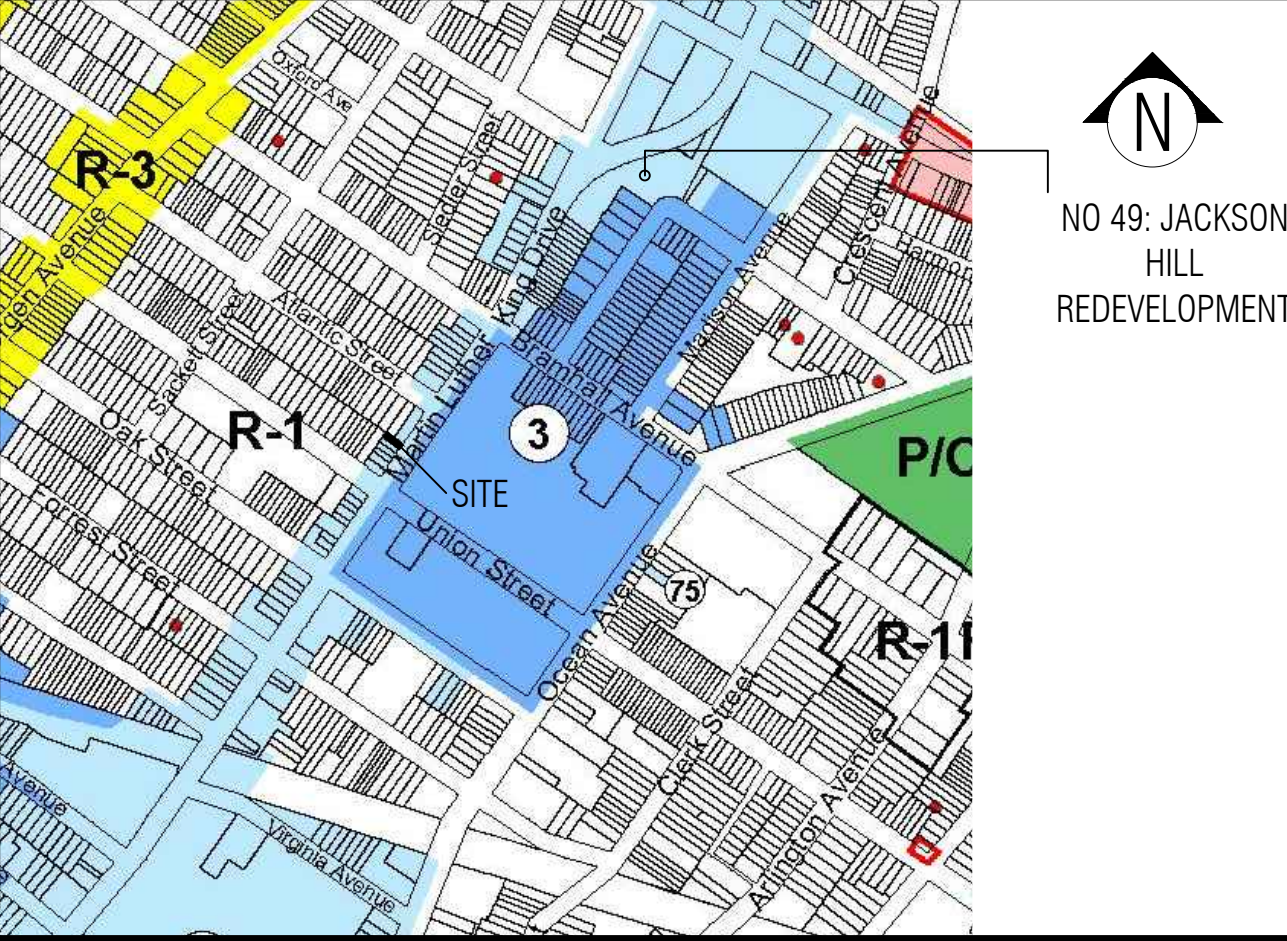
VICINITY MAP

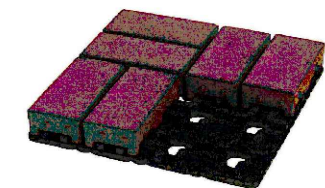


TAX MAP

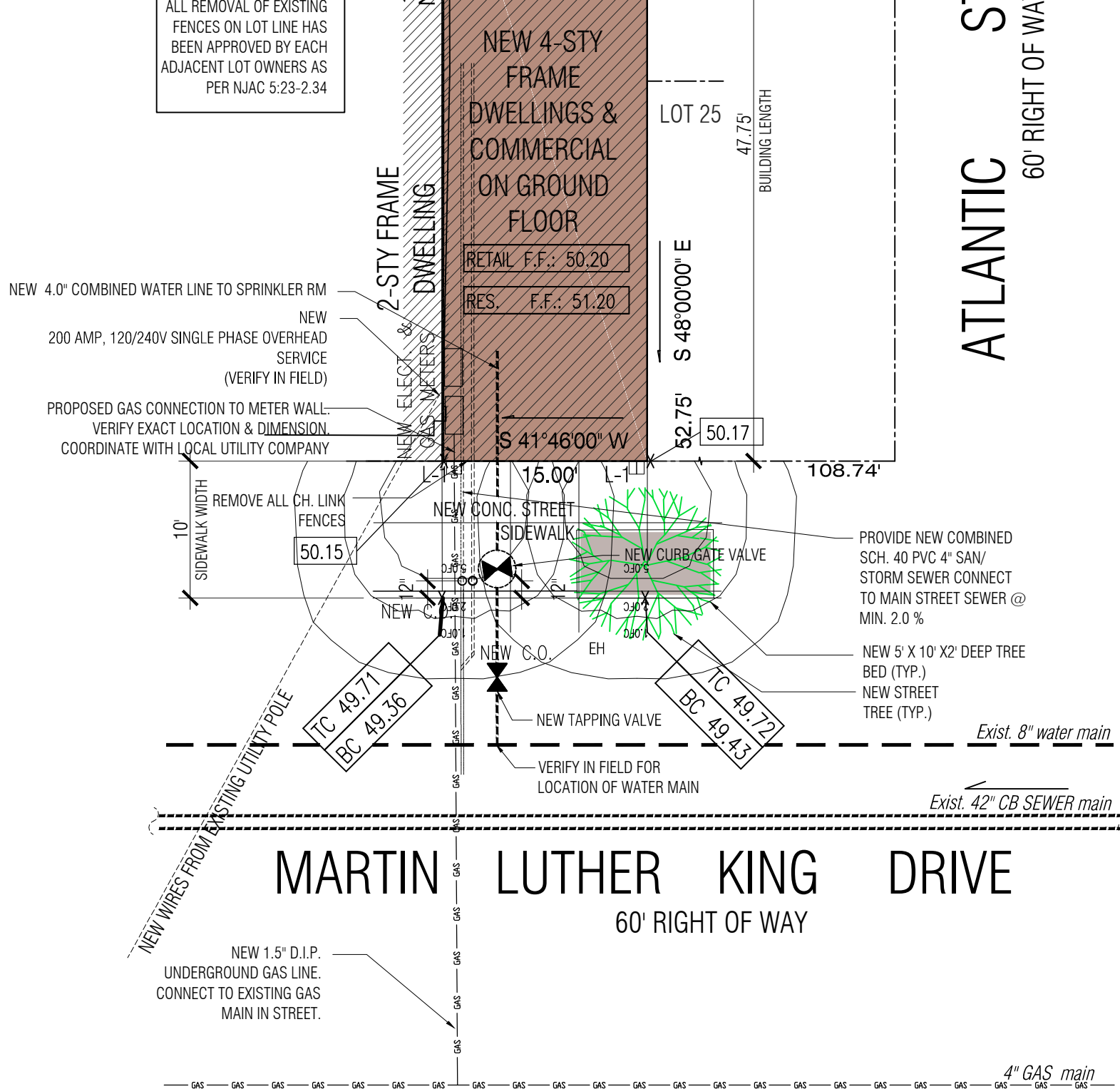


ZONING MAP





AZEK
4 IN. X 8 IN. VILLAGE COMPOSITE PERMEABLE PAVER
GRID SYSTEM (8 PAVERS AND 1 GRID)
INFILTRATION RATE: LESS THAN 480 IN. PER HOUR
INSTALLED OVER OPEN-GRADED SUBBASE
NEW PERMEABLE PAVER GRID SYSTEM
70 SF X 0.30 = 21 SF (PERMEABLE AREA)



NOTE:
1. MLK DRIVE IS TO BE MILLED AND PAVED, CURB TO CURB, FOR THE ENTIRE STREET LENGTH IN FRONT OF THE SUBJECT SITE INCLUDING 20' BEYOND EACH SIDE PROPERTY LINE
2. MLK DRIVE IS TO BE MILLED TOP LAYER ONLY EXCEPT EXCAVATION AREA NEEDED FOR WATER/SEWER/ELECTRICAL/ GAS CONNECTIONS WITHIN THE LOT.

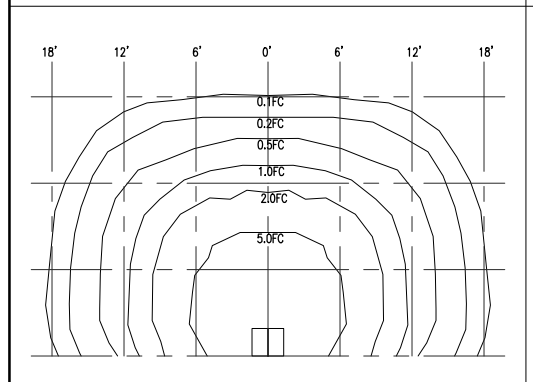
PLANTING SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	PLANTING SIZE	MATURE SIZE
	TREE			
EH	EUROPEAN HORNBEE	Carpinus betulus	12" HIGH 3.5" CAL. (MIN.)	40" HIGH

LIGHTING SCHEDULE

KEY	QTY.	DESCRIPTION	COMMENTS
L-1	2	VISA LIGHT CYPRESS OW1202 - ADA COMPLIANT	1. MOUNTING HEIGHT @ 84" (BOTTOM OF FIXT.) 2. ISOLUX CONTOURS OBTAINED THROUGH MANUFACTURER'S LIGHTING SOFTWARE & SPECIFICATIONS. 3. INSTALLATION OF LIGHT SHIELD NECESSARY WHERE LIGHT OVERLAPS ADJUTING PROPERTY.

LIGHTING ISOLUX CONTOURS



November 3, 2005

THE FOLLOWING TECHNICAL REQUIREMENTS SHALL BE ADDRESSED IN PREPARATION OF SITE/UTILITY PLANS:
(UNDERLINED TEXT IS JCMUA TEXT VERBATIM; NON-UNDERLINED TEXT IS PROJECT ENGINEER'S COMMENT AS TO
HOW IT IS ADDRESSED IN THIS APPLICATION.)

-

NOT TO SCALE

RIGHT OF WAY

UT
CURB LINE

GROUT WITH CEMENT

JOINED SEWER MAIN

ON TO
WER

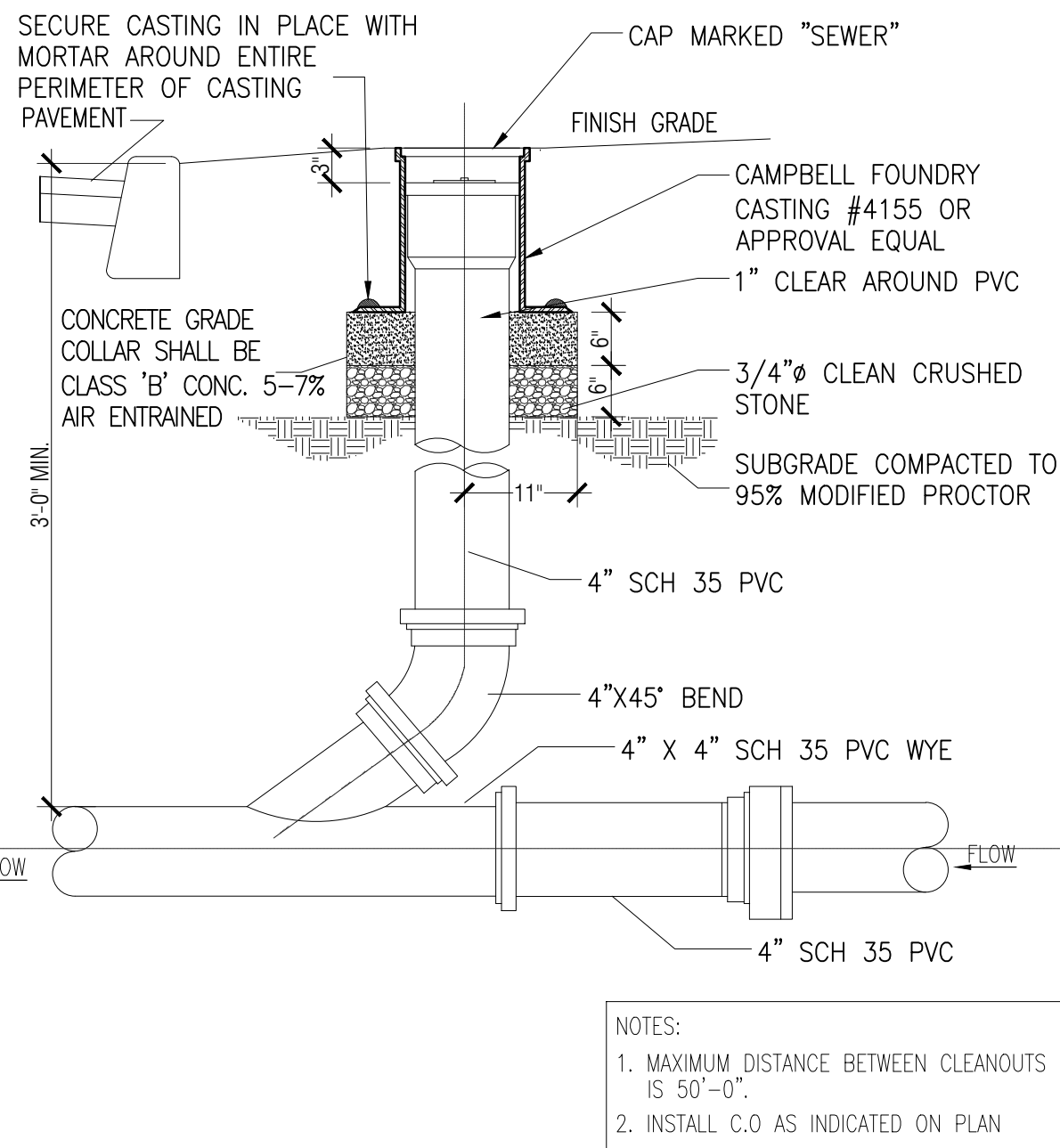
CONNECTED THE 4"
OF THE CURB USING

NOTES:

1) WHERE A SEWER LATERAL IS TO CONNECT TO A JOINT, OTHER SUITABLE MATERIAL, AN ASSEMBLY CONSISTING OF THE RISER CLAMP SHALL BE SET SO THAT THE JOINT'S SEWER IS EQUAL TO THE THICKNESS OF THE DETAIL. THE ENTIRE CIRCUMFERENCE OF THE ASSEMBLY SHALL BE SECURE IN PLACE.

