483 DR. MARTIN LUTHER KING DRIVE JERSEY CITY, NJ

BLOCK: 19501

PROPOSED 4 STORY MIXED USE BUILDING

W/ 3 DWELLING UNITS & GROUND FLOOR COMMERCIAL

ZONING & BUILDING DATA

USE GROUP CLASSIFICATION

MIXED USE BUILDING: R-2 MULTI-FAMILY RESIDENTIAL B BUSINESS

CONSTRUCTION CLASSIFICATION

TYPE V(A): PROTECTED COMBUSTIBLE RESIDENTIAL:

GENERAL BUILDING AREA

	NET	GROSS	FL. TO CLG. HT.	ZONING REQ.
FIRST FLOOR	576 SF	694 SF	11.0' (CLG.)	10' MIN 14'-0" MAX
SECOND FLOOR	551SF	694 SF	10.0' (CLG.)	9'-0" MIN.
THIRD FLOOR	643 SF	694 SF	10.0' (CLG.)	9'-0" MIN.
FOURTH FLOOR .	184 SF	198 SF	10.0' (CLG.)	9'-0" MIN.
TOTAL 1	957 SE (2 280 SF		

MEANS OF EGRESS

	BUILDING OCCUPANT LOAD	OCCUPANT LOAD
	RESIDENTIAL (1,887 SF GROSS/200 SF (table 1004.1.2)	9.4
ı	COMMERCIAL (375+293 (CELLAR) SF GROSS/60 SF (table 1004.1.2)	11.2
	TOTAL OCCUPANT LOAD:	20.6
	OCCUPANCY PER FLOOR	
	CELLAR - COMMERCIAL (293 SF GROSS/60 SF)	4.9 PER FLOOR
	1ST FLOOR - COMM(375 SF GROSS/60 SF) + RES, (301 SF GROSS/200 SF)	
	2ND FLOOR - RESIDENTIAL (694 SF GROSS/200 SF) ———————————————————————————————————	3.5 PER FLOOR

IDED
MAX.
36"
36"
EAR
\

INTERIOR ENVIRONMENT (DWELLING UNITS)

	REQUIRED	PROVIDED
CEILING HEIGHTS (ALL SPACES)	7'-6" MIN.	10'-0"
SOUND TRANSMISSION CONTROL UNIT SEPARATIONS - FLOORS/CEILINGS	50 STC MIN. (45 IF FIELD TESTED)	STC 54
UNIT SEPARATIONS - WALLS	50 STC MIN. (45 IF FIELD TESTED)	STC 50
STRUCTURE BORNE SOUND UNIT SEPARATIONS - FLOORS/CEILINGS	50 IIC MIN. (45 IF FIELD TESTED)	IIC 51

GENERAL BUILDING DATA

LOT: 26 BLOCK: 19501 ZONING DISTRICT: JACKSON HILL REDEVELOPMENT AREA (NEIGHBORHOOD MIXED USE DEVELOPMENT)

PROPOSED WORK: NEW 4 STORY MIXED USE BUILDING W/ 3 APARTMENTS & GROUND PROPOSED PRINCIPAL USE: MIXED-USE / RESIDENTIAL (2ND TO 3RD FL.) &

COMMERCIAL / RESIDENTIAL (GROUND FL)

FIRE SPRINKLER: YES (AS PER SEC. 903.3.1.1)

BUILDING GROSS AREA: 2,349 SF BUILDING HEIGHT: 45'-4" FT.

BUILDING VOLUME: 25,838 CF

ROOF CONSTRUCTION

FIRE RESISTANCE RATINGS

FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS IN HOURS (table 601)

in the end (table 661)	
STRUCTURAL FRAME	
INCLUDING COLUMNS, GIRDERS & TRUSSES	1 }
BEARING WALLS EXTERIOR WALLS INTERIOR WALLS	1 l 1 l
NONBEARING WALLS & PARTITIONS EXTERIOR WALLS INTERIOR WALLS	1 H 0 H

INCLUDING SUPPORTING BEAMS & JOISTS FIRE PARTITIONS (SECTION 708) EXIT ACCESS CORRIDORS (table 1004.3.2.1)

INCLUDING SUPPORTING BEAMS & JOISTS

1. SUPERVISED AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED PER SECTION 903.1.1. NFPA 13R.

2. CLASS I STANDPIPE REQUIRED (PER SECTION 905.3.1(1) AND PROVIDED.

3. FIRE DEPT. SIAMESE CONNECTION (LOCATED PER LOCAL OFFICIAL) PROVIDED.

4. ANNUNCIATOR AND REMOTE ANNUNCIATOR PANELS PROVIDED 5. FIRE STOP @ CONCEALED SPACES AND PENETRATIONS

6. INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP LOCATED IN EACH BEDROOM, DIRECTLY OUTSIDE SLEEPING AREAS WITHIN 10' OF BEDROOM DOORS

7. TAMPER AND FLOW SWITCHES PROVIDED.

FIRE PROTECTION SYSTEM

8. MANUAL PULL STATIONS PROVIDED.

9. AUDIBLE AND VISUAL ALARM INDICATING DEVICES SHALL BE CONNECTED TO WATER SPRINKLER SYSTEM

10. SPRINKLER SYSTEM SHALL BE TESTED AND MAINTAINED PER THE INTERNATIONAL

11. FIRE PROTECTION SUBCONTRACTOR SHALL PREPARE SPRINKLER AND FIRE PROTECTION WATER SERVICE SHOP DRAWINGS

ALONG WITH HYDRAULIC CALCULATIONS PREPARED BY N.J. LICENSED ENGINEER SUBMIT TO ARCHITECT FOR APPROVAL

12. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING FIRE PROTECTION PERMIT AND ALL REQUIRED INSPECTIONS OF THE WORK. PROVIDE OWNER W/ COPIES OF ALL PERMITS AND APPROVALS.

ZONING COMPARISON CHART (JACKSON HILL REDEVELOPMENT)

ITEM	REQ.	EXISTING	PROPOSED	VARIANCE
— PRINCIPAL USE	SEE BELOW NOTE 1*	VACANT LOT	MULTI-FAMILY RES./ COMMERCIAL	NO
— MIN. LOT SIZE	EVICTING LOT ARE CONFORMING	785.975 SF	NO CHANGE	NO
— MIN. LOT WIDTH	EXISTING LOT ARE CONFORMING	14.9 FT.	NO CHANGE	NO
— MIN. SIDE YARD	NO REQUIREMENT	N/A	0 FT.	NO
— MIN. REAR YARD GROUND FLOOR	NOT EXTEND GREATER THAN 95 FT. FROM R.O.W.	N/A	47'-9" 47'-9"	NO NO
ABOVE FLOORS	NOT EXTEND GREATER THAN 85 FT. FROM R.O.W.	N/A	47 -9	NO
— BLDG. HEIGHT 0- TO 8,999 SF	MIN. 2 / MAX. 6 STORIES MIN. 25' / MAX. 65 FT.	N/A	4 STORY 45'-4" FT.	NO
— MIN. SIDEWALK WIDTH	PREVAILING OR MINIMUM OF 8 FEET	10'-0"	NO CHANGES	NO
— MAX. OFF STREET PARKING RESIDENTIAL COMMERCIAL	1.5 SPACES PER DWELLING UNIT 1.5 SPACES PER 1,000 SF OF COMMERCIAL GROSS FLOOR AREA.	N/A N/A	0 SPACES (NO CURB CUT ALLOWED 0 SPACES (668 SF)	NO NO
— MIN. INDIVIDUAL FLOOR HEI	GHT 10' FOR GROUND FL. 9' FOR ALL OTHER FL.	N/A N/A	10' 10'	NO NO

*NOTE 1: PRINCIPAL PERMITTED USES, SUBJECT TO THE REQUIREMENTS OF SECTION VIII:

A) RESIDENTIAL ABOVE THE GROUND FLOOR (SEE VIII.B FOR EXCEPTION). B) RESIDENTIAL WITHIN GROUND FLOOR AREAS GREATER THAN 35 FEET FROM THE FOLLOWING RIGHTSOF-WAY:, C) RETAIL SALES OF GOODS AND SERVICES, D) FINANCIAL SERVICES., E) OFFICES., F) PROFESSIONAL OFFICES., G) RESTAURANTS: CATEGORY ONE AND TWO., H) CAFES., I) MEDICAL OFFICES ABOVE THE GROUND FLOOR LEVEL, EXCEPT FOR BLOCK 22601 WHERE GROUND FLOOR MEDICAL OFFICE USES SHALL BE PERMITTED. J) CHILD AND ADULT DAY CARE CENTERS ABOVE THE GROUND FLOOR LEVEL., K) ART GALLERIES., L) THEATERS., M) ARTIST STUDIO WORKSPACES., N) COMMUNITY FACILITIES/CENTERS., O) BUSINESS INCUBATORS., P) HEALTH CLUBS/GYMS. NOTE 2: ALL BUILDING SIGN NUMBERS & COMMERCIAL SIGNAGE SHALL BE CONFORMING WITH THE CURRENT JACKSON HILL REDEVELOPMENT PLAN - SIGN DESIGN REQUIREMENT

DESIGN LOADS

APARTMENTS: LL 40 PSF DL 15 PSF CORRIDORS: LL 100 PSF DL 10 PSF LL 25 PSF DL 30 PSF

WIND LOAD: BASIC WINDSPEED 115 MPH

UNIT BREAKDOWN

COMMERCIAL 1 375 SF (1ST.) + 293 SF (CELLAR) TOTAL: 668 SF

DUPLEX UNIT #1 (1BED/ 1BA) 201 SF (1ST.FL.) + 281 SF (2ND FL.) TOTAL: 482 SF

OUTDOOR DECK AREA: 75 SF

DUPLEX UNIT #2 (1BED/ 1BA) 270 SF (2ND.FL.) + 270 SF (3RD FL.) TOTAL: 540 SF

DUPLEX UNIT #2 (1BED/ 1BA) 373 SF (2ND.FL.) + 184 SF (4TH FL.)

APPLICABLE CODES

2018 International Mechanical Code

2018 National Standard Plumbing Code

2018 International Fuel Gas Code

2017 National Electrical Code

2018 IBC/NFPA

NJUCC, Subchapter 6

CURRENT REHABILITATION SUBCODE (NJAC 5:23-6)

2018 International Building Code - New Jersey Edition

2018 Energy Code Version of ASHRAE 90.1-2007

2018 International Fire Code ASME A17.1 Section 2.27

TOTAL: 557 SF OUTDOOR DECK AREA: 188 SF OUTDOOR DECK AREA: 159 SF

(NEIGHBORHOOD MIXED USE DISTRICT : Transit proximity bonus:)

II CIVI	KEU.	EXISTING	PRUPUSED	VARIANCE
— PRINCIPAL USE	SEE BELOW NOTE 1*	VACANT LOT	MULTI-FAMILY RES./ COMMERCIAL	NO
— MIN. LOT SIZE	EVICTING LOT ADE CONFODMINO	785.975 SF	NO CHANGE	NO
— MIN. LOT WIDTH	EXISTING LOT ARE CONFORMING	14.9 FT.	NO CHANGE	NO
— MIN. SIDE YARD	NO REQUIREMENT	N/A	0 FT.	NO
— MIN. REAR YARD GROUND FLOOR ABOVE FLOORS	NOT EXTEND GREATER THAN 95 FT. FROM R.O.W. NOT EXTEND GREATER THAN 85 FT. FROM R.O.W.	N/A N/A	47'-9" 47'-9"	NO NO
— BLDG. HEIGHT 0- TO 8,999 SF	MIN. 2 / MAX. 6 STORIES MIN. 25' / MAX. 65 FT.	N/A	4 STORY 45'-4" FT.	NO
— MIN. SIDEWALK WIDTH	PREVAILING OR MINIMUM OF 8 FEET	10'-0"	NO CHANGES	NO
— MAX. OFF STREET PARKING RESIDENTIAL	1.5 SPACES PER DWELLING UNIT	N/A	0 SPACES (NO CURB CUT ALLOWED)) NO