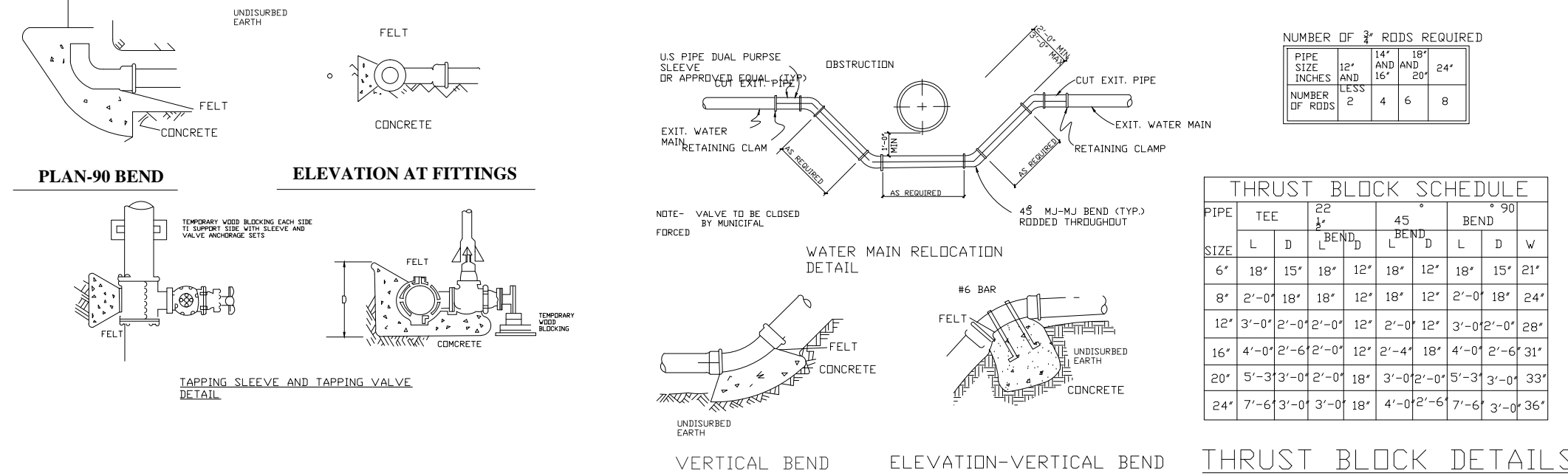
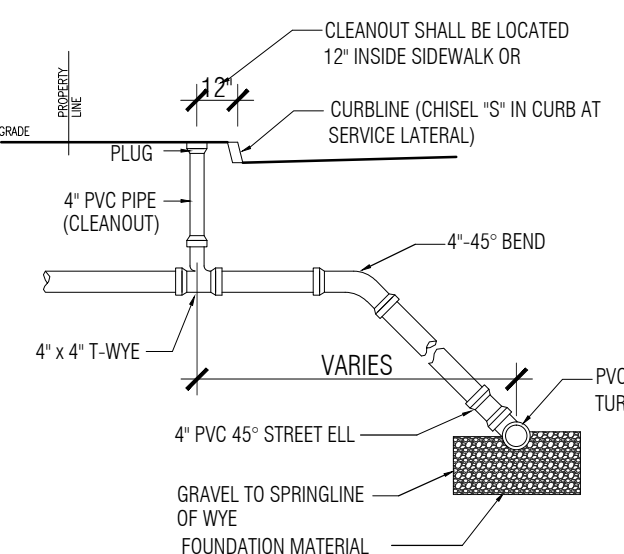
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NOT TO SCALE



NOT TO SCALE

-

[illegible]

1. ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JMWCA'S BUREAU OF WATER ENGINEERING FOR APPROVAL. THESE SETS OF PLANS SHALL BE SUBMITTED FOR APPROVAL. ALL PLANS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LOCATED TO PRACTICE IN NEW JERSEY.

2. SUBMITTED PLANS SHALL BE DRAWING INSTRUMENT DRAWINGS, SIZE 24 INCHES X 36 INCHES, INCLUDED SHALL BE A SITE PLAN SHOWING ADJACENT STREETS WITH WATER MAIN, SERVICE, AND CULVETS INDICED. ALSO INCLUDED SHALL BE A KEY MAP SHOWING EXACT LOCATION WITHIN THE CITY.

3. INDICATED ON THE SUBMITTED PLANS SHALL BE THE SIZE OF TAPPING OR TAPPING AND CURB GATE VALVES, DETAILED WATER SET-UP, AND SIZE OF FACILITY'S METER. ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF OCCUPANCY OF THE FACILITY RECEIVING THE WATER SERVICE. (E.G. HOSPITAL, WAREHOUSE, APARTMENT BUILDING, ETC.)

4. ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN IN ACCORDANCE WITH JMWCA STANDARDS, AND INSPECTED WITHIN 24 HOURS AFTER INSTALLATION OF NEW LINE. THE MAINWOM (OF THE TAP) SHALL BE MADE TO BE 12 INCHES AND LARGER SERVICE FOR TAPPING. THE TAP SHALL BE THE MAXIMUM OF ONE (1) SIZE SMALLER THAN THE CITY'S WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT BY LIMITED WATER UTILITY CITY (LWUC) UNLESS SPECIFICALLY APPROVED BY JMWCA.

5. ONLY ONE DOMESTIC FIRE SERVICE IS ALLOWED FOR EACH FACILITY. AN APPLICANT MAY INSTALL CHECK VALVE ON INDIVIDUAL BRANCH CONNECTIONS DOMESTIC WATER SERVICE SETUP WHERE THERE IS MORE THAN ONE DRAINAGE TENDANT FOR A FACILITY.

6. A SOLID DUCT IRON TAPPING SLEEVE SUCH AS WALLEYER H-615 TAPPING SLEEVE OR APPROVED EQUAL SHALL BE UTILIZED FOR ALL TAPS 2-INCHES AND LARGER. THE TAPPING SLEEVE SHALL PASS PRESSURE TESTING BASED ON AWWA STANDARDS BEFORE TAP IS MADE.

7. FOR ALL SERVICES INCLUDING NEWLINE, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT: A TAPPING VALVE, LOCATED AT THE TAP AND CURB VALVE LOCATED IN THE SIDEWALK BEFORE THE TAPPING. GATES SHALL BE TURNED OPENED RIGHT. ALL TAPPING AND CURB VALVES SHALL BE DOUBLE GATE VALVES WITH METAL ANVILS. THE MET TAP UP TO 12 INCHES SHALL BE PERFORMED BY LWUC.

8. TAPPING AND SPECIAL WATER MAIN APPROVALS ISSUED BY THE CITY OF JMWCA:

9. FOR TAPS OF SIXTY SIX (66) INCHES AND LARGER, THE APPLICANT SHALL FURNISH AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS APPROVED BY JMWCA.

10. VALUE BOX FOR ALL VALVES SHALL BE PROVIDED BY THE APPLICANT. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL CURB VALVE TAPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "METER" TAINT ON THE COVER. BURIED COPPER VALVES/STOPS SHALL BE USED AT THE TAP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER.

11. ALL SERVICE PIPES, SIZES 2 INCHES THROUGH 12-INCHES, SHALL BE PRESSURE CLASS 350 PSI, CEMENT-LINED DUCTILE IRON PIPE WITH MECHANICAL JOINTS.

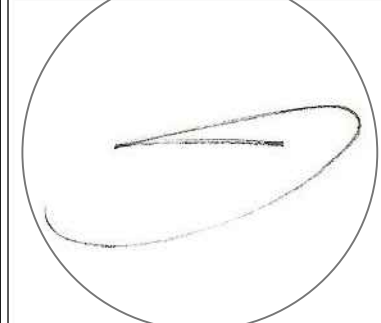
12. APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING. IF THE BUILDING LINE IS IN EXCESS OF 75FT. FROM THE MAIN, THE APPLICANT SHALL PLACE THE METER IN A PIT NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP.

13. FOR A REGULAR FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE (LARGER THAN 2") A COMBINED REGULATOR TAPPING ASSEMBLY (AMES 5000 S.S., AMES 5000R OR WATTS 500R) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE LINE. A 4-INCH REGULATOR TAPPING SHALL BE INSTALLED ON THE WATER SERVICE LINE. ON THE LIMITED FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE 2" TO 24" 2" TO 24" 2" A FIRE LINE SELECTOR CHECK WITH A SINGLE CHECK VALVE 100% DOWNSHALE BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 S.S. OR WATTS 800R) SHALL BE INSTALLED DOWNSTREAM OF THE MAIN. ALL REGULAR FIRE SUPPRESSION SYSTEMS MUST HAVE GASKY VALVES. HOWEVER, LIMITED FIRE SUPPRESSION SYSTEMS MAY USE BALL VALVES (NATIONAL SPEC 7200 F2000) INSTEAD OF GASKY VALVES. THE FIRE LINE TAP SHALL BE FURNISHED WITH A 4/8 INCH BALL IN 3/4 INCH METERS (PATTERN). BYPASS METERS SHALL BE INSTALLED ON THE MAIN FIRE LINE.

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SEAL



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ADDRESS:
483 DR. MARTIN
LUTHER KING DRIVE
JERSEY CITY, NJ

BLOCK: 19501
LOT: 26

FOR:

REVISIONS

DRAWN BY:	MK
CHKD BY:	MK
ISSUE DATE:	08.19.2020
PROJECT NO:	20025

SHEET TITLE:
PROPOSED SITE DETAILS

SHEET No. _____

C-200

GENERAL PLANTING NOTES:

1. ALL PLANTS TO BE SELECTED AND SEALED IN THE FIELD BY THE CITY REPRESENTATIVE.
2. FINAL LOCATION OF ALL PLANTS TO BE DETERMINED IN THE FIELD BY THE CITY REPRESENTATIVE.
3. CONTRACTOR SHALL INSTALL A PORTION OF THE LANDSCAPING CONSISTING OF NOT MORE THAN 5% OF THE TOTAL PLANTINGS, TO DEMONSTRATE PLANTING PRACTICES TO THE CITY REPRESENTATIVE, PRIOR TO INSTALLING THE REMAINDER OF THE PLANT MATERIAL.
4. ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" LAYER OF SHREDDED BARK MULCH.
5. TOPSOIL SHALL BE SANDY LOAM; FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL; CONTAIN 5%-12% ORGANIC MATTER, pH 6.0 TO 7.0. SEE BACK FILL REQUIREMENTS, JERSEY CITY FORESTRY STANDARDS.
6. TOPSOIL SHALL COMPLY WITH ANY AND ALL ENVIRONMENTAL AND CLEAN FILL REQUIREMENTS, TO THE SATISFACTION OF THE ENVIRONMENTAL CONSULTANT.
7. CUT AND REMOVE BURLAP FROM TOP 2/3 OF BALL AND REMOVE WIRE BASKET COMPLETELY. NYLON ROPE AND OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE.
8. LOCATE GUY WIRES SO THAT THEY WILL NOT PULL, CROTCH APART.
9. UPON COMPLETION OF THE FIRST YEAR OF THE TWO (2) YEAR PLANT GUARANTEE PERIOD, THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING OR REMOVING ALL STAKES. THIS SHALL BE DONE IN CONSULTATION WITH THE CITY REPRESENTATIVE. ALL STAKES REMAINING SHALL THEN BECOME THE RESPONSIBILITY OF THE OWNER.
10. IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
11. IF THE CONTRACTOR DETERMINES THE SUB-GRADE SOIL CONDITIONS ARE DELETERIOUS TO PLANT GROWTH OR WILL INHIBIT DRAINAGE, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIAL.
12. PLANT PERENNIALS AND GROUND COVER IN 8" DEEP TOPSOIL BED CONSISTING OF ¾ TOPSOIL AND ¼ HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
13. TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL DISTURBANCES, CONSTRUCTION, OR STORAGE OF EQUIPMENT WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT.
14. ALL EXISTING SOIL SHALL BE REMOVED AND BACK FILLED WITH NEW TOPSOIL MEETING PARKS AND FORESTRY SPECIFICATION.
15. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMENS AMERICAN STANDARD FOR NURSERY STOCK.
16. ALL PLANT BEDS ARE TO BE SEPARATED FROM LAWN AREA WITH A 3" DEEP V TRENCH.
17. KEEP MULCH ½ BELOW TOP OF PAVEMENTS AND CURBS.
18. ALL LANDSCAPING SHALL BE IN A HEALTHY AND VIGOROUS GROWING CONDITION AT THE TIME OF INSTALLATION. NO PLANT SHALL REMAIN AT THE SITE FOR MORE THAN THREE (3) DAYS AFTER DELIVERY WITHOUT BEING PROPERLY HEALED IN. NO TREE WITH A DAMAGED CENTRAL LEADER SHALL RECEIVE FINAL ACCEPTANCE.
19. ALL NEWLY INSTALLED LANDSCAPING SHALL BE SET PLUMB IN THE PLANTING PIT AND BACKFILLED IN LIFTS NOT TO EXCEED EIGHT(8) INCHES. IN PLANTING BEDS BACKFILL SHALL CONSIST OF THREE(3) PARTS NATIVE TOPSOIL, THREE(3) PARTS SCREENED TOPSOIL AND THREE(3) PARTS PEAT. A MOISTURE ABSORBENT POLYMER SHALL BE INCLUDED IN THE AMENDED BACKFILL ON WELL AND EXCESSIVELY DRAINED SOILS AND ON EARTHEN BERMS TO ENSURE SOIL MOISTURE AVAILABILITY. ALL LANDSCAPE BEDS SHALL BE UNDERPLAYED WITH A SUITABLE WATER PERMEABLE WEED FABRIC AND SHALL RECEIVE A MINIMUM THREE (3) INCH APPLICATION OF SHREDDED HARD WOOD MULCH OR OTHER ACCEPTABLE MATERIAL. UNTREATED WOOD CHIPS SHALL NOT BE USED. PLANT MATERIAL ARRANGED IN GROUPINGS SHALL BE CONTAINED IN ONE(1) CONTINUOUS MULCHED BED TO REDUCE POSSIBLE PLANT DAMAGE CAUSED BY MAINTENANCE EQUIP. THE LANDSCAPE BED SHALL EXTEND TO THE BRANCH LIMITS OF THE NEWLY INSTALLED PLANTINGS.
20. PLANT MATERIAL CONSIDERED TO BE A FALL DIG HAZARD SHALL NOT BE DUG BETWEEN OCTOBER 1ST AND DECEMBER 1ST. FALL DIG HAZARD PLANTS MAY BE PLANTED DURING THIS TIME FRAME, PROVIDED THEY HAVE BEEN DUG PRIOR TO OCTOBER 1ST, OR ARE CONTAINER GROWN.
21. THE CLASSIFICATION OF A SPECIES AS A FALL DIG HAZARD SHALL NOT BE CONSIDERED A SUFFICIENT OR ACCEPTABLE REASON FOR SUBSTITUTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PROCUREMENT OF PLANT MATERIAL AS REQUIRED TO MEET THE CONSTRUCTION SCHEDULE, AND FOR ENSURING THE SURVIVAL AND CONTINUED HEALTH OF THE PLANT MATERIAL, ONCE IT IS DELIVERED.