CURRENT SITE STREET VIEW

DRAWING LIST

T-100

TITLE SHEET

SITE DETAILS I

SITE DETAILS II

PROPOSED FLOOR PLANS

PROPOSED FLOOR PLANS

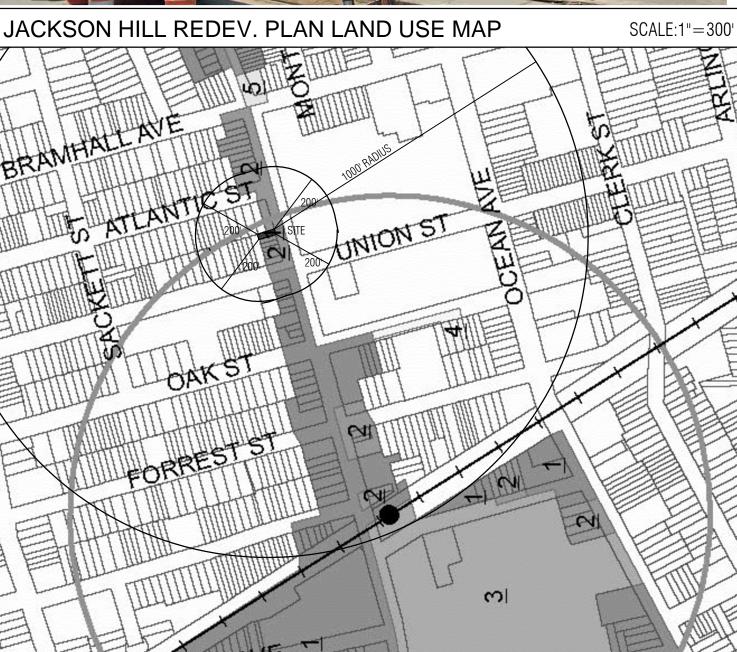
PROPOSED ELEVATIONS

PROPOSED ELEVATIONS

PROPOSED ELEVATIONS

EXISTING SITE PLAN & PROPOSED SITE PLAN / SITE DETAILS





HUB (3)

483 DR. MARTIN

ARCHITECTURE

WITHOUT THE EXPLICIT CONSENT O

HAMPTON HILL ARCHITECTURE.

PROPOSED

MIXED USE

BUILDING W

3 DWELLING

& GROUND

COMMERCIAL

FLOOR

4 STORY

Jersey City, NJ 07304

minwkil@msn.com bob.a@hamptonhillnj.com

JERSEY CITY, NJ BLOCK: 19501

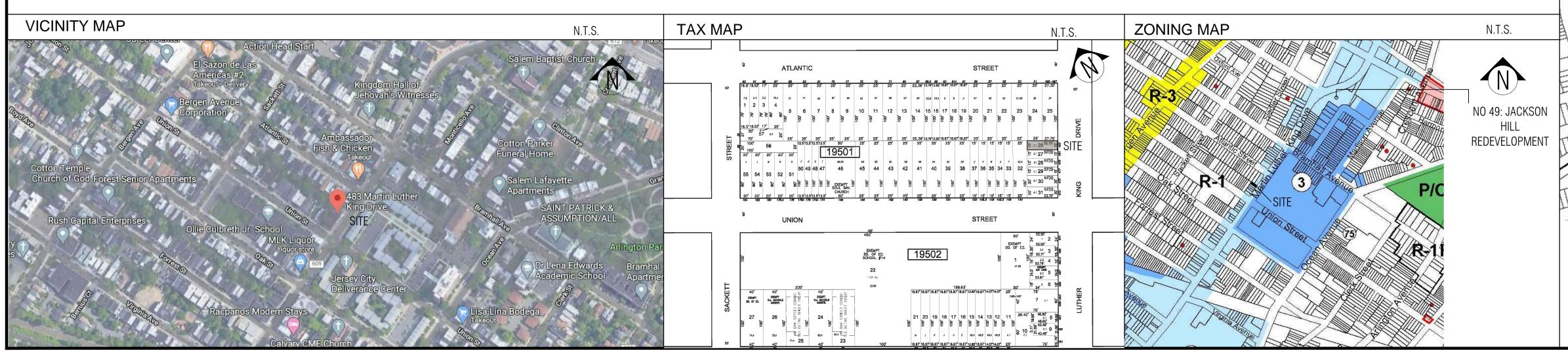
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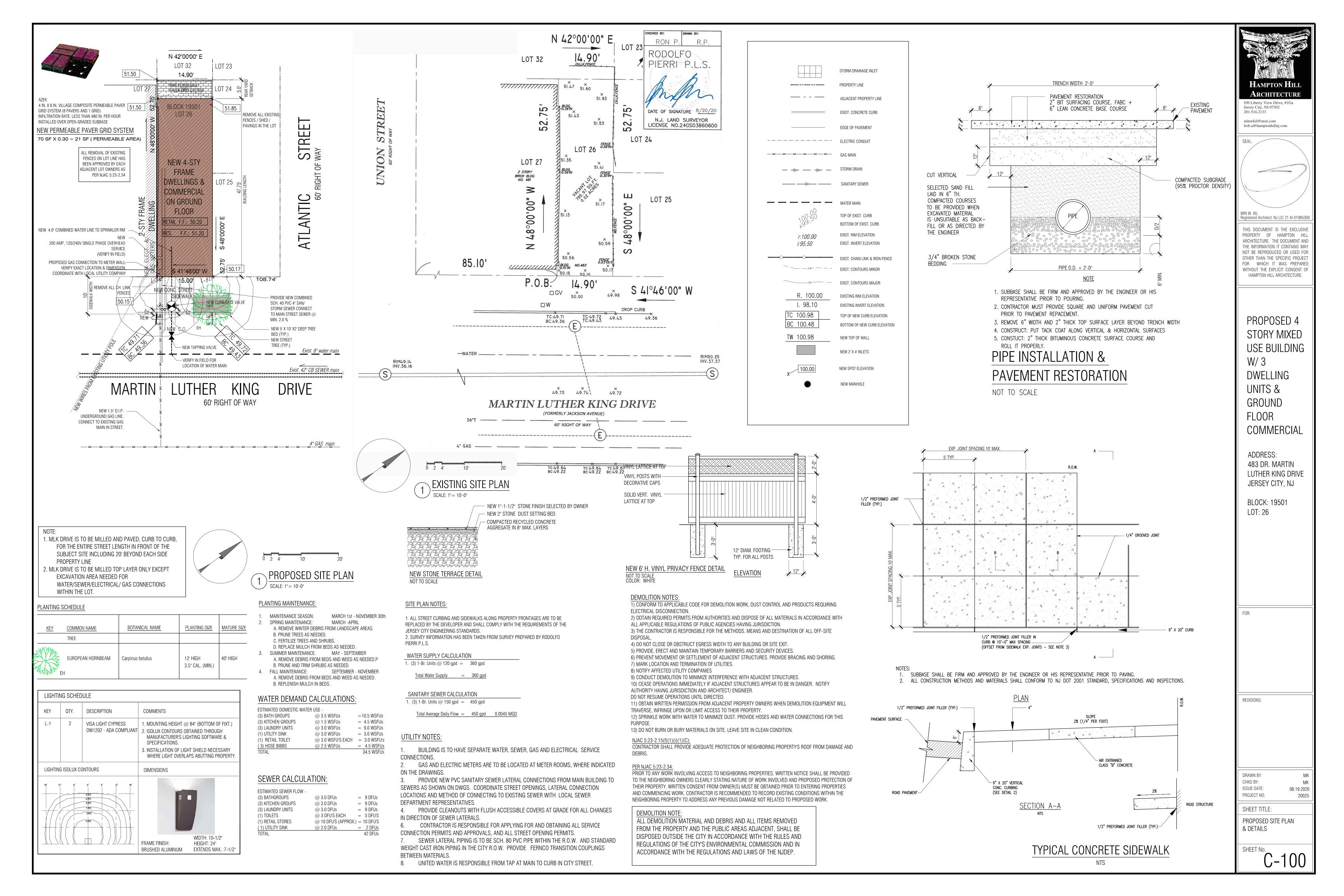
LOT: 26

08.19.2020 ISSUE DATE: PROJECT NO:

SHEET TITLE: TITLE SHEET

Γ-100 Historic Neighborhood Mixed Use (2) Park / Open Space (5) Transit Station Area (1,000





JCMUA STANDARD REQUIREMENTS FOR NEW SANITARY AND STORM SEWERS AND SERVICE LATERALS

November 3, 2005

ALL APPLICATIONS SUBMITTED TO THE JERSEY CITY PLANNING BOARD MUST BE PRESENTED TO THE JCMUA FOR REVIEW AND COMMENTS ON THE PROPOSED SANITARY AND STORM SEWER CONNECTIONS. ALL PLANS MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY AND SUBMITTED TO THE JCMUA'S SEWER ENGINEERING OFFICE, 555 ROUTE 440, JERSEY CITY, NJ FOR APPROVAL.

THE FOLLOWING TECHNICAL REQUIREMENTS SHALL BE ADDRESSED IN PREPARATION OF SITE/UTILITY PLANS: (UNDERLINED TEXT IS JCMUA TEXT VERBATIM; NON-UNDERLINED TEXT IS PROJECT ENGINEER'S COMMENT AS TO HOW IT IS ADDRESSED IN THIS APPLICATION.)

- BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE NUDOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 77, 1993, AS APPLICABLE.
- → ALL BEDDING AND BACKFILLING WILL COMPLY WITH NJDOT'S STANDARDS.
- 2. <u>ALL SEWER SERVICE CONNECTIONS 6 INCHES IN SIZE OR SMALLER MUST BE MADE DIRECTLY TO THE SEWER</u> MAIN AND ALL CONNECTIONS 8 INCHES IN SIZE OR LARGER MUST BE MADE TO A MANHOLE. WHERE A CONNECTION TO A MANHOLE IS REQUIRED, MANHOLE BENCH AND CHANNEL MAY REQUIRE MODFICATION.
- 3. THE JCMUA RECOMMENDS THAT SEWER SERVICE CONNECTIONS TO BE RE-USED BE TELEVISED TO TO VERIFY THEIR
- THIS DOES NOT APPLY. LATERAL PROPOSED IS NEW. AND ALL EXIST. LATERALS ARE TO BE ABANDONED.
- 4. <u>EACH BUILDING CONNECTION REQUIRES A CURB CLEANOUT (REFER TO ATTACHED DETAIL DRAWINGS). A T-WYE</u> CLEANOUT SHOULD BE INSTALLED ON BOTH THE STORM AND SANITARY LATERAL.
- CONTRACTOR SHALL PROVIDE CURB CLEANOUT AS SHOWN.
- 5. PROPOSED SEWER LATERAL CONNECTION TO JCMUA'S SEWER MAIN SHALL BE MADE ABOVE HORIZONTAL CENTER LINE OF PIPE (REFER TO ATTACHED SEWER SERVICE CONNECTION DETAILS)
- → DETAIL FOR SEWER CONNECTION IS PROVIDED ON THE SHEET C-1.
- 6. THE SIZE, MATERIAL, DEPTH, CONDITION, DIRECTION OF FLOW AND ANY OTHER RELEVANT CONDITIONS OF THE EXISTING JCMUA SEWER TO WHICH YOU PLAN TO CONNECT MUST BE FIELD VERIFIED BY DEVELOPER TO DETERMINE IF SAID CONNECTION IS PHYSICALLY POSSIBLE AND PRACTICAL. THIS VERIFICATION IS TO BE INCLUDED ON THE PLANS FOR THE PROJECT. ALSO, THE CONDITION, INVERTS AND RIM ELEVATION OF ANY EXISTING MANHOLE TO WHICH CONNECTION IS PROPOSED MUST BE FIELD VERIFIED.
- ─► THE PROJECT ENGINEER PERFORMED AN INSPECTION OF THE SEWER WHERE THE PROPOSED EXTENSION IS TO BEGIN, AND FIELD VERIFIED THE INDICATED RIM AND INVERT ELEVATIONS.