22. WATERING MUST TAKE PLACE THROUGHOUT THE 2 YEAR PERIOD, AT LEAST 20 GALLONS AT APPROXIMATELY TWO WEEK INTERVALS FROM MAY 15 TO OCTOBER 31. CONTRACTOR MAY NEED TO INCREASE OR REDUCE THE FREQUENCY OF WATERING BASED ON WEATHER CONDITIONS, RESULTING SOIL WATER CONTENT OR OTHER FACTORS.
23. EXISTING TREES TO REMAIN MAY BE PRUNED TO ACCOMMODATE CONSTRUCTION ACTIVITIES. CARE SHALL BE TAKEN TO AVOID NEGATIVELY IMPACTING THE HEALTH OR STRUCTURAL INTEGRITY OF THE TREE. PRUNING SHALL BE DONE UNDER THE DIRECTION OF A CERTIFIED NEW JERSEY TREE EXPERT.
24. NO SOIL DISTURBANCE SHALL OCCUR OUTSIDE THE LIMIT OF DISTURBANCE.
25. SHADE TREES SHALL BE LIMBED UP TO A HEIGHT OF 5'-0"
26. CONTRACTOR SHALL NOTIFY JERSEY CITY DIVISION OF PARKS AND FORESTRY 3 DAYS PRIOR TO BEGINNING PLANTING SHADE TREES.
27. ALL LANDSCAPING AREAS SHALL BE APPROPRIATELY PLANTED AND MAINTAINED WITH ANY DAMAGED, DISEASED OR DEAD MATERIAL REPLACED, ON AN ON-GOING BASIS.

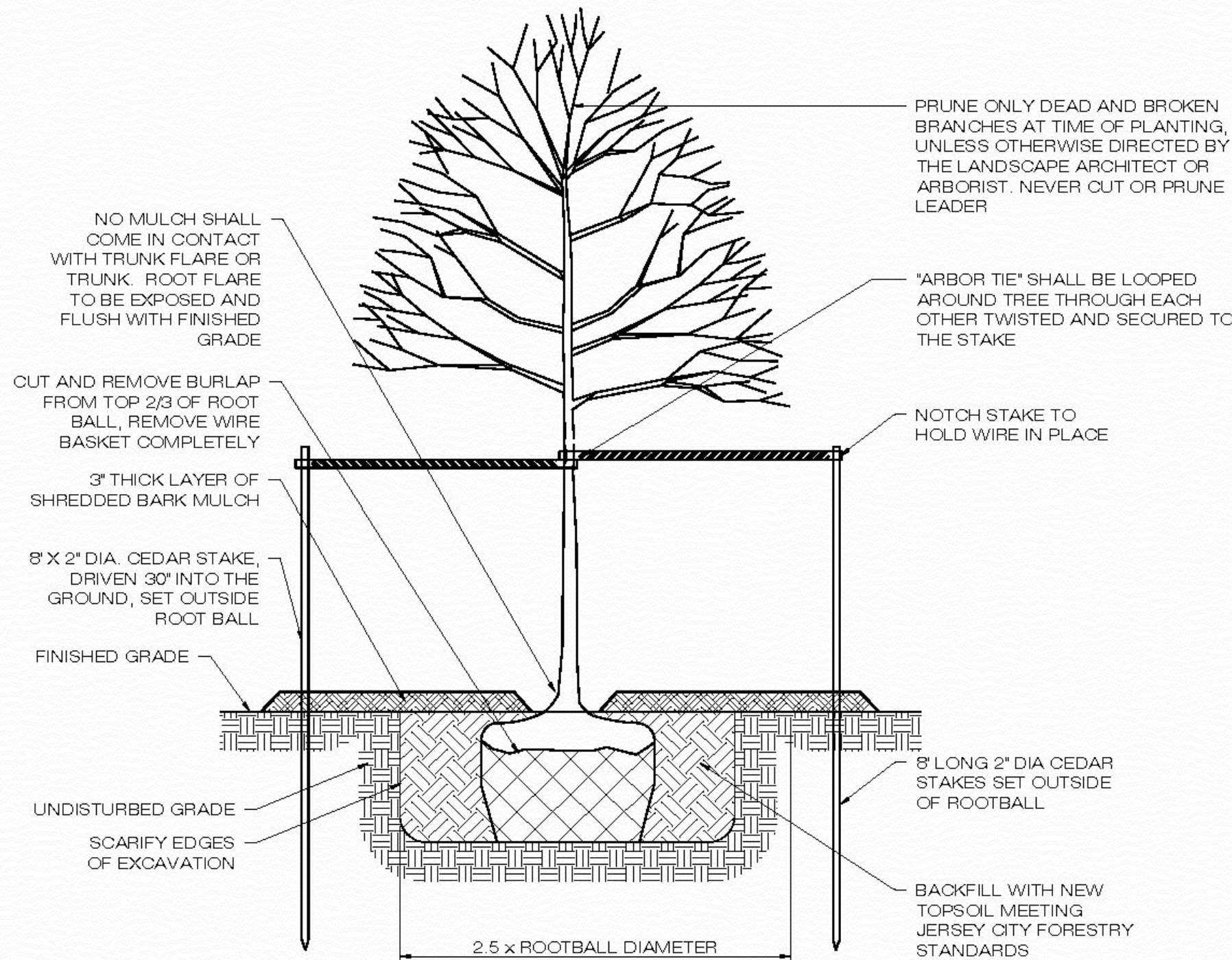
LANDSCAPE MAINTENANCE NOTES:

1. FOR THE DURATION OF THE TWO (2) YEAR GUARANTEE PERIOD, THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL, IN ACCORDANCE WITH THE LANDSCAPE SPECIFICATIONS AND TO THE SATISFACTION OF THE CITY REPRESENTATIVE. ANY PLANT MATERIAL DETERMINED TO BE DEAD OR DYING AT THE CLOSE OF THE GUARANTEE PERIOD SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
2. AT THE COMPLETION OF THE FIRST YEAR OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REMOVE ALL STAKES AND GUY WIRES. THIS SHALL BE DONE IN CONSULTATION WITH THE CITY REPRESENTATIVE. ALL STAKES REQUIRED TO REMAIN IN PLACE PAST THE COMPLETION OF THE FIRST YEAR OF THE GUARANTEE PERIOD SHALL BECOME THE RESPONSIBILITY OF THE OWNER.
3. FERTILIZE ALL TREES AND SHRUBS AT LEAST ONCE PER YEAR. MYCORRHIZAL FUNGI INNOCULANT SHALL BE APPLIED TO ALL TREES AND SHRUBS AT THE TIME OF PLANTING.
4. FERTILIZE ALL LAWN AREAS ONCE PER SEASON DURING THE SPRING, SUMMER, AND FALL. FERTILIZER SHALL BE A LOW PHOSPHORUS COMMERCIAL FERTILIZER, WITH A MINIMUM OF 7% NITROGEN BY WEIGHT, AS DESCRIBED IN THE LANDSCAPE SPECIFICATIONS.
5. PLANT MATERIAL SHALL BE INSPECTED FOR PEST DAMAGE AND INFESTATION AT REGULAR INTERVALS. APPLY PEST CONTROL MEASURES ACCORDING TO THE LIFE CYCLE OF THE PESTS. ALL PESTICIDES SHALL BE APPLIED BY A LICENSED PRACTITIONER.
6. SEASONAL MAINTENANCE NECESSARY TO ENSURE HEALTHY AND VIGOROUS GROWTH OF PLANT MATERIAL AND TO MAINTAIN THE APPEARANCE OF THE LANDSCAPED AREAS SHALL BE PERFORMED AS NEEDED.
7. PLANTING BEDS SHALL BE WEEDED AND EDGED AS NEEDED TO MAINTAIN A NEAT APPEARANCE AND TO PREVENT THE ESTABLISHMENT OF WEEDS.
8. ALL MULCHED AREAS SHALL BE RAKED AND MULCH SHALL BE REPLENISHED AS NEEDED EACH SPRING.
9. PRUNING OF DEAD AND DAMAGED BRANCHES SHALL BE PERFORMED EACH FALL, AND AS NEEDED FOLLOWING DAMAGE TO PLANT MATERIAL.
10. DEBRIS AND DEAD LEAVES SHALL BE REMOVED FROM PLANTING BEDS IN THE FALL AND EARLY SPRING.

TREE PLANTING NOTES:

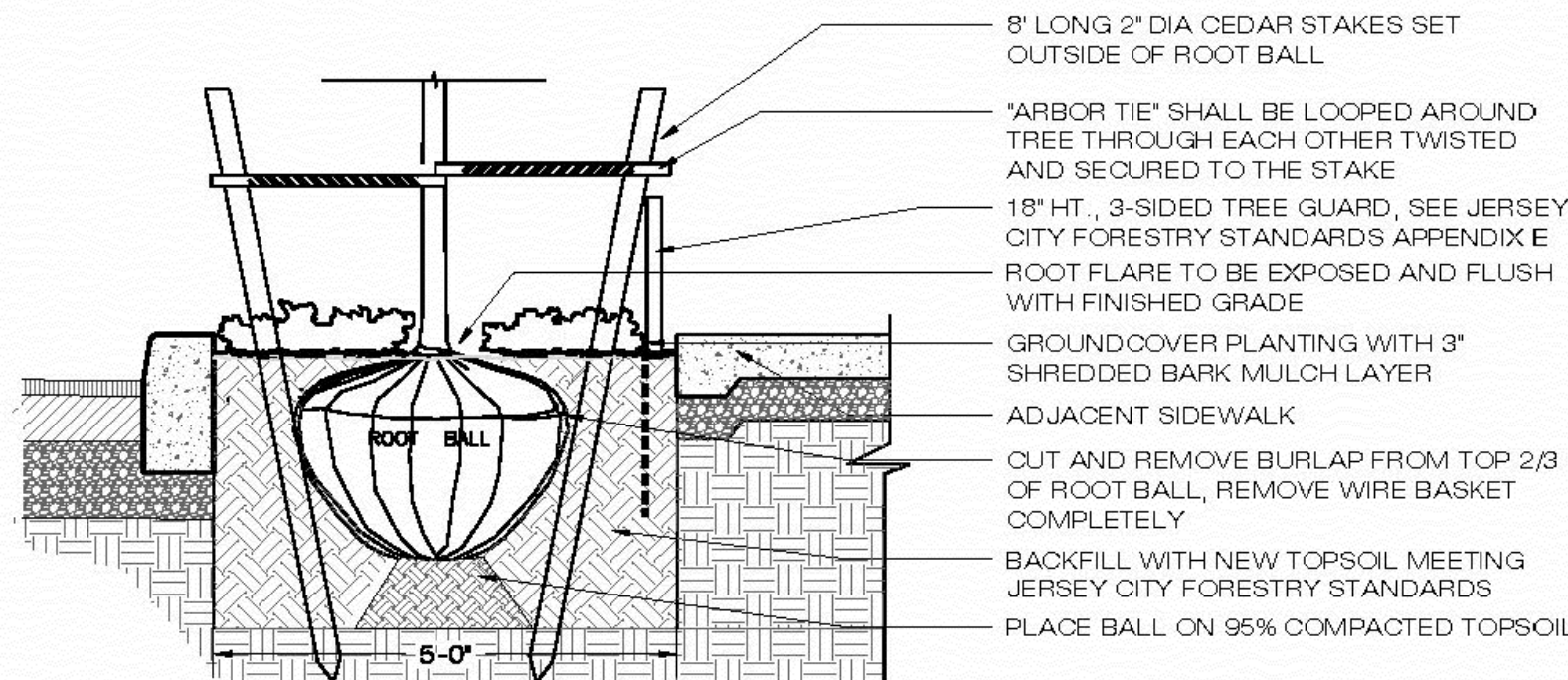
1. GAS OR ELECTRIC LINES SHALL BE 2' MINIMUM FROM EDGE OF TREE PIT. OIL FILLED PIPES SHALL BE 4' MINIMUM FROM EDGE OF TREE PIT. WATER AND SEWER LINES SHALL BE 2' FROM TRUNK.
2. TREES SHALL NOT BE LOCATED IN FRONT OF DOORWAYS.
3. MINIMUM RECOMMENDED DISTANCE FROM TREE TRUNK:
 - 3.1. TO UTILITY POLES AND/OR LIGHTS SHALL BE 15'.
 - 3.2. TO WATER MAIN OVER 20" DIA. SHALL BE 6'.
 - 3.3. TO STREET SIGNS AND TRAFFIC SIGNS SHALL BE 5'.
 - 3.4. TO CURB SHALL BE 7'.
 - 3.5. TO FIRE HYDRANT SHALL BE 5'.
 - 3.6. TO CURB OF NEAREST INTERSECTION SHALL BE 30'.
4. MINIMUM DISTANCE FROM EDGE OF TREE PIT TO NEAREST WALL OR FENCE SHALL BE 5'.
5. NO TREES SHALL BE INSTALLED BETWEEN UTILITY VAULTS AND CURB.
6. DO NOT PLANT NEW TREES UNDER OVERHEAD BRANCHES OF ADJACENT TREES.
7. TREE CROWN AND TRUNK SHALL BE FREE OF DEFECTS AND TRUE TO FORM.
8. MAINTENANCE TRACKING TAG SHALL BE ATTACHED TO STURDY SCAFFOLD BRANCH.
9. NO PAVERS, 4 SIDED TREE GUARDS, OR OTHER MATERIALS SHALL BE PLACED WITHIN THE TREE BED.
10. CUT AND REMOVE BURLAP FROM TOP 2/3 OF ROOT BALL, REMOVE WIRE BASKET COMPLETELY.
11. FLOOD TREES WITH WATER WITHIN THE FIRST 24 HOURS OF PLANTING.
12. NSTALL PHO TREE SAVER MYCORRHIZAL FUNGAL TRANSPLANT INOCULANT FOR TREES AND SHRUBS. INSTALL ONE 3 OUNCE PACKET PER CALIPER INCH OR PER 1 FOOT OF ROOTBALL DIA.
13. CONTRACTOR SHALL HAVE A GUARANTEE PERIOD OF 2 YEARS FOR EACH TREE PLANTED.
14. TOPSOIL SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - 14.1. NATURAL LOAM WITH THE ADDITION OF COMPOST OR HUMUS
 - 14.2. ORGANIC MATTER CONTENT SHALL BE BETWEEN 5% - 12%
 - 14.3. THE pH SHALL BE IN THE RANGE OF 6.0 TO 7.0 INCLUSIVE, UNLESS OTHERWISE APPROVED OR SPECIFIED BY THE JERSEY CITY FORESTER
- 14.4. SOIL TEXTURAL ANALYSIS: TOP SOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY. ANY SOIL THAT DOES NOT MEET THE REQUIREMENTS BELOW WILL BE REJECTED AND REMOVED FROM THE SITE.