- SAWCUT HOLE IN EXISTING SEWER

IN BETWEEN

LATERAL -

TYPICAL CONNECTION TO CONCRETE BRICK SEWER DETAIL

WYE SADDLE

-EXISTING BRICK

(SIZE + SHAPE VARIES)

SFILLER

CONNECTION TO BRICK SEWER

PROPOSED STAIN LESS STEEL

CLEAVIS

4"ORG" SERVICE

PROPOSED CONC.

DOWN TO SUBGRADE -

ENCASEMENT

UNDISTURBED SUBGRADE -

HANGER

PROPOSED

- CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS WILL BE USED TO MAKE THI <u>OPENINGS IN THE EXISTING SEWER TO RECEIVE THE LATERALS. JACKHAMMERS, SLEDGEHAMMERS AND OTHER</u> UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE JCMUA'S SEWER MAIN ARE NOT ALLOWED TO BE <u>USED TO MAKE THE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO</u>
- → THIS APPLIES IN THIS APPLICATION TO THE CUTTING OF THE EXISTING SEWER TO RECEIVE THE NEW 4" SEWER EXTENSION AND THE CONTRACTOR SHALL COMPLY.
- 8. <u>A DETAIL OF ANY PROPOSED MANHOLE OR CATCH BASIN SHOWING ALL DIMENSIONS IN ADDITION TO RIM, GRATE AND INVERT ELEVATIONS OF THE STRUCTURE AND ALL PIPES CONNECTED TO THE STRUCTURE MUST BE</u> SHOWN ON PLANS. REFER TO JCMUA STANDARD DETAIL DRAWINGS FOR MANHOLES AND CATCH BASINS.
- NO NEW MANHOLES ARE PROPOSED AS A PART OF THIS PROJECT.
- 9. PROPOSED MANHOLES CONSTRUCTED IN THE PUBLIC R.O.W. ON EXISTING OR PROPOSED JCMUA SEWERS SHALL <u>E FURNISHED WITH CONCENTRIC MANHOLE COVERS AS MANUFACTURED BY CAMPBELL FOUNDRY PATTERN</u> #4428 OR EQUAL WITH OUTSIDE COVER DIAMETER OF 31-3/4 INCHES AND INSIDE COVER DIAMETER OF 24
- THE LETTERS "JCMUA" AND "SEWER" SHALL BE CAST IN THE INSIDE COVER. MANHOLE FRAMES SHALL BE CAMPBELL FOUNDRY CO. PATTERN #4428 OR 1206 OR EQUAL FURNISHED WITH A PATTERN #4428 CONCENTRIC COVER AS SPECIFIED IN THE PRECEDING PARAGRAPH
- REFER TO THE JCMUA'S STANDARD DETAIL FOR MANHOLE FRAMES AND COVERS.
- THIS DOES NOT APPLY TO THIS APPLICATION.
- 10. STORM INLETS WHICH ARE CONNECTED DIRECTLY TO JCMUA COMBINED SEWERS MUST BE FURNISHED WITH A <u>SUMP AND TRAP AS PER JCMUA STANDARD DETAILS</u>
- THIS DOES NOT APPLY TO THIS APPLICATION.
- 11. THE JCMUA HAS A COMBINED SEWER SYSTEM WHICH SURCHARGES DURING WET-WEATHER PERIODS, RESULTING IN POSSIBLE SEWER BACK-UPS THROUGH PLUMBING FIXTURES (SINKS, TOILETS, FLOOR DRAINS, ETC.) BELOW

STREET LEVEL. THIS POSSIBILITY MUST BE ADDRESSED DURING THE DESIGN/CONSTRUCTION PHASE.

THE APPLICANT IS AWARE OF THE LIMITATIONS OF THE CITY'S INFRASTRUCTURE. ALL OF PLUMBING FIXTURES IN THIS ADDITION HAVE BEEN DESIGNED ABOVE THE STREET LEVEL.

CONNECTION TO CONCRETE SEWERS

- 12. <u>A DROP MANHOLE CONNECTION SHALL BE USED WHERE THERE IS A DIFFERENCE IN ELEVATION OF TWO (2) FEET OR</u> GREATER BETWEEN THE INVERT OF A SANITARY OR COMBINED INLET PIPE TO MANHOLE AND THE CROWN OF THE OUTLET PIPE FROM MANHOLE. REFER TO ATTACHED JCMUA'S STANDARDS DETAIL FOR DROP MANHOLE CONNECTION WHICH MUST BE SHOWN ON THE PLANS IF REQUIRED.
- NO DROP MANHOLES ARE REQUIRED OR PROPOSED AS A PART OF THIS PROJECT.
- TEST PITS MUST BE PERFORMED AT THE DEVELOPER'S EXPENSE DURING THE DESIGN PHASE OF THE PROJECT TO ENSURE THAT PROPOSED SEWERS AND SEWER SERVICES MAY BE CONSTRUCTED AS PROPOSED WITHOUT CONFLICTING WITH OTHER UNDERGROUND UTILITIES OR STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT IF ANY EXISTING SEWER LATERALS ARE UNCOVERED DURING EXCAVATION. NONE ARE KNOWN TO EXIST.
- ALL EXISTING SEWER MAINS AND STORM AND SANITARY LATERALS TO BE ABANDONED MUST BE FILLED WITH CONCRETE <u>SLURRY OR REMOVED FROM THE GROUND. CATCH BASINS AND MANHOLES MUST BE REMOVED FROM THE GROUND</u> CONNECTIONS MUST BE CUT AND SEALED AT THE MAIN AND PRECAUTIONS MUST BE UNDERTAKEN BY THE CONTRACTOR T ENSURE CONCRETE AND OTHER MATERIALS DO NOT ENTER THE MAIN AND CREATE OBSTRUCTION(S).
- → THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT IF ANY EXISTING SEWER LATERALS ARE UNCOVERED DURING EXCAVATION.
- 15. ALL PROPOSED INLETS/CATCH BASINS MUST BE CONSTRUCTED WITH A BICYCLE SAFE GRATE AND CAMPBELL FOUNDRY CO. TYPE 'N' CURBPIECE WHERE REQUIRED.
- THIS DOES NOT APPLY TO THIS APPLICATION
- 16. PROPOSED WATER SERVICES REQUIRE THE REVIEW AND APPROVAL OF THE DIVISION OF WATER ENGINEERING.
- THE APPLICANT IS AWARE OF THIS REQUIREMENT AND HAS APPLIED SEPARATELY FOR THEIR WATER SERVICE CONNECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR STREET OPENINGS (EXCAVATIONS) AND SEWER <u>SERVICE CONNECTIONS FROM THE JERSEY CITY BUILDING DEPARTMENT LOCATED AT 30 MONTGOMERY STREET, JERSEY</u>
- THE APPLICANT IS AWARE OF THIS REQUIREMENT AND MUST APPLY FOR ALL REQUIRED STREET OPENING PERMITS.
- THE SYSTEM DESIGNER IS ALSO RESPONSIBLE FOR COMPLIANCE WITH THE APPLICABLE REGULATIONS OF THE NEW JERSEY ADMINISTRATIVE CODE, NJDEP RULES AND REGULATIONS GOVERNING TREATMENT WORKS APPROVAL PROGRAM, PROGRAM, LOCAL CODES AND ORDINANCES, FEDERAL AND STATE REGULATIONS, ETC. IN ADDITION TO OTHER REQUIREMENTS THAT MAY
- THE ENGINEER CERTIFIES THAT THIS PLAN COMPILES WITH ALL REGULATIONS OF OTHER PUBLIC AGENCIES HAVING JURISDICTION.

4" x 4" T-WYE

NOT TO SCALE

. MAXIMUM DISTANCE BETWEEN CLEANOUTS

. INSTALL C.O AS INDICATED ON PLAN

IS 50'-0"

4" PVC PIPE -

4" PVC 45° STREET ELL —

FOUNDATION MATERIAL

(CLEANOUT)

4" x 4" T-WYE -

- 1. WATER MAINS SHALL BE PSI CLASS 350, CEMENT LINED, DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND SHALL BE IN CONFORMANCE WITH A.M.S.I. STANDARD A21.5-1976 (A.W.W.A. C151-76' 2. CATE VALVES SHALL BE IN CONFORMANCEWITH A N.S.L./A W.W.A. STANDARD C500-80 AND SHALL BE JERSEY CITY STANDARD VALVES MAYH METROPOLITAN MECHANICAL JOINT VALVES AS MANUFACTURED BE DRESSER COMPANY OR APPROVED FOLIAL VALVES
- SHALL BE NON-RISING STEM MECHANICAL JOINT SHALL BE FURNISHED WITH A (2") SOLIARE OPERATING NUT SHALL OPEN BY TURNING TO THE RICHT CATE VALVES (16") AND OVER SHALL BE FURNISHED WITH BY-PASS VALVE SHALL BE 100% SOLID HEAT 3. BUTTERFLY VALVES SHALL BE IN CONFORMANCE WITH A.N.S.I./A.W.W.A. STANDARD C504-80. BUTTERFLY VALVES SHALL BE CLASS 1508, MECHANICAL JOINT, WITH RUBBER SEAT MOUNTED ON THE DISC, SHALL BE FURNISHED WITH A. (2") INCH SQUARE
- OPERATING NUT AND SHALL OPEN BY TURNING TO THE RIGHT. THE VALVE SHALL BE100% SOLID HEAT CURED EPOXY OATED HOLIDAY FREE IN THE WATERWAY. THE USE OF BUTTERFLY VALVES WILL NOT BE PERMITTED IN MAINS (16") AND UNDER. 4. VALVES BOXES SHALL BE JERSEY CITY "STANDARD" AS MANUFACTURED BY BINGHAM AND TAYLOR, OR APPROVED EQUAL. BOXES SHALL HAVE A MINIMUM OF 9 1/2" DIAMETER AND SHALL BE AN ADJUSTABLE SCREW TYPE WITH THE ROX EXTENDING FROM
- THE SURFACE TO (3") INCHES ABOVE TH VALVE BONNET BASE, VALVE BOX SHALL BE CAST IRON WITH A STANDARD COAL TAR FOUNDRY DIP WITH CAST IRON WATER DROP COVER AND THE WORK "WATER" CAST IN COVER, VALVE BOX COVER SHALL BE INSTALLED FLUSH WITH THE EXISTING GRADE ELEVATION.
- 6. SELECT GRANULAR BACKFILL MATERIAL SHALL BE SOIL AGGREGATE TYPE I-6 (POROUS FILL, CLEAN SAND, GRAVEL OR STONE) OBTAINED FROM DRY SOURCES AND SHALL BE FREE FROM STUMPS, BRUSH, WEEDS ROOTS, RUBBISH, WOOD AND OTHER MATERIAL THAT MAY DECAY, GRADUATION, SHALL CONFORM TO TABLE 901-2, FOR TYPE I-6 IN ARTICLE 901.09 OF THE (NJDOT) NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN
- 7. TIE RODS SHALL BE THREE QUATER (3/4) INCH DIAMETER THREADED STEEL BARS. RODS SHALL HAVE A MINIMUM YIELD STRESS OF 36,000 PSI.
- 8 COUPLINGS SHALL BE DRESSER STYLE NUMBER 153 FOR PIPE SIZES THROUGH (30") INCH DIAMETER FOR LARGER DIAMETER PIPE DRESSER STYLE NUMBER 38 STEEL COUPLINGS SHALL BE USED.
- 9. SHEETING, SHORING AND BRACING SHALL BE CLOSED VERTICAL SHEETING. TONGUE AND GROOVE WHICH IS BRACED TO PREVENT THE CAVE-IN OF TRENCHES. ALL LABOR EQUIPMENT, MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, MATERIALS FOR SHEETING SHALL BE TONGUE AND GROOVE WOODEN PLANKS AND TIMBER OR STEEL CONFORMING TO THE REQUIREMENTS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION TIMBER SHALL BE A MINIMUM OF 3" THICK SHEETING SHALL BE LEFT IN PLACE SHORING AND BRACING REMOVED.
- 10. BROKEN STONE FOUNDATION CUSHION SHALL BE PLACED IN THOSE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DEEMED THE SOIL CONDITIONS INFERIOR. BROKEN STONE SHALL CONFORM TO ARTICLE 901.03 OF THE STANDARD SPECIFICATIONS AS CURRENTLY AMENDED. THE SIZE OF BROKEN STONE SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER FOR SIZE NUMBER 2,4,5, OR 6 AS SHOWN IN TABLE 901-1. STANDARD SIZES OF COURSE AGGREGATES OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- 11. FILTER CLOTH SHALL BE PLACED IN THOSE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DEEMED TH SOIL CONDITIONS INFERIOR.
- 12. AFTER THE ENGINEER HAS INSPECTED THE COMPLETED INSTALLATION OF VALVES, AND WATER MAIN, AND <u>BEFORE BACKFILLING</u> THE EXCAVATIONS, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PRESSURE TEST THE PIPE. THE PIPE SHALL BE PRESSURIZED TO 1.5X THE WORKING PRESSURE FOR A PERIOD OF 2 HOURS. PRESSURE SHALL NOT VARY MORE THAN 5 PSI. THE VALVED SECTION OF PIPE SHALL BE FILLED WITH WATER SLOWLY, AND THE TEST PRESSURE SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A MANNER SATISFACTORY TO THE ENGINEER. BEFORE APPLYING THE TEST PRESSURE, AIR SHALL BE EXPELLED COMPLETELY FROM THE PIPE BY INSTALLING CORPORATION COCKS AT SUCH POINTS SO THAT THE AIR CAN BE EXPELLED AS THE LINE IS FILLED WITH WATER. IF THE JOINTS LEAK, REPAIRS OR REPLACEMENTS SHALL BE MADE. TESTING SHALL BE IN CONFORMANCE WITH A.W.W.A. STANDARD C600-7
- 13. THE CONTRACTOR SHALL DISINFECT ALL WATER MAINS IN ACCORDANCE WITH A.W.W.A. STANDARD FOR "DISINFECTING WATER MAINS" DESIGNATION C-601. COMMERCIAL PRODUCTS SUCH AS "HTH", "PERCHLARON", AND "MAXOXHLOR" MAY BE USED IN FLAKE OR CRYSTAL FORM, BUT IN NO INSTANCE WILL TABLETS BE PERMITTED TO BE USED IN THE DISINFECTION OF WATER MAINS. THE CHLORINE DOSAGE SHALL INITIALLY PRODUCE 50 PPM RESIDUAL TO THE WATER AND MAINTAIN A MINIMUM RESIDUAL OF 25 PPM AFTER 24 HOURS. AFTER SATISFACTORY DISINFECTION OF THE TEST SECTION, THE LINE SHALL CONTINUOUSLY FLUSH UNTIL THE RESULTANT CHLORINE RESIDUAL EQUALS ON PPM OR THE RESIDUAL OF THE SYSTEM, WHICHEVER IS GREATER. AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE SAMPLES SHALL BE COLLECTED FROM EACH END OF THE MAIN AND TESTED FOR BACTERIOLOGIC QUALITY. IF THE INITIAL DISINFECTION FAILS TO PRODUCE SATISFACTORY SAMPLES. DISINFECTION SHALL BE REPEATED UNTIL SATISFACTORY SAMPLES HAVE BEEN OBTAINED
- 14. AIR RELEASE VALVES SHALL BE INSTALLED AT THE HIGH POINTS OF THE WATER MAINS.
- 15. ALL WATER MAINS WILL BE AT LEAST 8" IN DIAMETER, TEN (10") AND 14" DIAMETER MAINS SHALL NOT BE USED.

JCMUA WATER DISTRIBUTION SYSTEM STANDARDS

5. CONCRETE FOR VALVE SEATS AND THRUST BLOCKS SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI.

- 16. THRUST BLOCKS AND TIE RODS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS.
- 17. HYDRANTS SHALL BE 2 PIECE "JERSEY CITY STANDARD" HYDRANTS AS MANUFACTURED BY A.P. SMITH OR APPROVED EQUAL. HYDRANT SPACING SHALL BE A MAXIMUM 250 FEET MEASURED CENTER TO CENTER.
- 18 FOR FITHER NEW CONSTRUCTION OR RELOCATION OF THE FOLLOWING SHALL BE REQUIRED
- ALL ONE PIECE OR HYDRANTS NOT MANUFACTURED BY A.P. SMITH THAT ARE TO BE RELOCATED SHALL BE REMOVED AND DELIVERED TO JERSEY CITY DIVISION OF WATER DISTRIBUTION. A NEW HYDRANT WILL BE SUPPLIED BY THE CITY FOR INSTALLATION. HYDRANTS SHALL BE NO CLOSER THAN TEN (10) FEET FROM THE EDGE OF A RESIDENTIAL DRIVEWAY OR (20) FEET FROM THE EDGE OF A COMMERCIAL DRIVEWAY. IN THE CASE WHERE DRIVEWAYS ARE EXPANDED OR NEWLY CONSTRUCTED, THE OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION OF AN EXISTING HYDRANT IF ABOVE REQUIREMENTS ARE VIOLATED
- . ALL SINGLE GATED HYDRANTS ON (16") OR LARGER MAINS SHALL REQUIRE A NEW VALVE AT THE BASE OF THE RELOCATED HYDRAN NEW GATE VALVES AND BOXES ARE RÉQUIRED AT THE BASE OF RELOCATED HYDRANTS WHEN MORE THAN (10) FEET OF PIPE IS REQUIRED.
- 19. EXISTING WATER SERVICE LINES SHALL BE SHUT-OFF AND CAPPED AT THE MAIN PRIOR TO THE INSTALLATION OF NEW WATER SERVICES. PRIOR TO NEW SERVICE TAP THE JERSEY CITY WATER DEPARTMENT SHALL INSPECT AND CERTIFY THE ABANDONED
- 20. WATER MAINS TO ABANDON SHALL BE CUT AND PLUGGED WITH REQUIRED FITTINGS, RODS AND CONCRETE AS CLOSE TO THE EXISTING MAIN IN SERVICE AS POSSIBLE
- 21. ALL VALVES SHALL BE OPERATED BY JERSEY CITY WATER DEPARTMENT PERSONNEL. THE CONTRACTOR SHALL NOT BE PERMITTED TO OPERATE ANY VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING FIVE DAYS IN ADVANCE OF VALVE
- 22. FAILURE TO COMPLY WITH THE ABOVE REQUIREMENTS WILL RESULT IN THE IMMEDIATE SHUT-DOWN OF THE PROJECT

REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS

1. ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JCMUA'S BUREAU OF WATER ENGINEERING FOR APPROVAL. FIVE (5) SETS OF PLANS SHALL BE SUBMITTED FOR APPROVAL. ALL PLANS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTÉRED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY. 2. SUBMITTED PLANS SHALL BE STANDARD ENGINEERING DRAWINGS, SIZE 24 INCHES X 36 INCHES X 36 INCHES INCLUDED SHALL BE A KEY MAP

3. INDICATED ON THE SUMITTED PLANS SHALL BE THE SIZE OF TAP, LOCATION OF TAPPING AND CURB GATE VALVES, DETAILED METER SET-UP, AND SIZE OF FACILITY'S METER. ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF OCCUPANCY OF THE FACILITY 4. ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN, IN ACCORDANCE WITH JCMUA STANDARDS, AND INSPECTED WITHIN 24 HOURS AFTER INSTALLTION OF NEW TAP. THE MAXIMUM OF ONE(1) TAP SHALL BE MADE

FOR DOMESTIC AND FIRE SERVICE PER FACILITY. THE TAP SHALL BE THE MAXIMUM OF ONE (1) SIZE SMALLER THAN THE CITY'S WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT BY UNITED WATER JERSEY CITY (UWJC) UNLESS SPECIFICALLY APPROVED BY JCMUA. 5. ONLY ONE DOMESTIC/ FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL CHECK METER ON INDIVIDUAL BRANCH CONNECTIONS DOWNSTREAM OF DOMESTIC METER SETUP WHERE THERE IS MORE THAN ONE OWNER/ TENANT FOR A FACILITY.

6. A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUAL SHALL BE UTILIZED FOR ALL TAPS 2-INCHES AND LARGER. THE TAPPING SLEEVE SHALL PASS PRESSURE TESTING BASED ON AWWA STANDARDS BEFORE 7. FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT; A TAPPING VALVE, LOCATED AT THE TAP AND CURB VALVE, LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING GATES SHALL BE

FURNISHED OPENED RIGHT. ALL TAPPING AND CURB VALVUES SHALL BE DOUBLE DISC GATE VALVES AND MEET AWWA STANDARDS. THE WET TAP UP TO 12 INCHES SHALL BE PERFORMED BY UWJC 8. FOR TAPS OFF MAINS SIXTEEN (16) INCHES AND LARGER, THE APPLICANT SHALL FURNISH AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATIVE WATER SOURCE, AND SPECIAL WRITTEN APPROVAL IS ISSUED BY THE JCMUA.

9. VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE APPLICANT. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL CURB VALVES/ STOPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED CORPORATION VALVES/ STOPS SHALL BE USED AT THE TOP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER.

10. ALL SERVICE PIPES, SIZES 2-INCHES THROUGH 12-INCHES, SHALL BE PRESSURE CLASS 350 PSI, CEMENT-LINED DUTILE IRON PIPES WITH MECHANICAL JOINTS. 12. FOR A REGULAR FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE LARGER THAN 2"), A COMBINED REDUCED PRESSURE DETECTOR ASSEMBLY (AMES 5000 SS. AMES 5000 RPDA OR WATTS 909 RPDA*) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTOR ON THE BYPASS (AMES 4000 SS OR WATTS 909*). ON THE LIMITED FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE 1.5" OR 2"), A FIRE LINE SETECTOR CHECK WITH A SINGLE CHECK VALVE (AMES 1000 DCV*)SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTOR (AMES 4000 SS OR WATTS 909*) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS. ALL REGULAR FIRE SUPPRESSION SYSTEMS MUST HAVE OS&Y ALVES, HOWEVER, LIMITED FIRE SUPPRESSION SYSTEMS MAY USE BALL VALVES (VICTAULIC SERIES 728 FIRELOCK*) INSTEAD OF OS&Y VALVES. THE FIRE UNIT SHALL BE FURNISHED WITH A 5/8 INCH X ¾ INCH METERED BYPASS. BYPASS METERS SHALL BE

13. FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 SS OR WATTS 909*) IS REQUIRED WHEN THE JCMUA DETERMINES THAT THERE IS A CROSS-COONECTION HAZARD AND THE FACILITY PRESENTS A THREAT TO THE N'S DISTRIBUTION SYSTEM WATER QUALITY IN ACCORDANCE WITH THE PLUMBING SUBCODE OF THE NEW JEREY STATE ÚNIFORM CONSTRUCTION CODE, NJAC 5:23-3.15 AND THE NEW JERSEY SAFE DRINKING WATER ACT NJAC 7:10-10 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL BY CONTAINMENT. SOME SERVICES WHICH REQUIRE SUCH DEVICES INCLUDE: A HOSPITAL, SCHOOL, CHEMICAL PLANT, FACTORY, AND FACILITY WITH SEWAGE EJECTORS.

14. IF A REDUCED PRESSURE BACKFLOW PREVENTER IS NOT REQUIRED ON THE DOMESTIC SERVICE, A CHECK VALVES SHOULD BE INSTALLED DOWNSTREAM OF THE TEST TEE.