ROCKS, STONE AND GRAVEL >2.0 mm	<5%
SAND (0.05-2.0 mm)	40 - 60%
SILT (0.002 - 0.05mm)	20 - 50%
CLAY (<0.002 mm)	20% MAXIMUM
- 14.5. WHEN TOPSOIL OTHERWISE COMPLIES WITH THE REQUIREMENTS OF THE SPECIFICATION BUT SHOWS A DEFICIENCY IN ORGANIC MATTER, COMPOST MAY BE INCORPORATED WHEN AND AS PERMITTED BY THE FORESTER.
15. ROOT BALL SIZE RELATIVE TO TREE HEIGHT SHALL BE WITHIN THE RANGES SET BY THE AMERICAN NURSERY STANDARDS

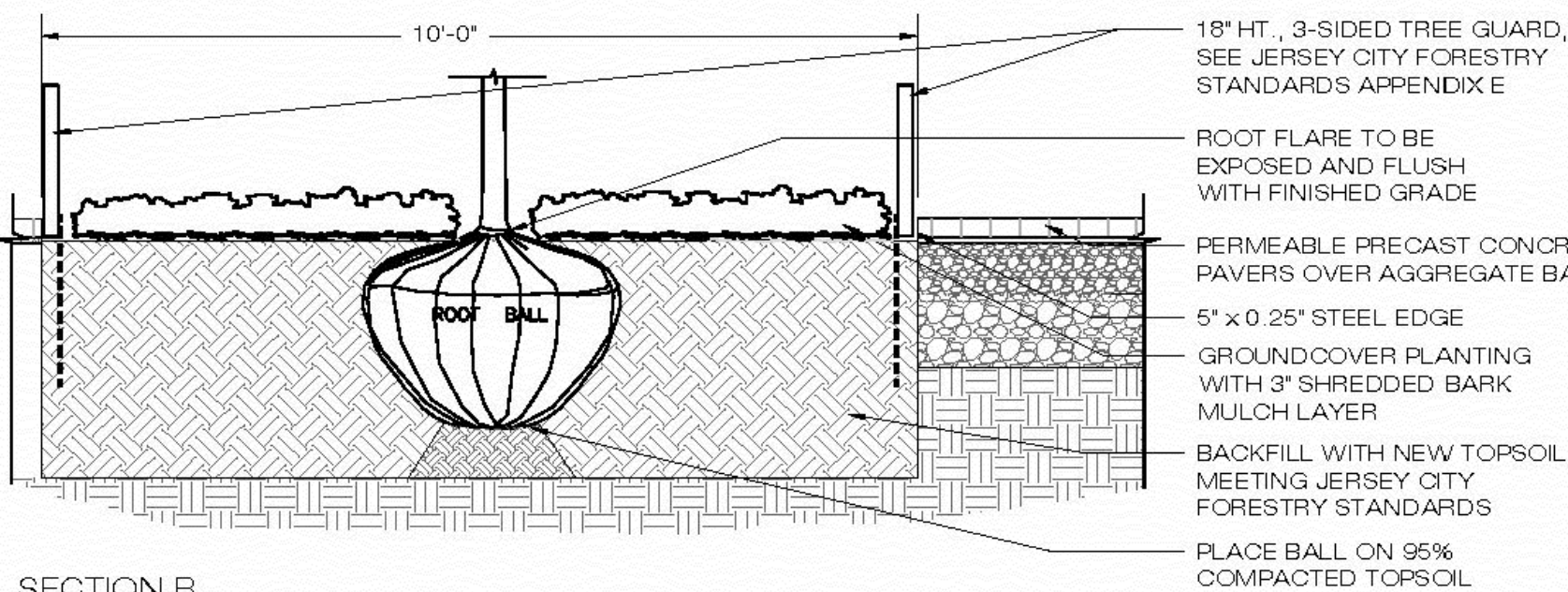


TYPICAL TREE PLANTING & STAKE DETAIL

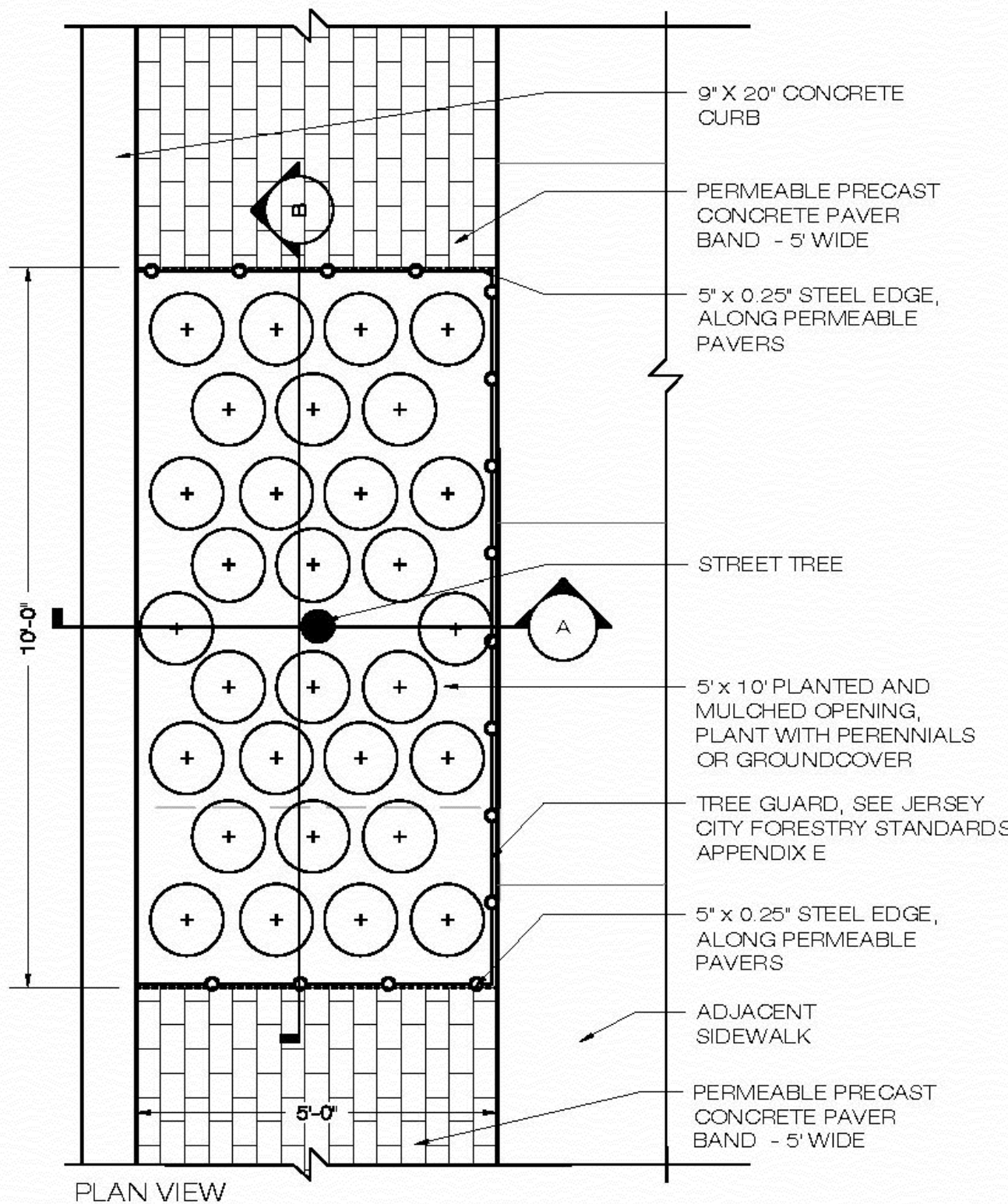
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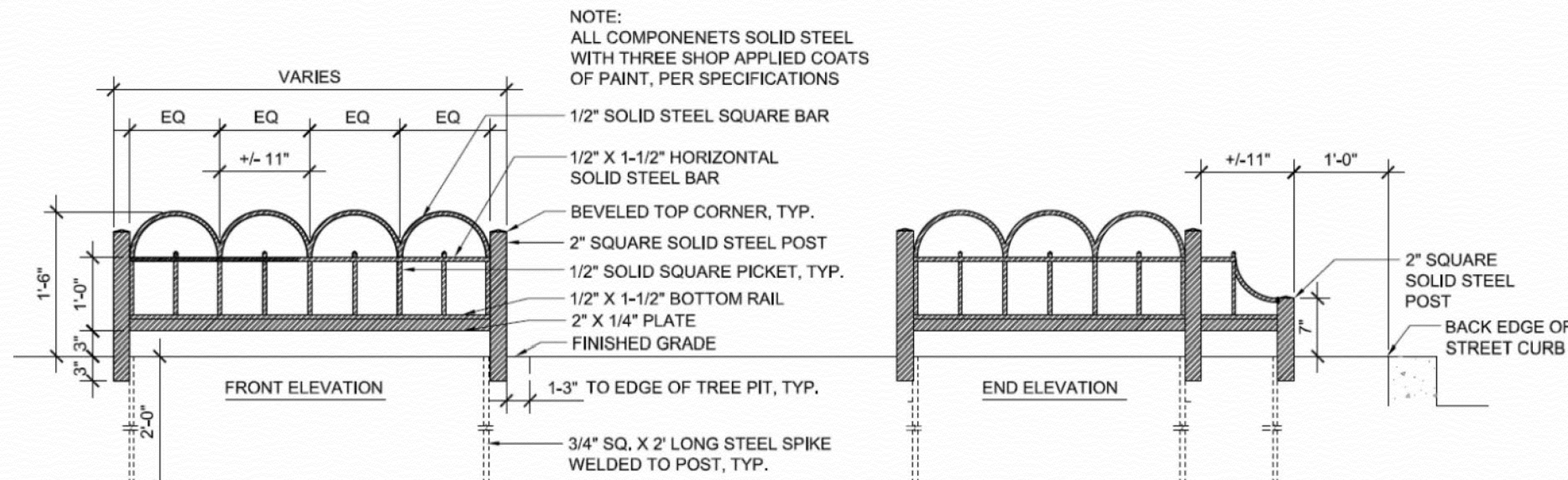
SECTION A



SECTION B



PLAN VIEW



TREE PIT GUARD TYPE 'A'

NOT TO SCALE

TYPE 'A' THREE-SIDED DESIGN

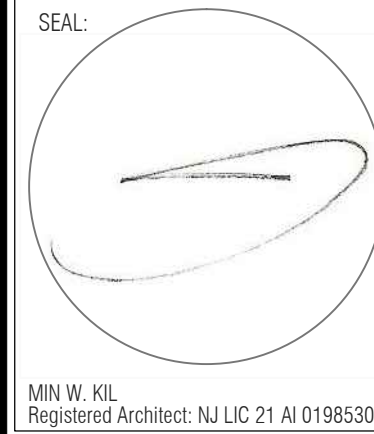
NOT TO SCALE

TYPICAL STREET TREE PLANTING DETAIL- 5'X 10' OPEN TREE PIT

NOT TO SCALE

TYPICAL TYPE A TREE GUARD DETAILS

NOT TO SCALE



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PROPOSED 4
STORY MIXED
USE BUILDING
W/ 3
DWELLING
UNITS &
GROUND
FLOOR
COMMERCIAL

ADDRESS:
483 DR. MARTIN
LUTHER KING DRIVE
JERSEY CITY, NJ

BLOCK: 19501
LOT: 26

FOR:

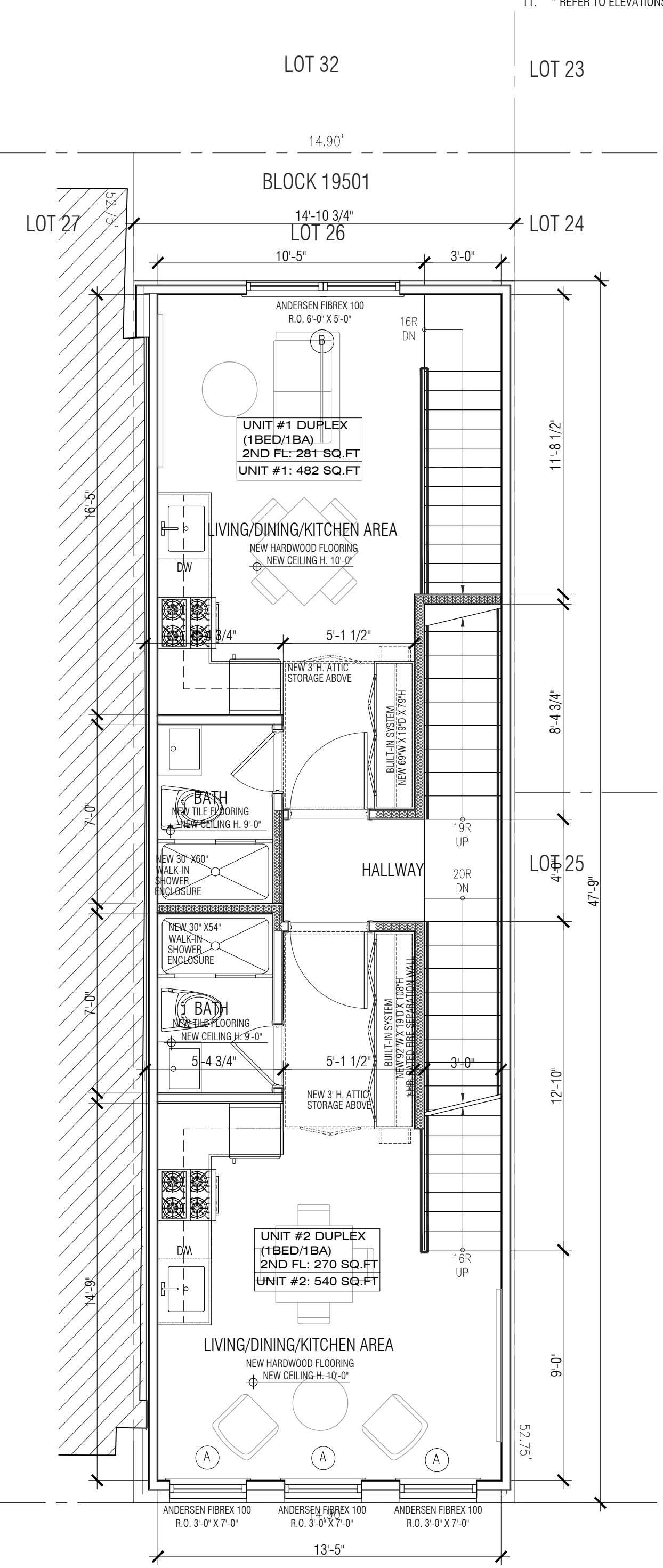
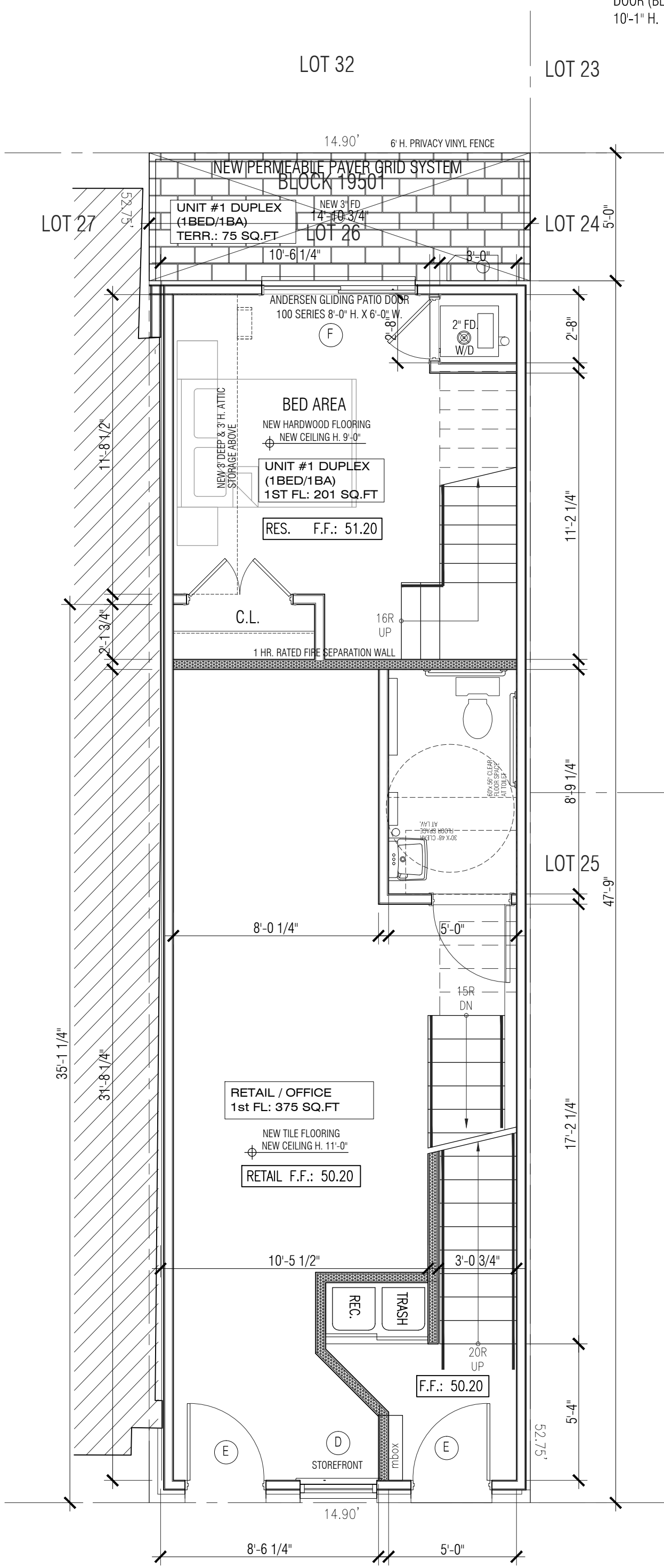
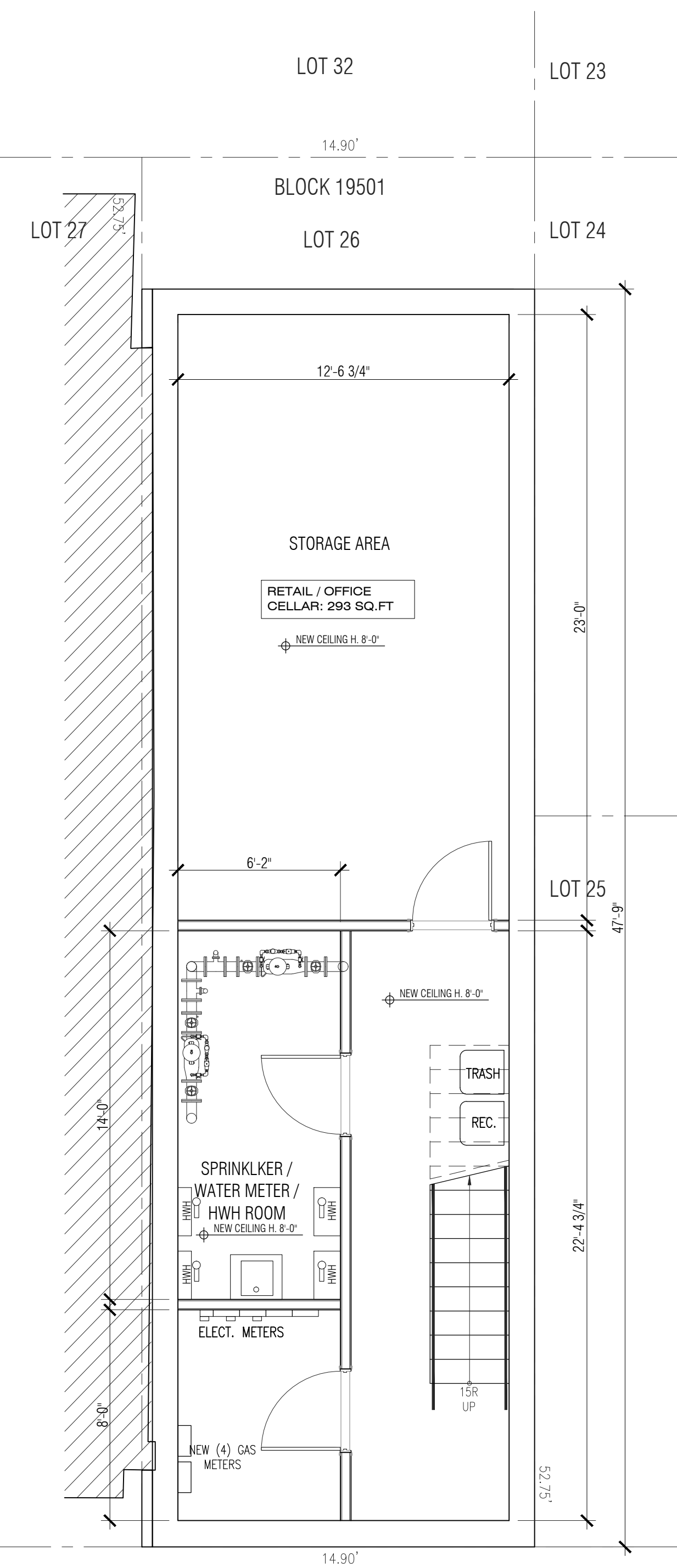
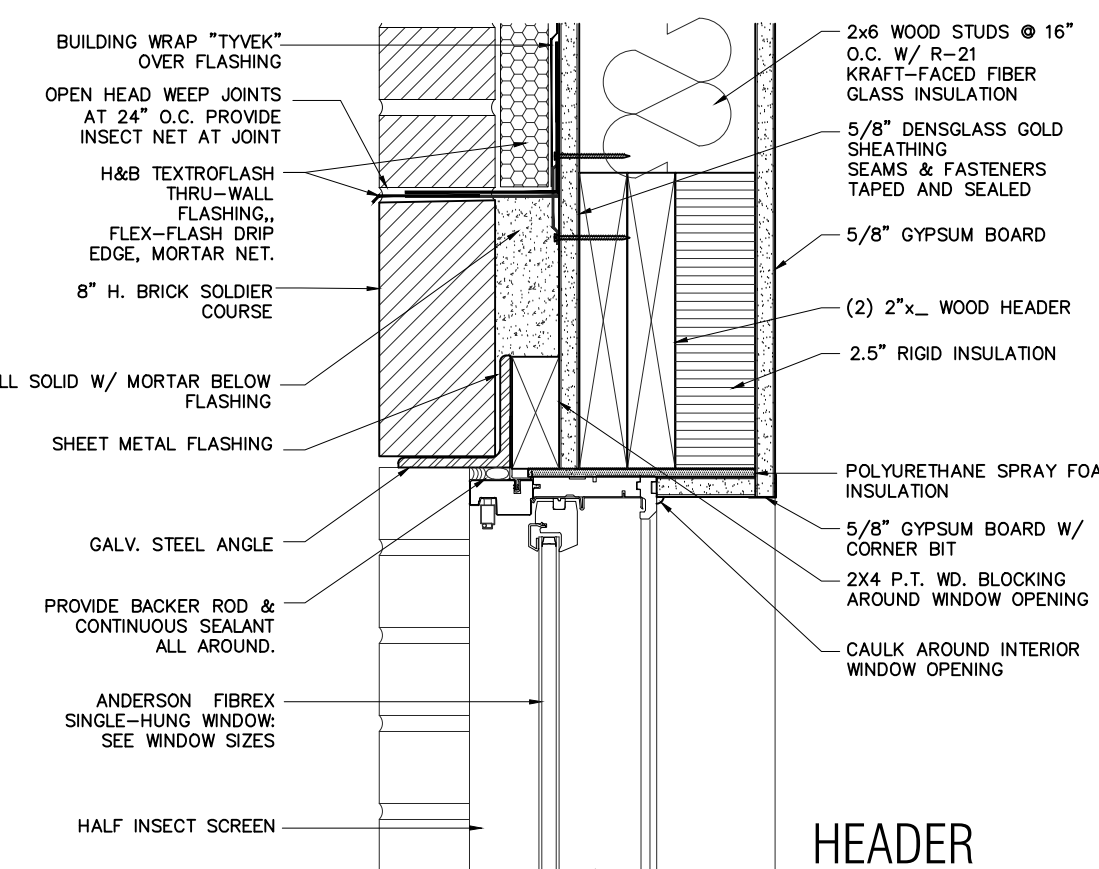
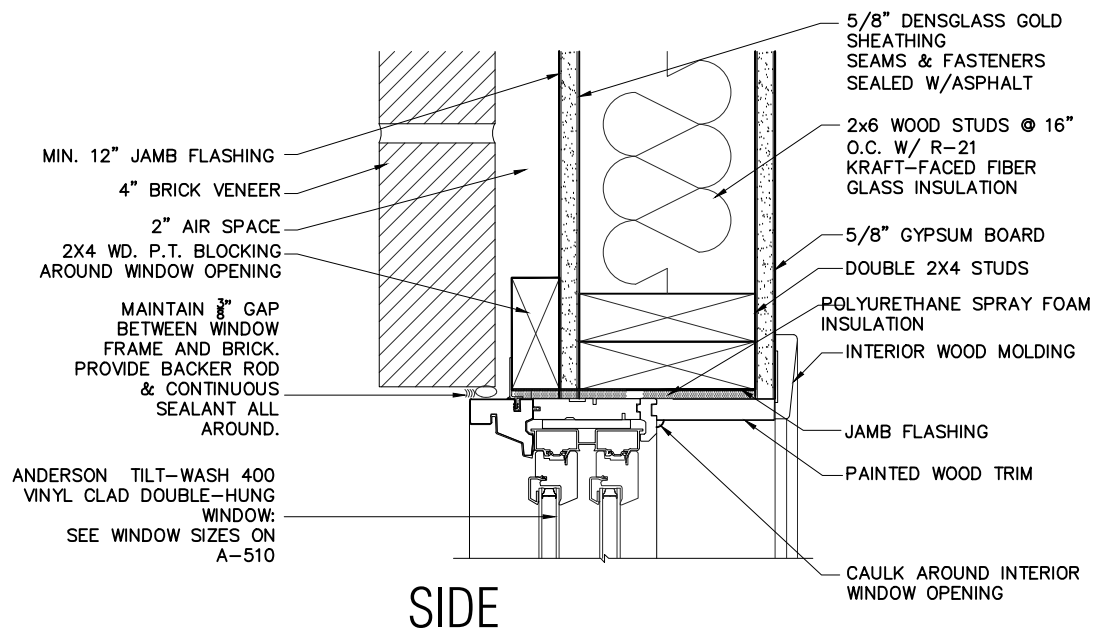
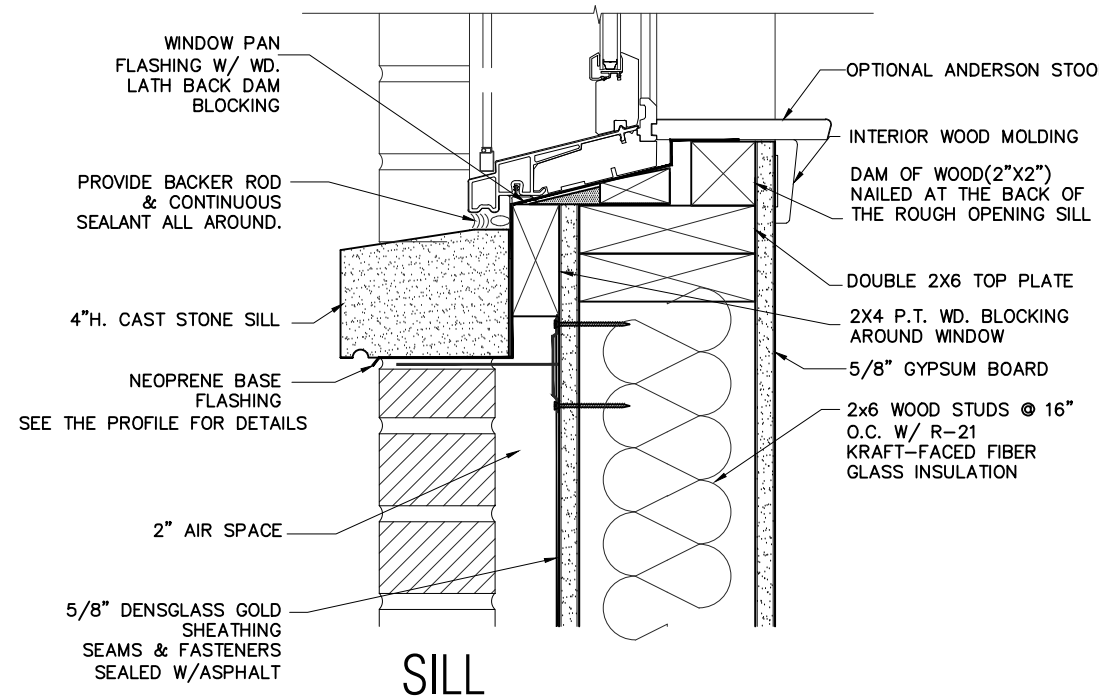
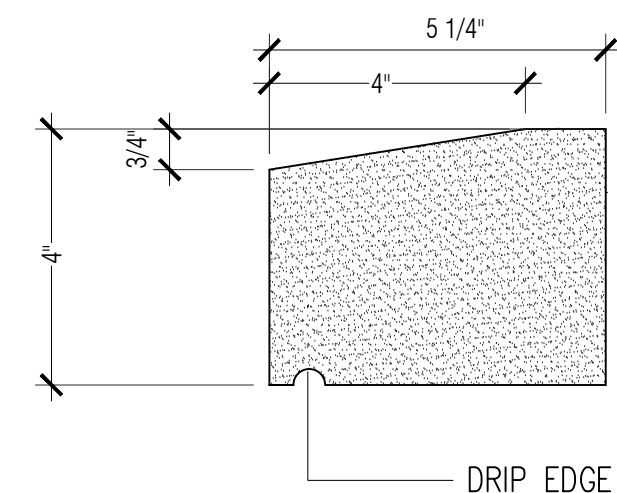
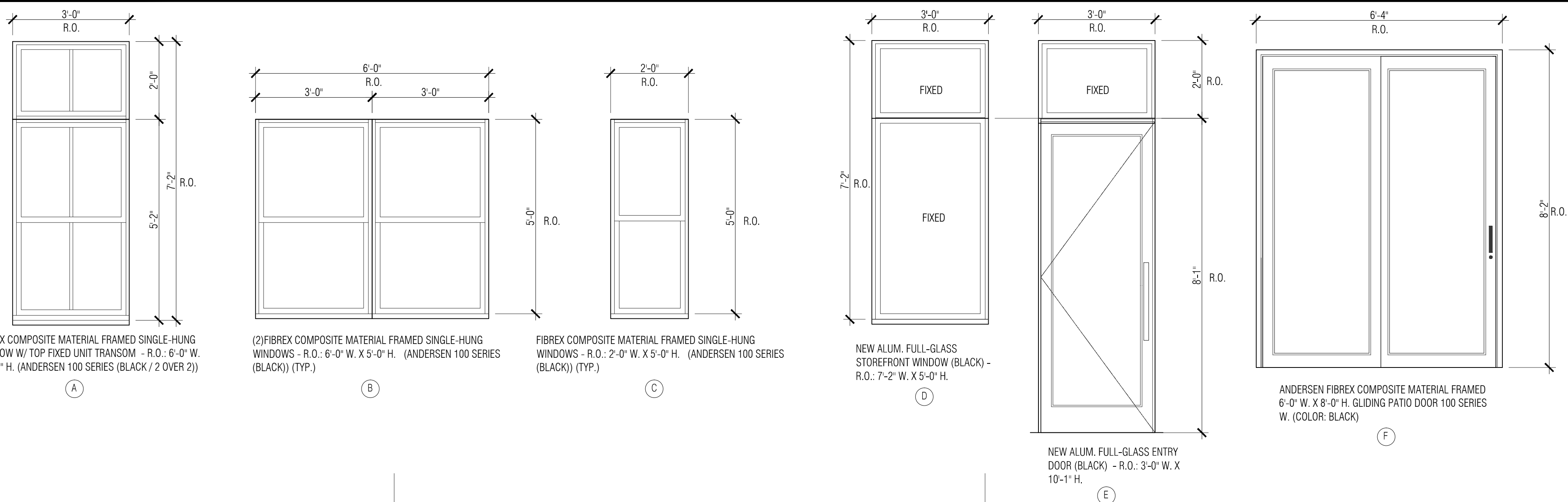
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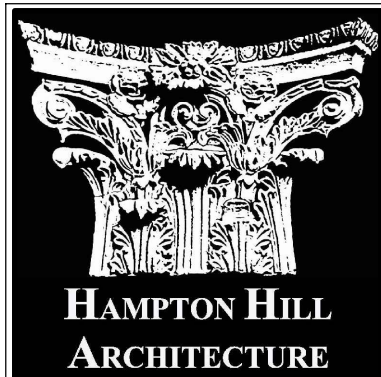
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CHKD BY: MK
ISSUE DATE: 08.19.2020
PROJECT NO: 20025