16. ALL METERS SHALL BE ADEQUATELY RESTRAINED WITH METAL BRACKETS FASTENED TO THE FLOOR OR WALL OR OTHER APPROVED MEAS SUCH AS UNIFLANGES WHERE INTERNAL PIPES PRESSURE AND FLOW WARRANT SUCH RESTRAINTS. METERS, DETECTOR CHECKS, AND VALVES MAY BE SEATED ON CONCRETE BLOCK AND TAPERED SHIMS TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 36" ABOVE FLOOR GRADE. PVC WYE OR TEE SADDLE ALL METER INSTALLATIONS IN METER PIT OR VAULT SHALL BE PRE-APPROVED BY JCMUA AND HAVE PROPER ACCESS OPENINGS FOR METER READING AND REPLACEMEN

18. EACH COMPOUND METER SHALL HAVE STRAINER INSTALLED ON THE INLET SIDE IMMEDIATELY BEFORE THE METER. ALL STRAINERS MUST BE PURCHASED FROM JCMUA OR ITS AUTHORIZED AGEN

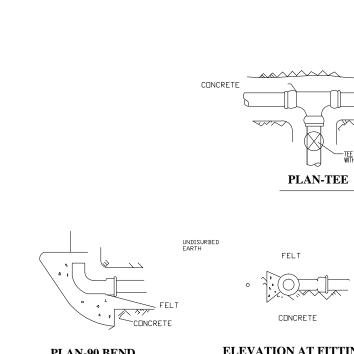
TOUCH PADS ARE TO BE INSTALLED ON EXTERIOR BUILDING WALL FACING THE STREET AND LOCATED AS CLOSE AS POSSBILE TO STREET. THE RADIO MXU UNIT MUST BE INSTALLED WITH MOUNTING BRACKET AND LIKEWISE IS TO BE INSTALLED IN PROXIMITY TO

23. AFTER OBTAINING THE REQUIRED PERMITS (STREET OPENING, TAP. AND METER) THE APPLICANT SHALL CALL UWJC AT (201) 239-1108 TO SCHEDULE THE TAP. THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED

TAP, AND VERIFIED BY JCMUA OR ITS AUTHORIZED AGENT BEFORE THE TAP WILL BE INSTALLED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS FOR SHEETING AND SAFETY. 24. UPON COMPLETION OF TYHE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS, TO THE JCMUA'S BUREAU OF WATER ENGINEERING. THE JCMUA WILL AUTHORIZE SUPPLY WATER UPON ACCEPTANCE OF THE "AS BUILT"

*SPECIFIED MODEL OR APPROVED EQUA

REVISED 06/28/06



EXISTING SEWER MAIN

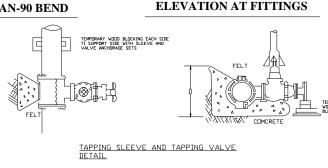
(DIAMETER VARIES)

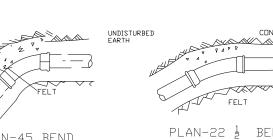
—CLEANOUT SHALL BE LOCATED

- CURBLINE (CHISEL "S" IN CURB AT

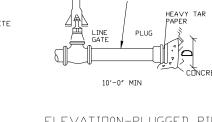
12" INSIDE SIDEWALK OR

SERVICE LATERAL)

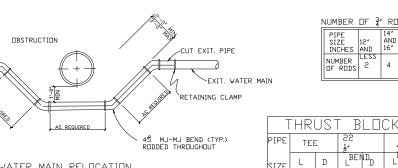


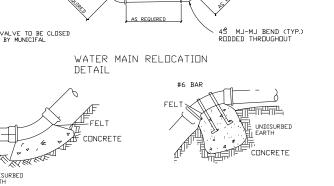


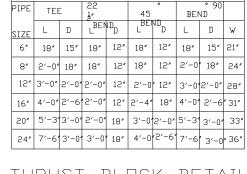




ELEVATIOON-PLUGGED PIPE







SHEET TITLE: PROPOSED SITE DETAILS

SHEET No.

08.19.2020

ARCHITECTURE

Registered Architect: NJ LIC 21 AI 01985300

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PROPOSED 4

483 DR. MARTIN

JERSEY CITY, NJ

BLOCK: 19501

REVISIONS:

DRAWN BY

CHKD BY:

ISSUE DATE:

PROJECT NO:

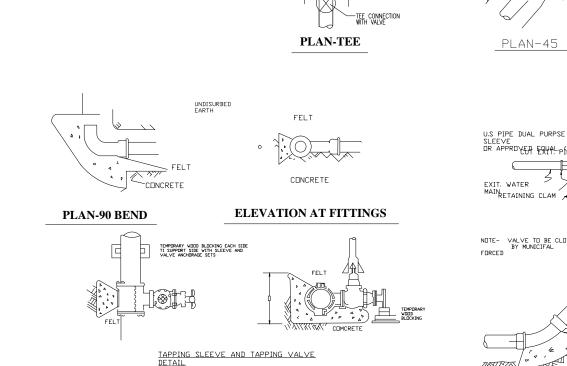
LUTHER KING DRIVE

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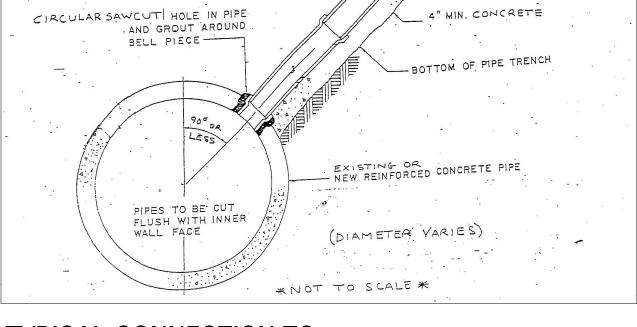


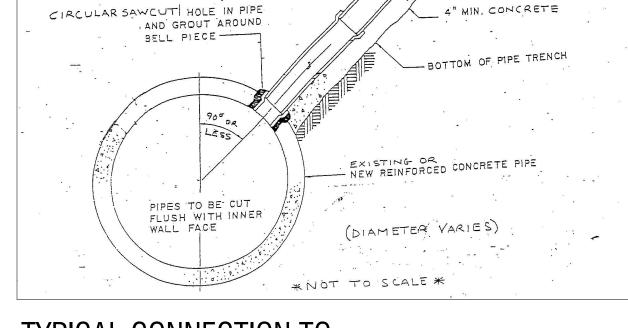
U.S PIPE DUAL PURPSE SLEEVE OR APPROVED EXTAL PLAY NOTE- VALVE TO BE CLOSED BY MUNICIFAL FORCED

elevation-vertical bend THRUST BLOCK DETAILS

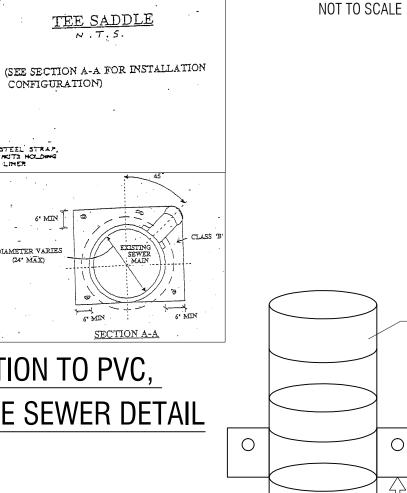
NOT TO SCALE

AND GROUT AROUND BELL PIECE -BOTTOM OF PIPE TRENCH - NEW REINFORCED CONCRETE PIPE PIPES TO BE CUT FLUSH WITH INNER (DIAMETER VARIES) WALL FACE *NOT TO SCALE * TYPICAL CONNECTION TO





CONCRETE SEWER DETAIL



GROUT WITH CEMENT-

WIDER THAN THE PIPE TO BE INSERTED INTO THE SEWER.

THE JCMUA'S SEWER IS EQUAL TO THE THICKNESS OF THE MAIN AS SHOWN IN THE ABOVE

DETAIL. THE ENTIRE CIRCUMFERENCE OF THE ASSEMBLY SHALL BE GROUTED WITH CEMENT TO

2) CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS MUST BE USED TO

MAKE THE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE ASSEMBLY. THE DIAMETER OF THE

HOLE IN THE SEWER MAIN TO ACCEPT THE NEW LATERAL SHALL BE NO MORE THAN 1/8-INCH

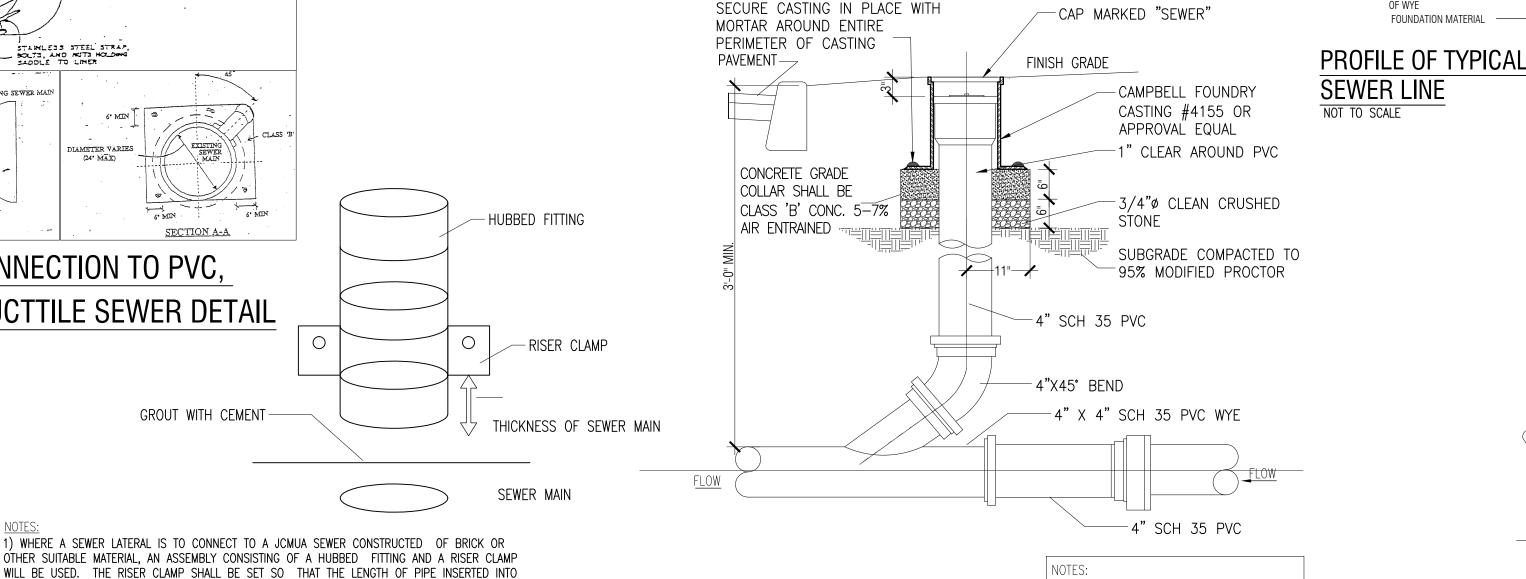
TYPICAL CONNECTION TO PVC. RESIDENTIA BUILDING CLAY OR DUCTTILE SEWER DETAIL NOT TO SCALE STORM — SIDEWALK STREET COMBINED SEWER MAIN

THE PROPOSED 4" PVC STORM LATERAL IS TO BE CONNECTED THE 4" PVC SANITARY LATERAL IMMEDIATELY DOWNSTREAM OF THE CURB USING A 45 DEGREE ELBOW AND WYE FITTING.

FOR RESIDENTIAL DWELLING

SEWER CONNECTION DETAIL

RISER CLAMP DETAIL NOT TO SCALE



NEW 4"Ø STORM / SANITARY SEWER LATERAL & CLEANOUT

GENERAL PLANTING NOTES:

- ALL PLANTS TO BE SELECTED AND SEALED IN THE FIELD BY THE CITY REPRESENTATIVE.
- FINAL LOCATION OF ALL PLANTS TO BE DETERMINED IN THE FIELD BY THE CITY REPRESENTATIVE. 3. CONTRACTOR SHALL INSTALL A PORTION OF THE LANDSCAPING CONSISTING OF NOT MORE THAN 5% OF THE TOTAL PLANTINGS, TO DEMONSTRATE PLANTING PRACTICES TO THE CITY REPRESENTATIVE, PRIOR TO INSTALLING THE REMAINDER OF THE PLANT MATERIAL.
- ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" LAYER OF SHREDDED BARK MULCH. TOPSOIL SHALL BE SANDY LOAM; FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL; CONTAIN 5%-12% ORGANIC MATTER, ph 6.0 TO 7.0, SEE BACK FILL
- REQUIREMENTS, JERSEY CITY FORESTRY STANDARDS. 6. TOPSOIL SHALL COMPLY WITH ANY AND ALL ENVIRONMENTAL AND CLEAN FILL REQUIREMENTS, TO
- THE SATISFACTION OF THE ENVIRONMENTAL CONSULTANT. CUT AND REMOVE BURLAP FROM TOP 2/3 OF BALL AND REMOVE WIRE BASKET COMPLETELY. NYLON
- ROPE AND /OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE. LOCATE GUY WIRES SO THAT THEY WILL NOT PULL CROTCH APART
- 9. UPON COMPLETION OF THE FIRST YEAR OF THE TWO (2) YEAR PLANT GUARANTEE PERIOD, THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING OR REMOVING ALL STAKES. THIS SHALL BE DONE IN CONSULTATION WITH THE CITY REPRESENTATIVE. ALL STAKES REMAINING SHALL THEN BECOME THE RESPONSIBILITY OF THE OWNER.
- 10. IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
- 11. IF THE CONTRACTOR DETERMINES THE SUB-GRADE SOIL CONDITIONS ARE DELETERIOUS TO PLANT GROWTH OR WILL INHIBIT DRAINAGE, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIAL
- 12. PLANT PERENNIALS AND GROUNDCOVER IN 8' DEEP TOPSOIL BED CONSISTING OF % TOPSOIL AND % HUMUS, PLANT BULBS IN NATURALIZED DRIFTS.
- 13. TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL DISTURBANCES, CONSTRUCTION, OR STORAGE OF EQUIPMENT WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR
- 14. ALL EXISTING SOIL SHALL BE REMOVED AND BACK FILLED WITH NEW TOPSOIL MEETING PARKS AND FORESTRY SPECIFICATION.
- 15. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANT BEDS ARE TO BE SEPARATED FROM LAWN AREA WITH A 3" DEEP "V" TRENCH. 17. KEEP MULCH ½' BELOW TOP OF PAVEMENTS AND CURBS.
- 18. ALL LANDSCAPING SHALL BE IN A HEALTHY AND VIGOROUS GROWING CONDITION AT THE TIME OF INSTALLATION, NO PLANT SHALL REMAIN AT THE SITE FOR MORE THAN THREE (3) DAYS AFTER DELIVERY WITHOUT BEING PROPERLY HEALED IN. NO TREE WITH A DAMAGED CENTRAL LEADER SHALL RECEIVE FINAL ACCEPTANCE.
- 19. ALL NEWLY INSTALLED LANDSCAPING SHALL BE SET PLUMB IN THE PLANTING PIT AND BACKFILLED IN LIFTS NOT TO EXCEED EIGHT(8) INCHES. IN PLANTING BEDS BACKFILL SHALL CONSIST OF THREE(3) PARTS NATIVE TOPSOIL, THREE(3) PARTS SCREENED TOPSOIL AND THREE(3) PARTS PEAT. A MOISTURE ABSORBENT POLYMER SHALL BE INCLUDED IN THE AMENDED BACKFILL ON WELL AND EXCESSIVELY DRAINED SOILS AND ON EARTHEN BERMS TO ENSURE SOIL MOISTURE AVAILABILITY. ALL LANDSCAPE BEDS SHALL BE UNDERPLAYED WITH A SUITABLE WATER PERMEABLE WEED FABRIC AND SHALL RECEIVE A MINIMUM THREE (3) INCH APPLICATION OF SHREDDED HARD WOOD MULCH OR OTHER ACCEPTABLE MATERIAL, UNTREATED WOOD CHIPS SHALL NOT BE USED, PLANT MATERIAL ARRANGED IN GROUPINGS SHALL BE CONTAINED IN ONE(1) CONTINUOUS MULCHED BED TO REDUCE POSSIBLE PLANT DAMAGE CAUSED BY MAINTENANCE EQUIP. THE LANDSCAPE BED SHALL EXTEND TO THE BRANCH LIMITS OF THE NEWLY INSTALLED PLANTINGS.
- 20. PLANT MATERIAL CONSIDERED TO BE A FALL DIG HAZARD SHALL NOT BE DUG BETWEEN OCTOBER 1ST AND DECEMBER 1ST. FALL DIG HAZARD PLANTS MAY BE PLANTED DURING THIS TIME FRAME, PROVIDED THEY HAVE BEEN DUG PRIOR TO OCTOBER 1ST, OR ARE CONTAINER GROWN.
- 21. THE CLASSIFICATION OF A SPECIES AS A FALL DIG HAZARD SHALL NOT BE CONSIDERED A SUFFICIENT OR ACCEPTABLE REASON FOR SUBSTITUTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PROCUREMENT OF PLANT MATERIAL AS REQUIRED TO MEET THE CONSTRUCTION SCHEDULE, AND FOR ENSURING THE SURVIVAL AND CONTINUED HEALTH OF THE PLANT MATERIAL, ONCE IT IS DELIVERED.

- 22. WATERING MUST TAKE PLACE THROUGHOUT THE 2 YEAR PERIOD, AT LEAST 20 GALLONS AT APPROXIMATELY TWO WEEK INTERVALS FROM MAY 15 TO OCTOBER 31. CONTRACTOR MAY NEED TO INCREASE OR REDUCE THE FREQUENCY OF WATERING BASED ON WEATHER CONDITIONS, RESULTING SOIL WATER CONTENT OR OTHER FACTORS.
- 23. EXISTING TREES TO REMAIN MAY BE PRUNED TO ACCOMMODATE CONSTRUCTION ACTIVITIES. CARE SHALL BE TAKEN TO AVOID NEGATIVELY IMPACTING THE HEALTH OR STRUCTURAL INTEGRITY OF THE TREE. PRUNING SHALL BE DONE UNDER THE DIRECTION OF A CERTIFIED NEW JERSEY TREE EXPERT.
- 25. SHADE TREES SHALL BE LIMBED UP TO A HEIGHT OF 5'-0" 26. CONTRACTOR SHALL NOTIFY JERSEY CITY DIVISION OF PARKS AND FORESTRY 3 DAYS PRIOR TO

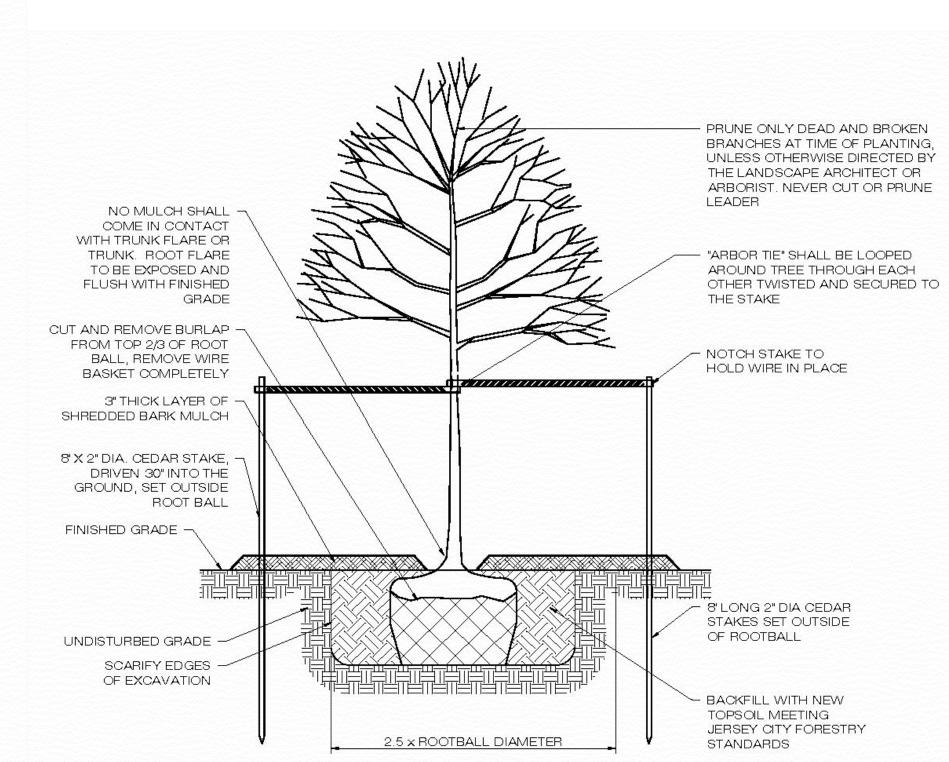
24. NO SOIL DISTURBANCE SHALL OCCUR OUTSIDE THE LIMIT OF DISTURBANCE.

BEGINNING PLANTING SHADE TREES. 27. ALL LANDSCAPING AREAS SHALL BE APPROPRIATELY PLANTED AND MAINTAINED WITH ANY DAMAGED, DISEASED OR DEAD MATERIAL REPLACED, ON AN ON-GOING BASIS.

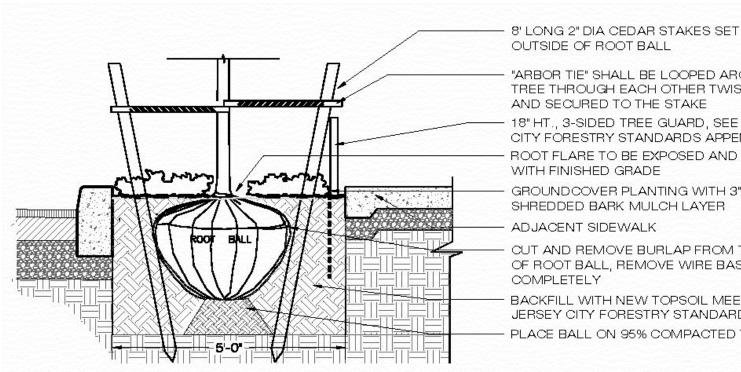
LANDSCAPE MAINTENANCE NOTES:

- 1. FOR THE DURATION OF THE TWO (2) YEAR GUARANTEE PERIOD, THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL, IN ACCORDANCE WITH THE LANDSCAPE SPECIFICATIONS AND TO THE SATISFACTION OF 8. MAINTENANCE TRACKING TAG SHALL BE ATTACHED TO STURDY THE CITY REPRESENTATIVE. ANY PLANT MATERIAL DETERMINED TO BE DEAD OR DYING AT THE CLOSE OF
- THE GUARANTEE PERIOD SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR. 2. AT THE COMPLETION OF THE FIRST YEAR OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REMOVE ALL STAKES AND GUY WIRES. THIS SHALL BE DONE IN CONSULTATION WITH THE CITY REPRESENTATIVE. ALL STAKES REQUIRED TO REMAIN IN PLACE PAST THE COMPLETION OF THE FIRST YEAR OF THE
- GUARANTEE PERIOD SHALL BECOME THE RESPONSIBILITY OF THE OWNER. 3. FERTILIZE ALL TREES AND SHRUBS AT LEAST ONCE PER YEAR. MYCORRHIZAL FUNGI INNOCULANT SHALL BE APPLIED TO ALL TREES AND SHRUBS AT THE TIME OF PLANTING.
- 4. FERTILIZE ALL LAWN AREAS ONCE PER SEASON DURING THE SPRING, SUMMER, AND FALL. FERTILIZER SHALL BE A LOW PHOSPHORUS COMMERCIAL FERTILIZER, WITH A MINIMUM OF 7% NITROGEN BY WEIGHT, AS DESCRIBED IN THE LANDSCAPE SPECIFICATIONS.
- 5. PLANT MATERIAL SHALL BE INSPECTED FOR PEST DAMAGE AND INFESTATION AT REGULAR INTERVALS. APPLY PEST CONTROL MEASURES ACCORDING TO THE LIFE CYCLE OF THE PESTS. ALL PESTICIDES SHALL BE APPLIED BY A LICENSED PRACTITIONER.
- 6. SEASONAL MAINTENANCE NECESSARY TO ENSURE HEALTHY AND VIGOROUS GROWTH OF PLANT MATERIAL AND TO MAINTAIN THE APPEARANCE OF THE LANDSCAPED AREAS SHALL BE PERFORMED AS NEEDED.
- 7. PLANTING BEDS SHALL BE WEEDED AND EDGED AS NEEDED TO MAINTAIN A NEAT APPEARANCE AND TO PREVENT THE ESTABLISHMENT OF WEEDS. ALL MULCHED AREAS SHALL BE RAKED AND MULCH SHALL BE REPLENISHED AS NEEDED EACH SPRING.
- 9. PRUNING OF DEAD AND DAMAGED BRANCHES SHALL BE PERFORMED EACH FALL, AND AS NEEDED FOLLOWING DAMAGE TO PLANT MATERIAL 10. DEBRIS AND DEAD LEAVES SHALL BE REMOVED FROM PLANTING BEDS IN THE FALL AND EARLY SPRING.