SHEET TITLE:
PROPOSED STREET TREE
SITE DETAILS & NOTES

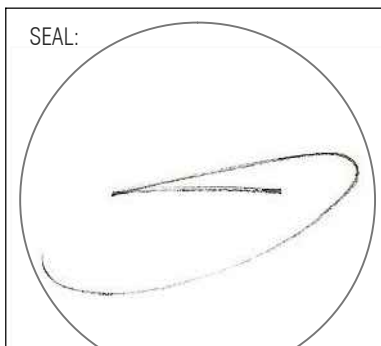
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C-210





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STORY MIXED
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FLOOR
COMMERCIAL**

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BLOCK: 19501
LOT: 26

FOR:

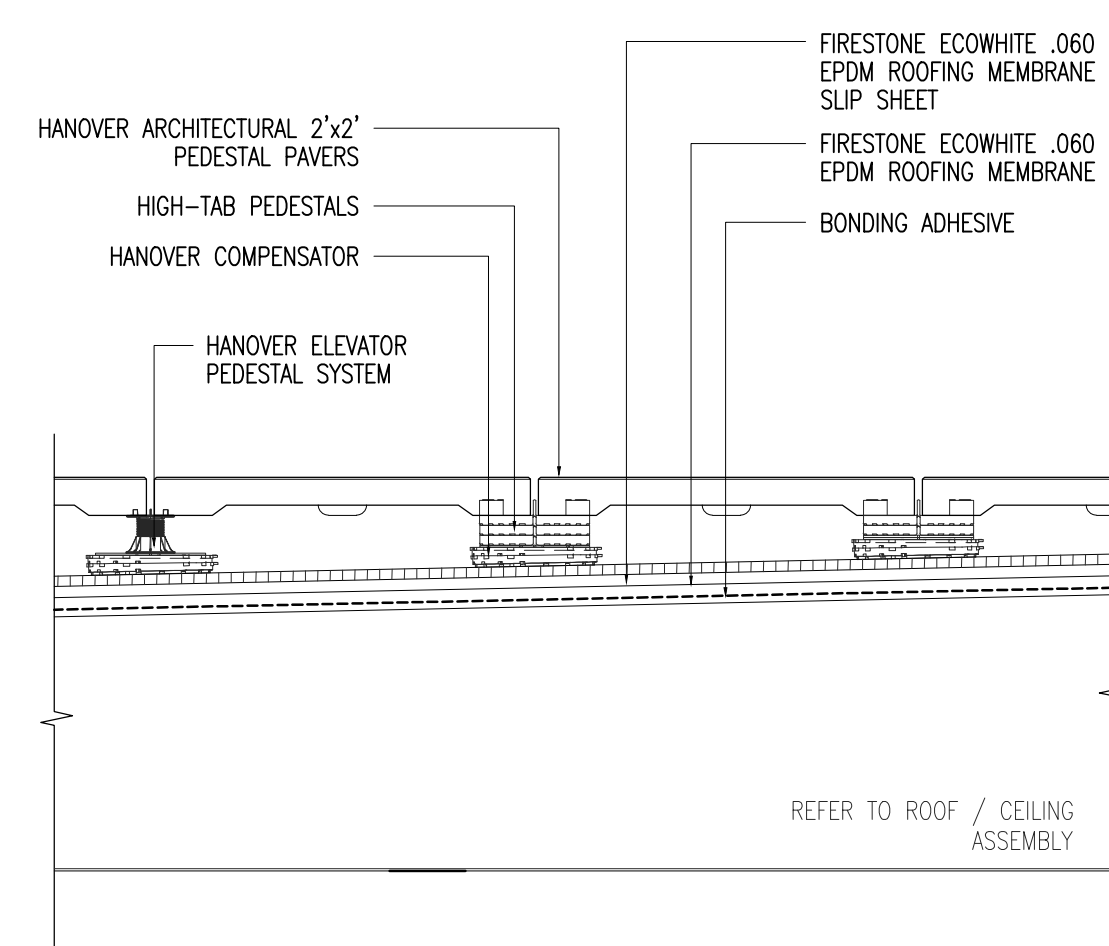
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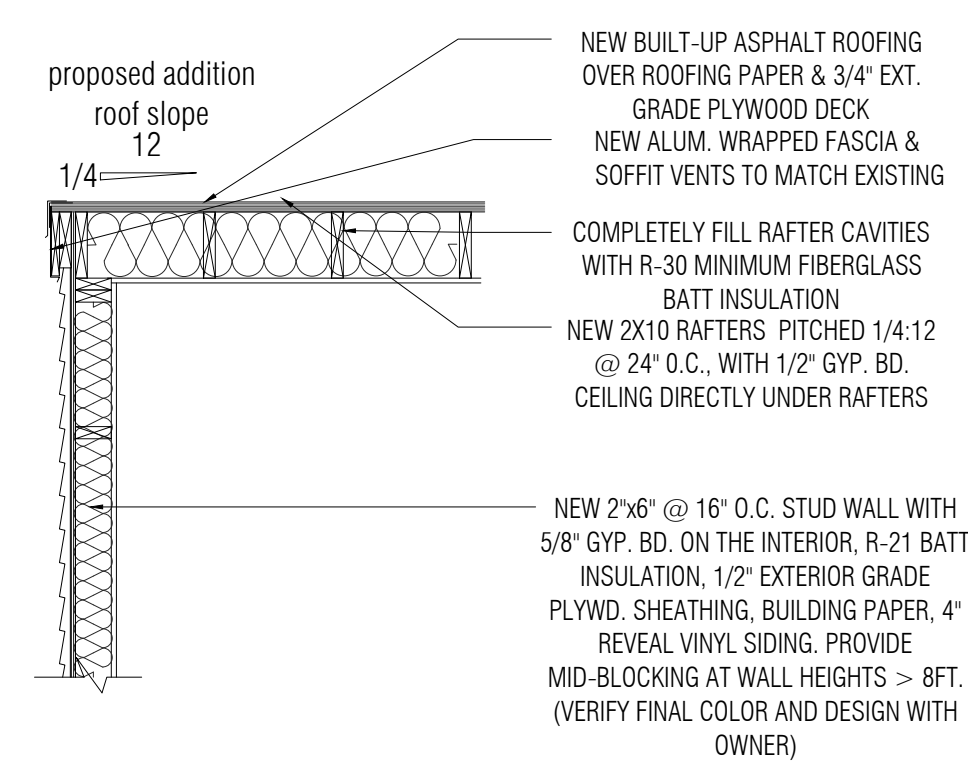
SHEET TITLE:
PROPOSED FLOOR PLANS

SHEET No.

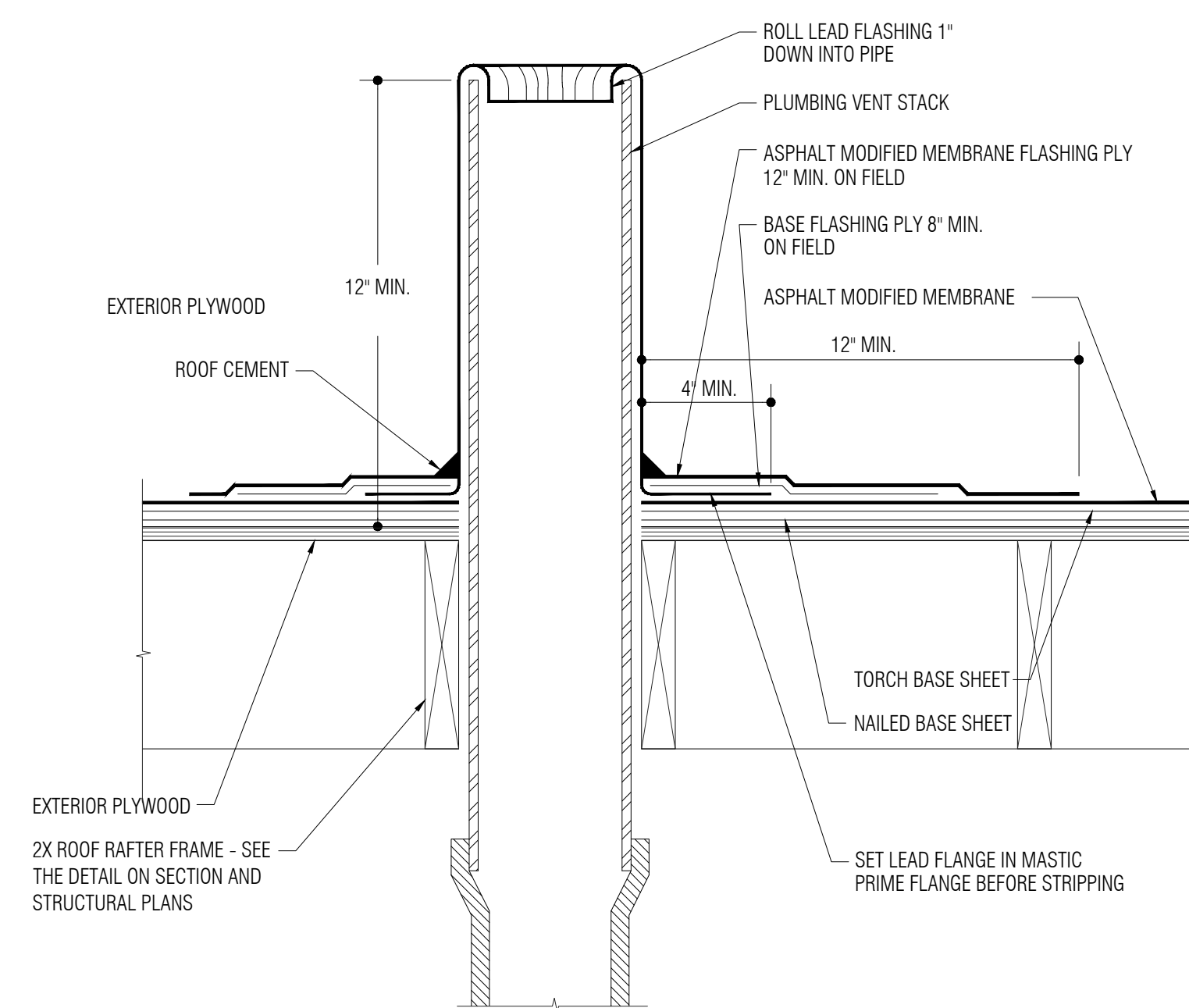
A-110



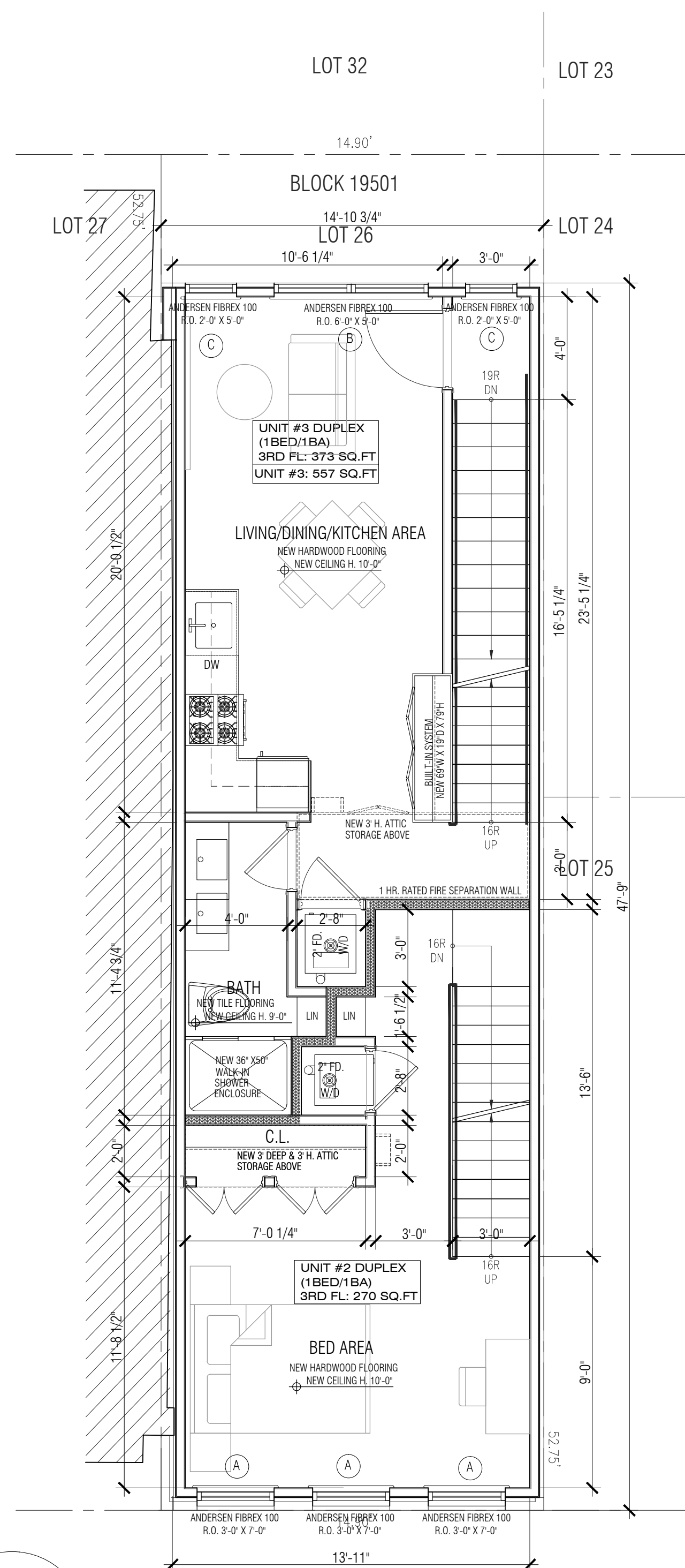
**TYPICAL FLOOR/CEILING
ASSEMBLY AT GREEN ROOF PAVERS**
SCALE: N.T.S.



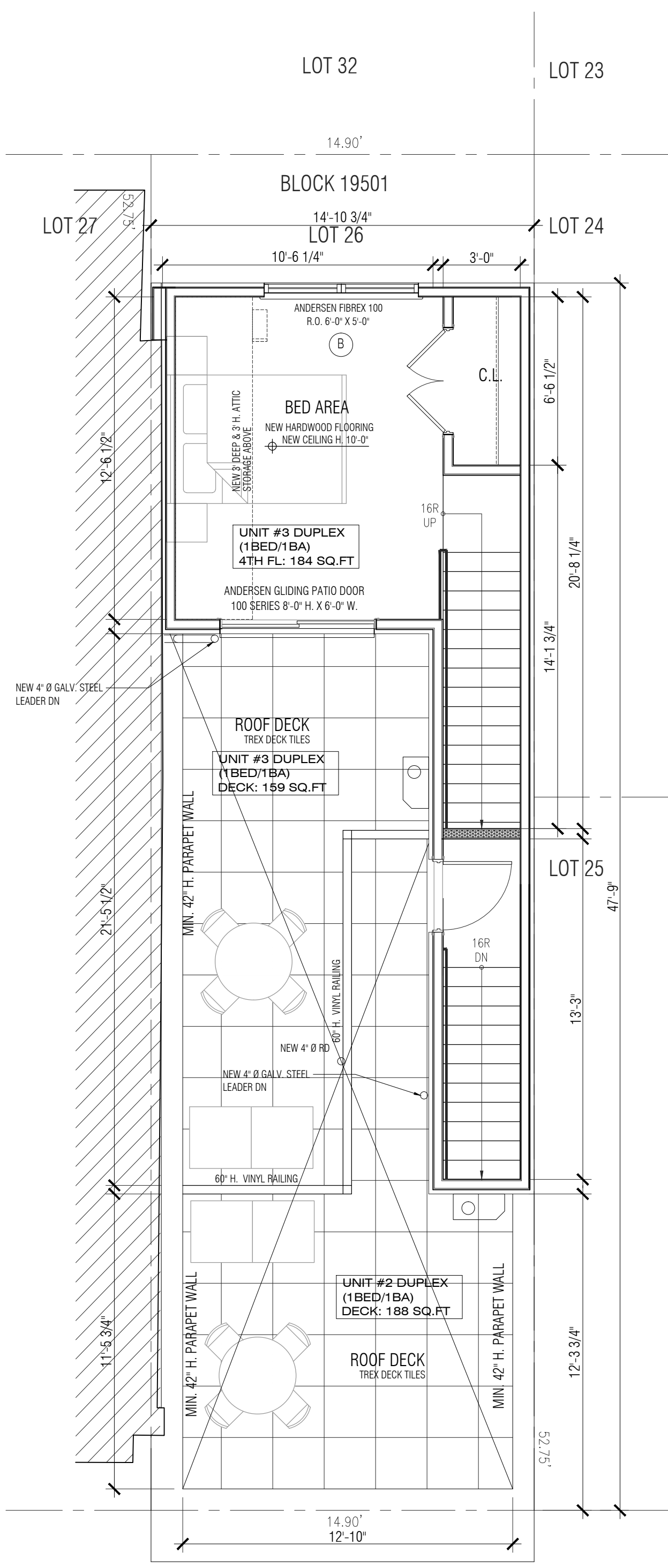
SECTION @ STAIR BULKHEAD
SCALE: 1/2" = 1'-0"



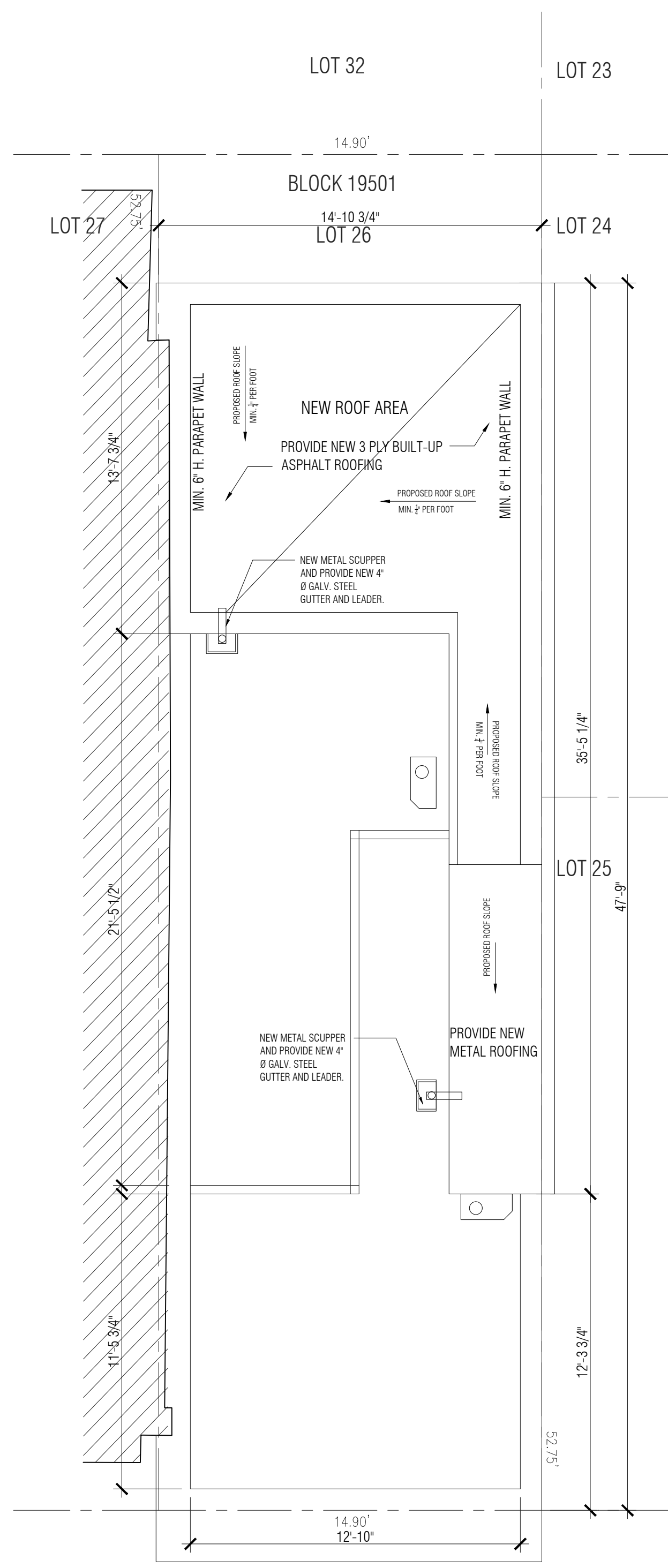
TYPICAL PLUMBING STACK
SCALE: N.T.S.



1 PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"
GROSS FLOOR AREA: 694 SF



2 PROPOSED FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"
GROSS FLOOR AREA: 198 SF



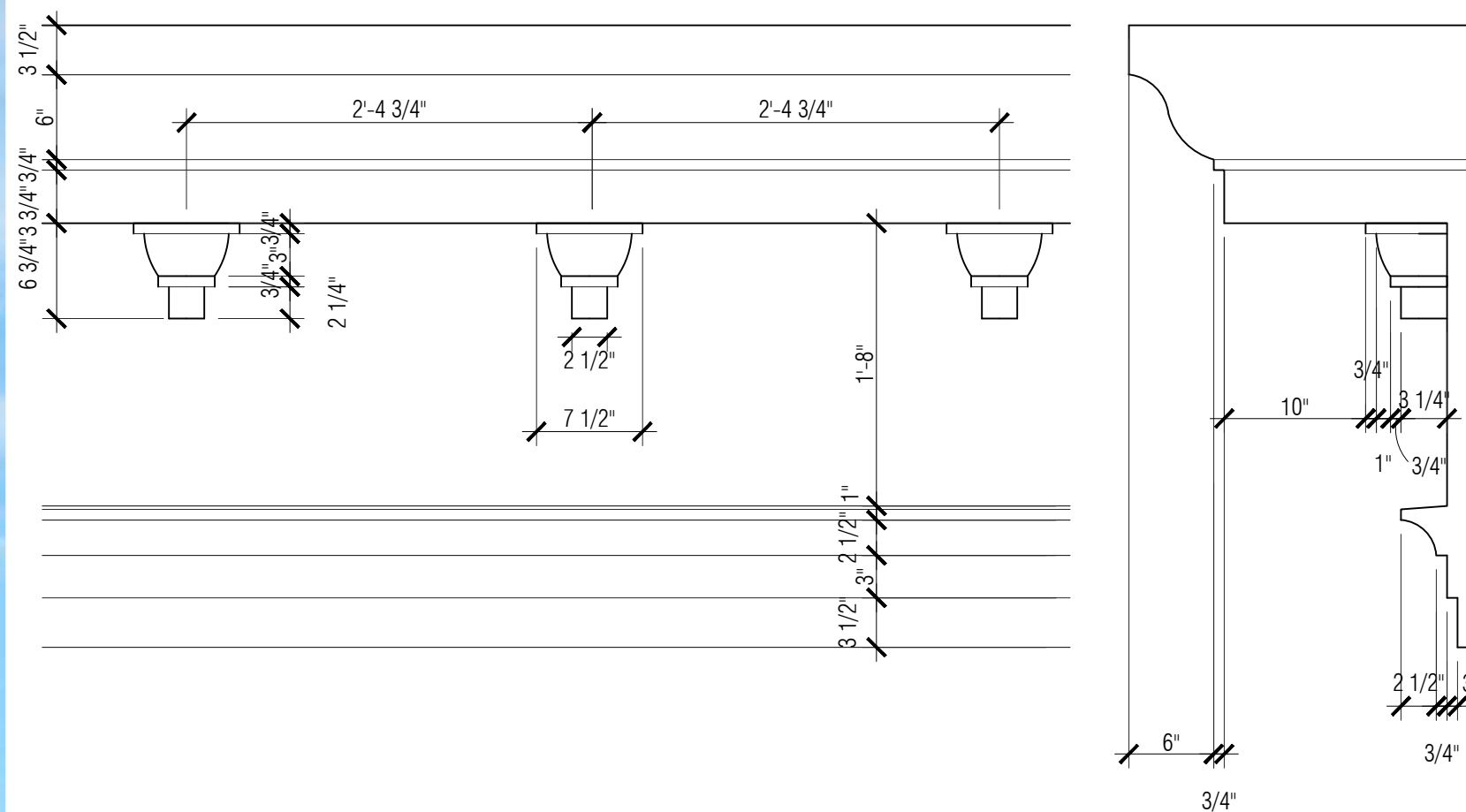
3 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

NEW 6" H. X 2" DEEP BRUSHED FINISHED ALUM.
BUILDING ADDRESS SIGNAGE LETTERS MOUNTED ON
WALL, TYP. - SEE THE SIGN REQUIREMENT FROM THE
CURRENT REDEVELOPMENT ORDINANCES (JET BLACK)



**PROPOSED 4
STORY MIXED
USE BUILDING
W/ 3
DWELLING
UNITS &
GROUND
FLOOR
COMMERCIAL**

ADDRESS:
483 DR. MARTIN
LUTHER KING DRIVE
JERSEY CITY, NJ

BLOCK: 19501
LOT: 26

FOR:

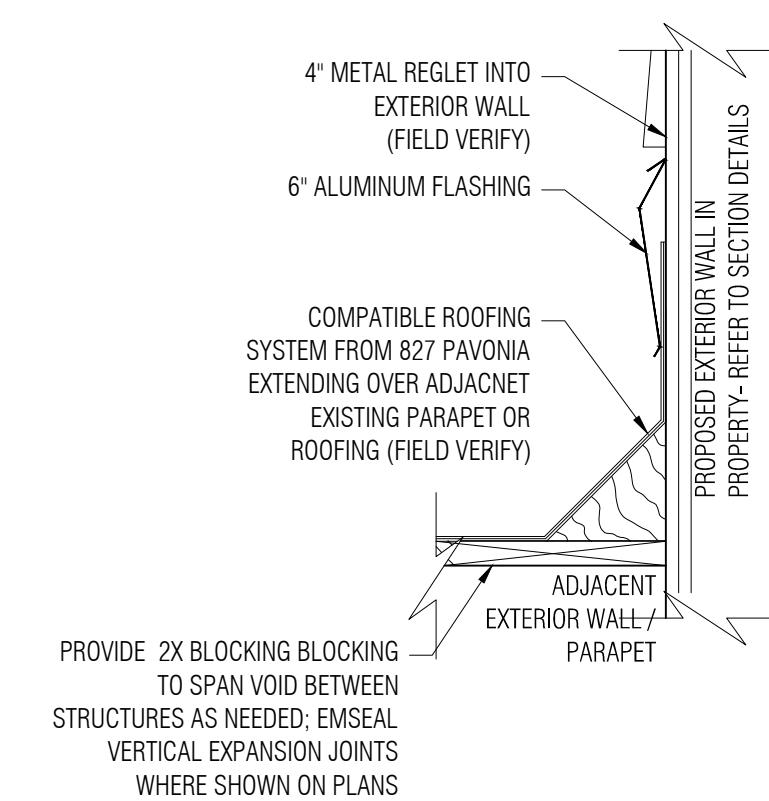
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ISSUE DATE: 08.19.2020
PROJECT NO: 20025

SHEET TITLE:
PROPOSED BUILDING
ELEVATIONS

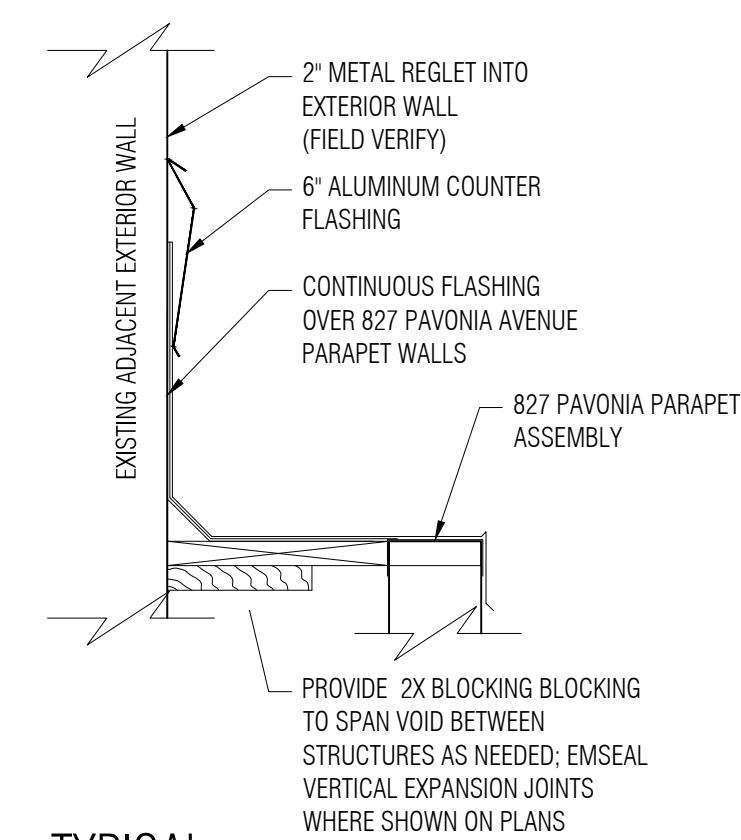
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A-210



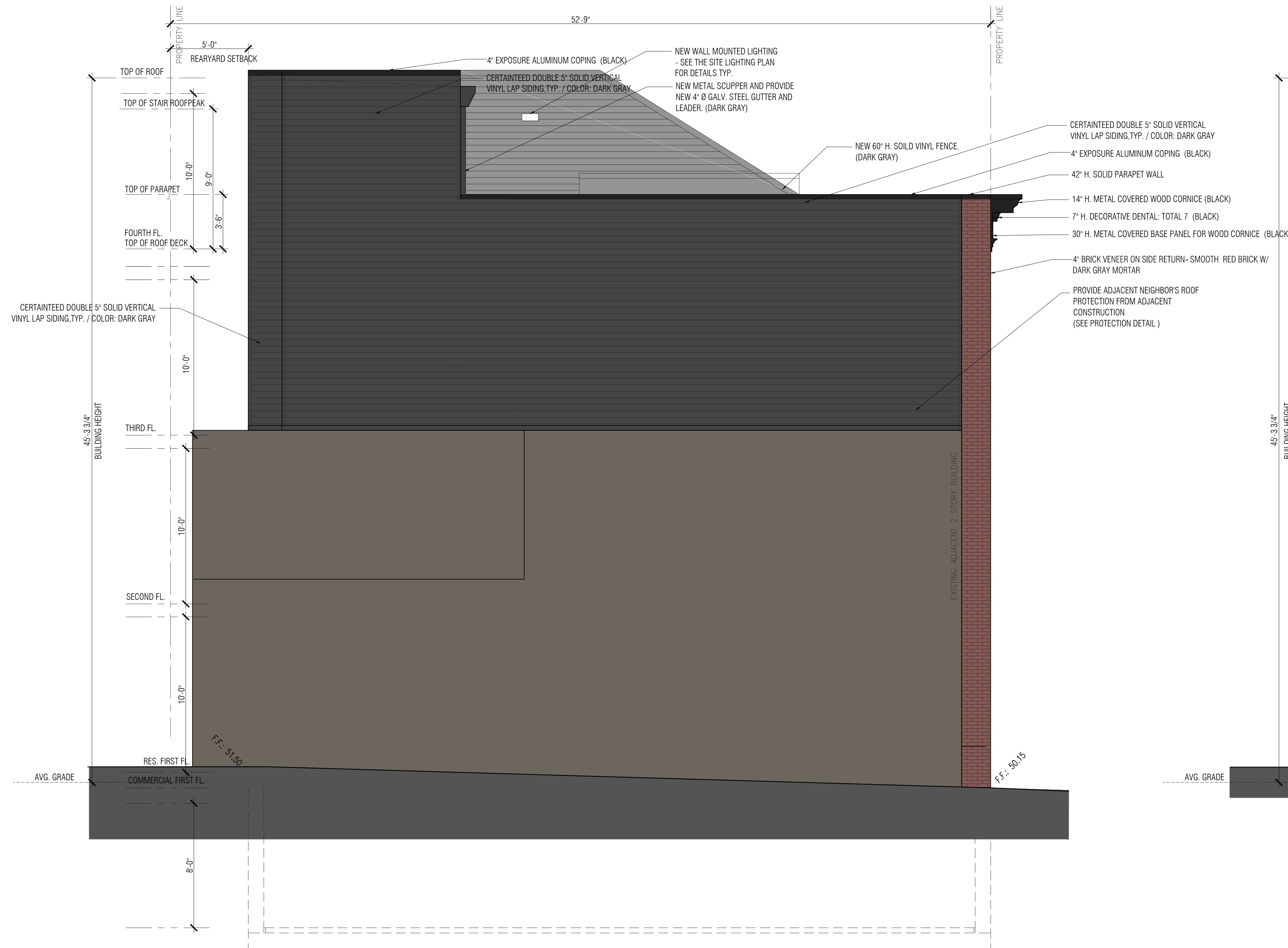
**TYPICAL
ADJACENT PARAPET PROTECTION DETAILS
@ HIGHER PARAPET WALL
FROM THE ADJACENT PROPERTY**

SCALE: N.T.S.

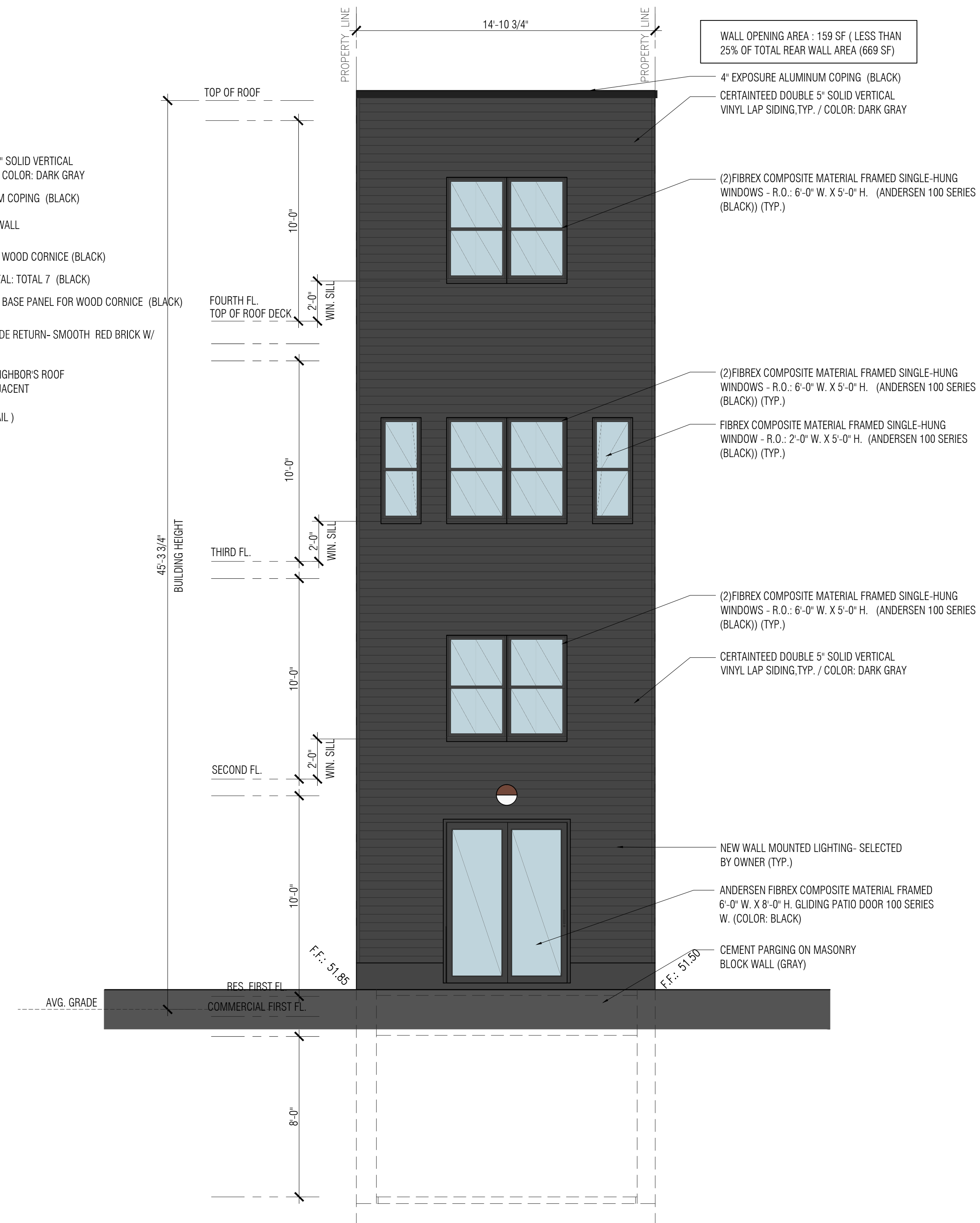


**TYPICAL
ADJACENT PARAPET PROTECTION DETAILS
@ LOWER PARAPET WALL
FROM THE ADJACENT PROPERTY**

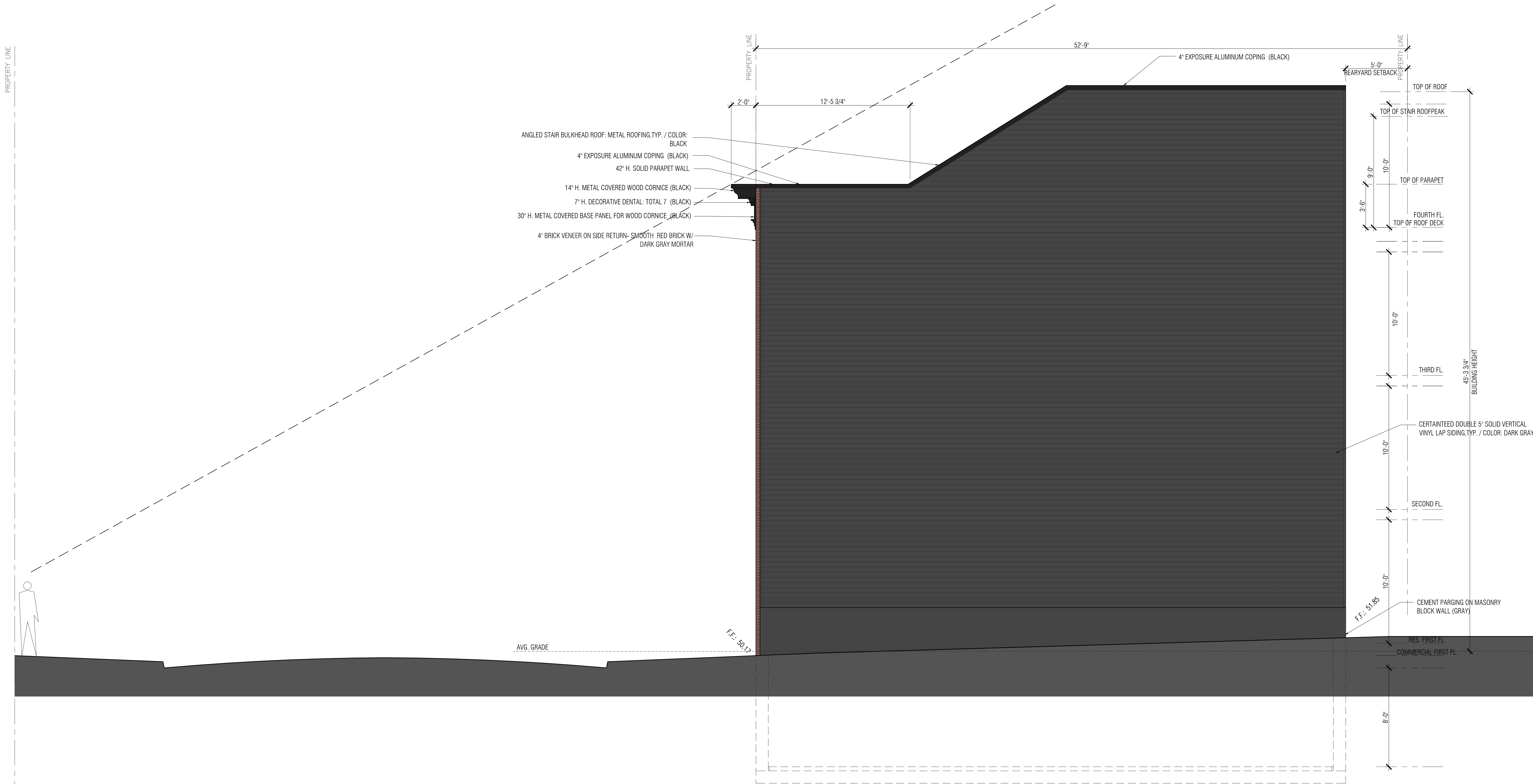
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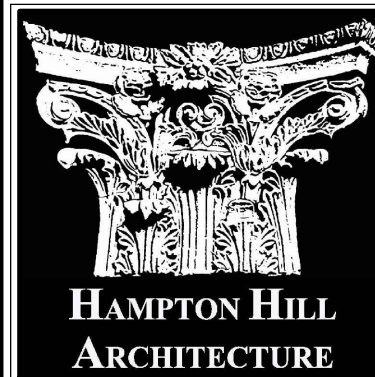
2 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



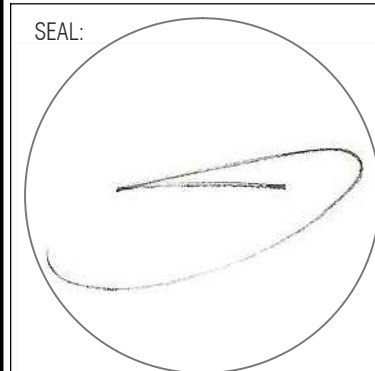
1 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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FOR:

REVISIONS:

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SHEET TITLE:
PROPOSED BUILDING
ELEVATIONS

SHEET No.
A-220