- TREE PLANTING NOTES:
- 1. GAS OR ELECTRIC LINES SHALL BE 2' MINIMUM FROM EDGE OF TREE PIT. OIL FILLED PIPES SHALL BE 4' MINIMUM FROM EDGE OF TREE PIT. WATER AND SEWER LINES SHALL BE 2' FROM TRUNK.
- TREES SHALL NOT BE LOCATED IN FRONT OF DOORWAYS 3. MINIMUM RECOMMENDED DISTANCE FROM TREE TRUNK:
- 3.1. TO UTILITY POLES AND/OR LIGHTS SHALL BE 15'. 3.2. TO WATER MAIN OVER 20" DIA. SHALL BE 6".
- 3.3. TO STREET SIGNS AND TRAFFIC SIGNS SHALL BE 5'.
- 3.4. TO CURB SHALL BE 7'.
- 3.5. TO FIRE HYDRANT SHALL BE 5'.
- 3.6. TO CURB OF NEAREST INTERSECTION SHALL BE 30'. 4. MINIMUM DISTANCE FROM EDGE OF TREE PIT TO NEAREST WALL
- OR FENCE SHALL BE 5'. 5. NO TREES SHALL BE INSTALLED BETWEEN UTILITY VAULTS AND
- 6. DO NOT PLANT NEW TREES UNDER OVERHEAD BRANCHES OF ADJACENT TREES.
- 7. TREE CROWN AND TRUNK SHALL BE FREE OF DEFECTS AND TRUE TO FORM.
- SCAFFOLD BRANCH.
- 9. NO PAVERS, 4 SIDED TREE GUARDS, OR OTHER MATERIALS SHALL BE PLACED WITHIN THE TREE BED.
- 10. CUT AND REMOVE BURLAP FROM TOP 2/3 OF ROOT BALL, REMOVE WIRE BASKET COMPLETELY 11, FLOOD TREES WITH WATER WITHIN THE FIRST 24 HOURS OF
- 12. NSTALL PHC TREE SAVER MYCORRHIZAL FUNGAL TRANSPLANT INOCULANT FOR TREES AND SHRUBS. INSTALL ONE 3 OUNCE PACKET PER CALIPER INCH OR PER 1 FOOT OF ROOTBALL DIA. 13. CONTRACTOR SHALL HAVE A GUARANTEE PERIOD OF 2 YEARS
- FOR EACH TREE PLANTED. 14. TOPSOIL SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
- 14.1. NATURAL LOAM WITH THE ADDITION OF COMPOST OR HUMUS 14.2. ORGANIC MATTER CONTENT SHALL BE BETWEEN 5% - 12% 14.3. THE pH SHALL BE IN THE RANGE OF 6.0 TO 7.0 INCLUSIVE, UNLESS OTHERWISE APPROVED OR SPECIFIED BY THE
- JERSEY CITY FORESTER 14.4. SOIL TEXTURAL ANALYSIS: TOP SOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY. ANY SOIL THAT DOES NOT MEET THE REQUIREMENTS BELOW WILL BE REJECTED AND REMOVED FROM THE SITE.
- ROCKS, STONE AND GRAVEL > 2.0 mm < 5% SAND (0.05-2.0 mm) 40 - 60% SILT (0.002 - 0.05mm) 20 - 50% 20% MAXIMUM CLAY (<0.002 mm)
- 14.5. WHEN TOPSOIL OTHERWISE COMPLIES WITH THE REQUIREMENTS OF THE SPECIFICATION BUT SHOWS A DEFICIENCY IN ORGANIC MATTER, COMPOST MAY BE INCORPORATED WHEN AND AS PERMITTED BY THE FORESTER.
- 15. ROOT BALL SIZE RELATIVE TO TREE HEIGHT SHALL BE WITHIN THE RANGES SET BY THE AMERICAN NURSERY STANDARDS



TYPICAL TREE PLANTING & STAKE DETAIL



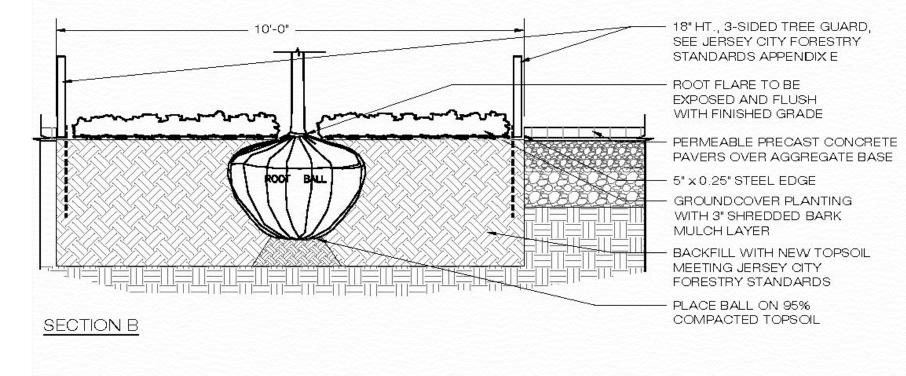
OUTSIDE OF ROOT BALL "ARBOR TIE" SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER TWISTED AND SECURED TO THE STAKE 18" HT., 3-SIDED TREE GUARD, SEE JERSEY CITY FORESTRY STANDARDS APPENDIX E ROOT FLARE TO BE EXPOSED AND FLUSH

WITH FINISHED GRADE GROUND COVER PLANTING WITH 3" SHREDDED BARK MULCH LAYER

ADJACENT SIDEWALK CUT AND REMOVE BURLAP FROM TOP 2/3 OF ROOT BALL, REMOVE WIRE BASKET

COMPLETELY BACKFILL WITH NEW TOPSOIL MEETING JERSEY CITY FORESTRY STANDARDS PLACE BALL ON 95% COMPACTED TOPSOIL

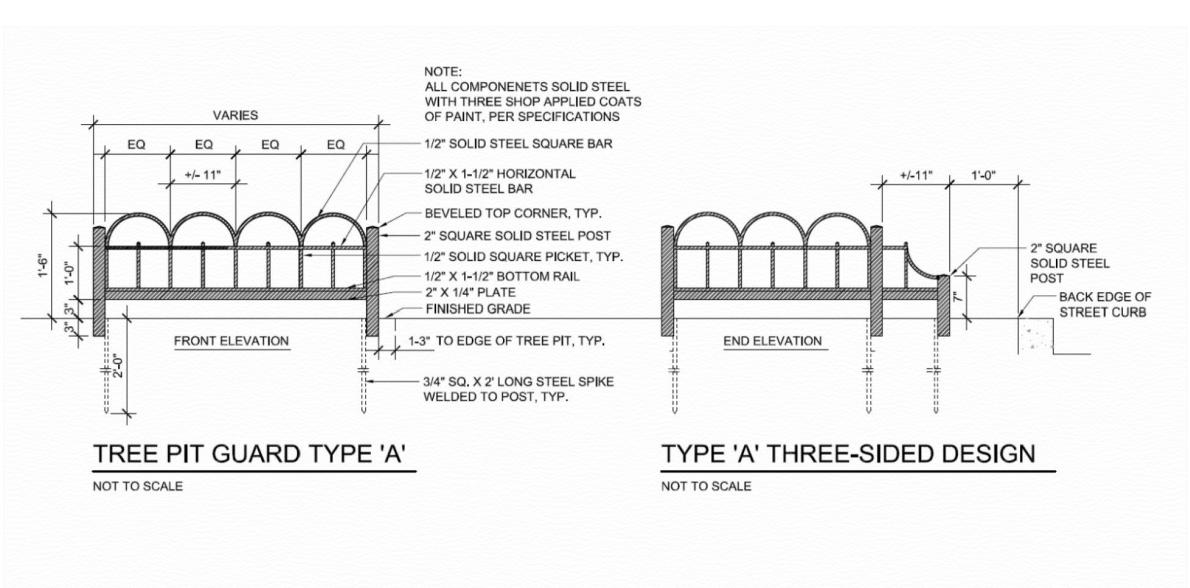
SECTION A



9" X 20" CONCRETE CURB PERMEABLE PRECAST CONCRETE PAVER BAND - 5' WIDE 5" x 0.25" STEEL EDGE. ALONG PERMEABLE PAVERS - STREET TREE 5'x 10' PLANTED AND MULCHED OPENING, PLANT WITH PERENNIALS OR GROUNDCOVER TREE GUARD, SEE JERSEY CITY FORESTRY STANDARDS APPENDIX E 5" x 0.25" STEEL EDGE, ALONG PERMEABLE PAVERS ADJACENT SIDEWALK PERMEABLE PRECAST CONCRETE PAVER BAND - 5' WIDE

PLAN VIEW

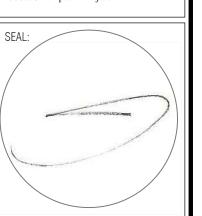
TYPICAL STREET TREE PLANTING DETAIL- 5'X 10' OPEN TREE PIT



TYPICAL TYPE A TREE GUARD DETAILS



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Registered Architect: NJ LIC 21 AI 01985300

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PROPOSED 4 UNITS & GROUND COMMERCIAL

> ADDRESS: 483 DR. MARTIN LUTHER KING DRIVE JERSEY CITY, NJ

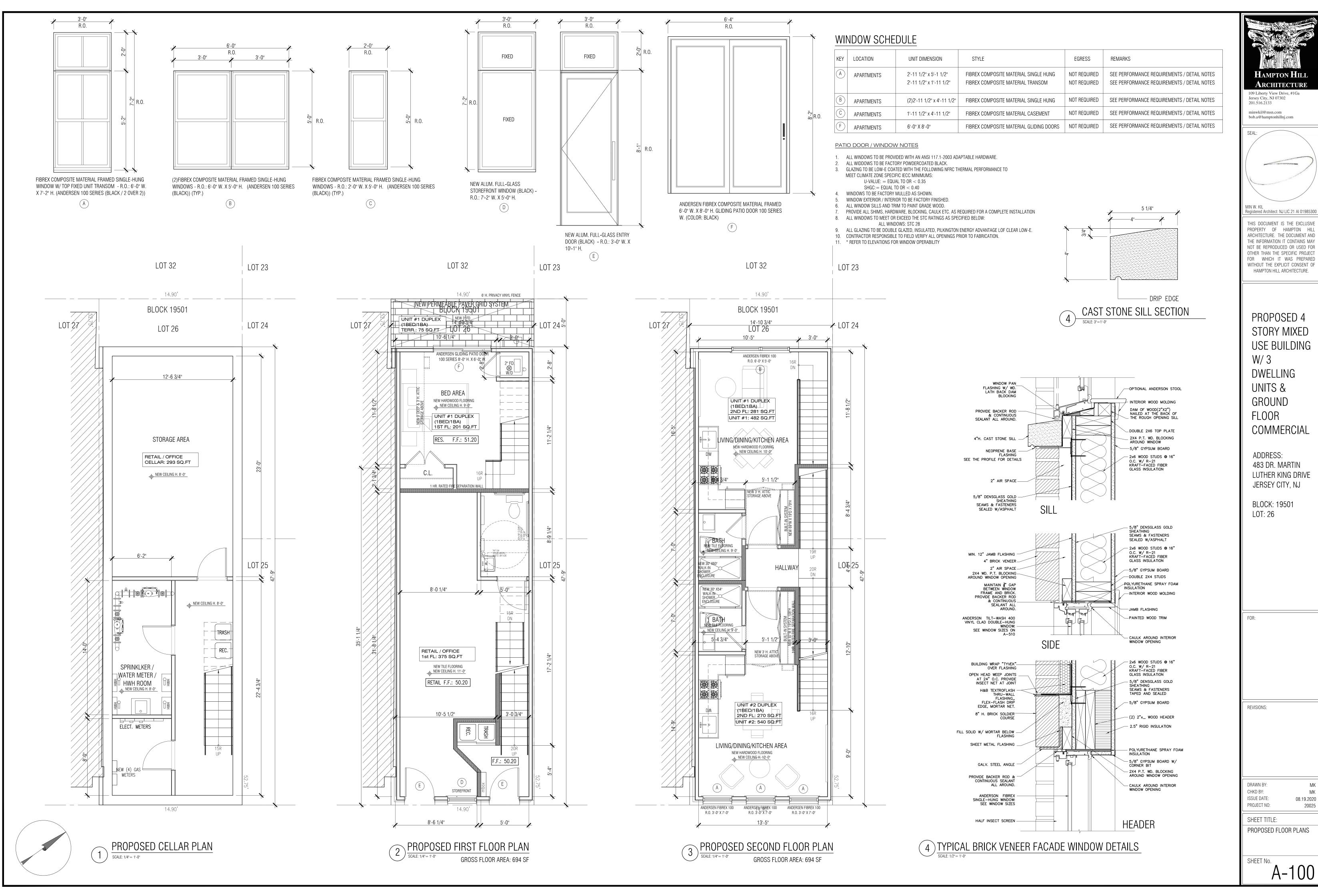
BLOCK: 19501 LOT: 26

REVISIONS:

DRAWN BY: CHKD BY: ISSUE DATE: 08.19.2020 PROJECT NO: 20025

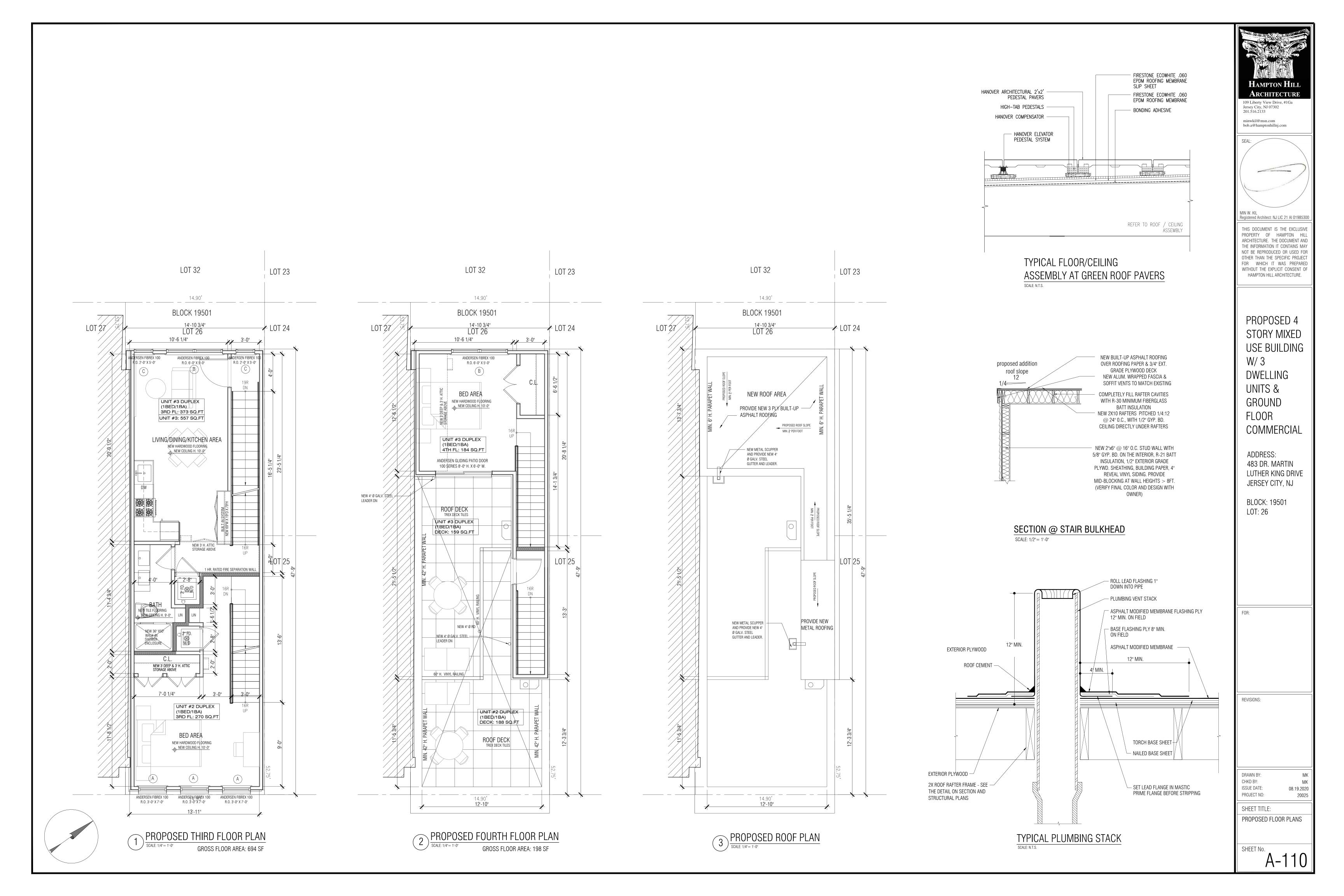
SHEET TITLE: PROPOSED STREET TREE SITE DETAILS & NOTES

SHEET No.

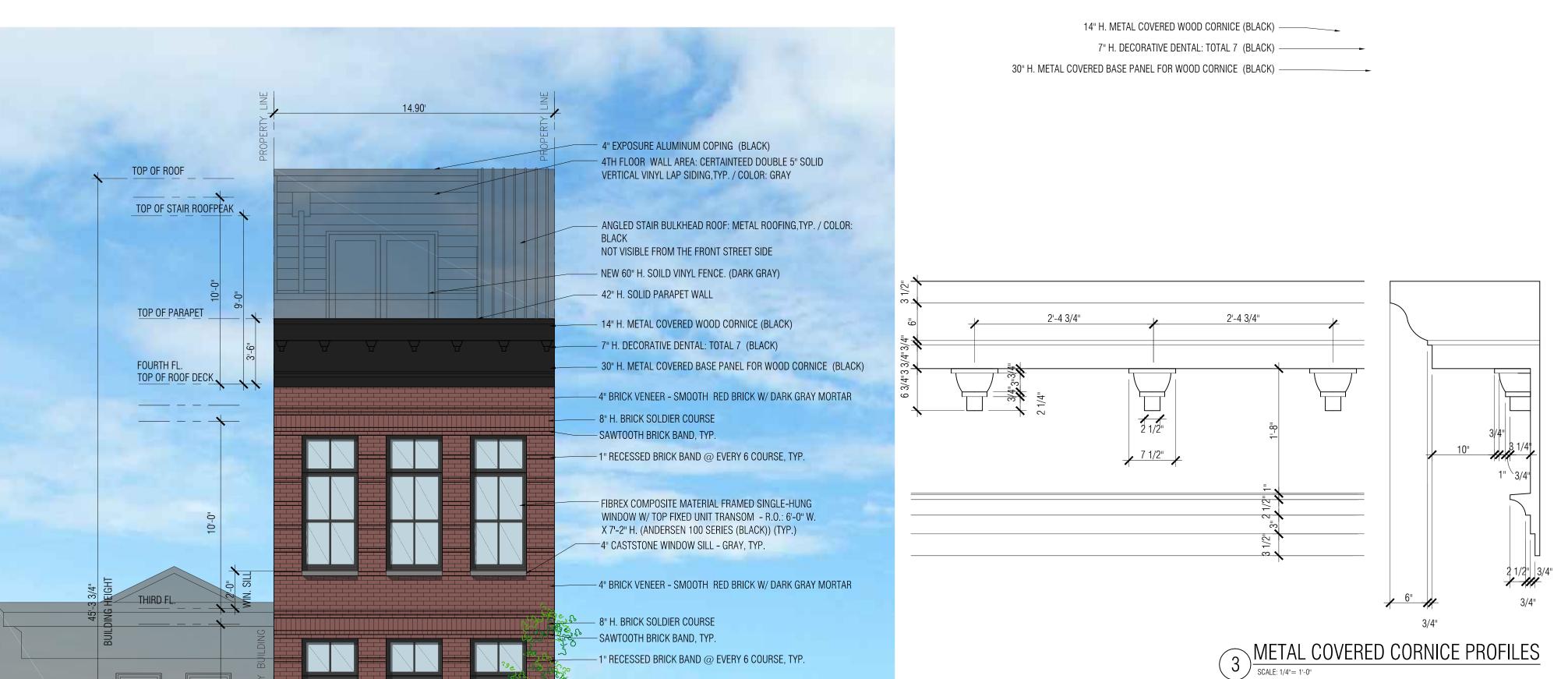


USE BUILDING

08.19.2020 20025







FIBREX COMPOSITE MATERIAL FRAMED SINGLE-HUNG WINDOW W/ TOP FIXED UNIT TRANSOM - R.O.: 6'-0" W.

NEW 9" H. X 2" DEEP BRUSHED FINISHED ALUM.

NEW 6" H. X 2" DEEP BRUSHED FINISHED ALUM. BUILDING ADDRESS SIGNAGE LETTERS MOUNTED ON WALL, TYP.- SEE THE SIGN REQUIREMENT FROM THE

CURRENT REDEVELOPMENT ORDINANCES (JET BLACK)

SIGN REQUIREMENT FROM THE CURRENT REDEVELOPMENT ORDINANCES (JET BLACK)

COMMERCIAL SIGNAGE LETTERS MOUNTED ON WALL (SIGN TO BE LIT FROM BACKLIT HALO), TYP.- SEE THE

X 7'-2" H. (ANDERSEN 100 SERIES (BLACK)) (TYP.)

BRICK BAND @ EVERY 6 COURSE, TYP. NEW WALL MOUNTED LIGHTING- BLACK FINISH

- NEW ALUM. FULL-GLASS STORE WINDOW (BLACK) - R.O.:

- NEW ALUM. FULL-GLASS ENTRY DOOR (BLACK) - R.O.:

PROPOSED FRONT STREET VIEW ELEVATION

SV-H: BRICK SOLDIER COURSE SAWTOOTH BRICK BAND, TYP.

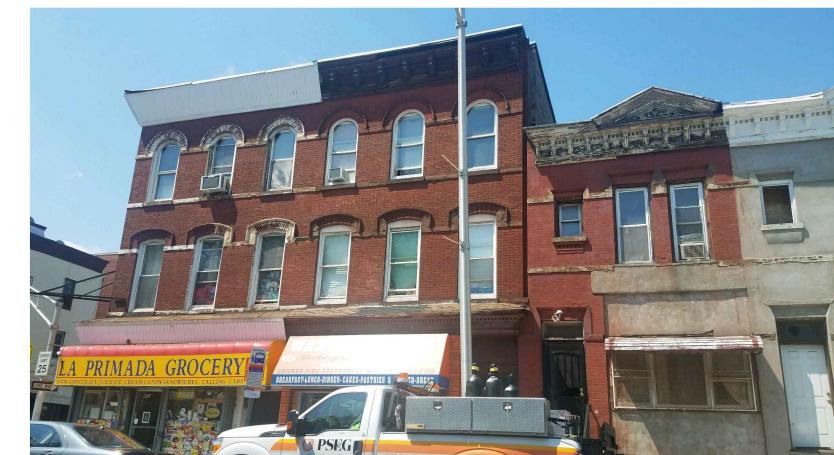
7'-2" W. X 5'-0" H.

3'-0" W. X 10'-1" H.

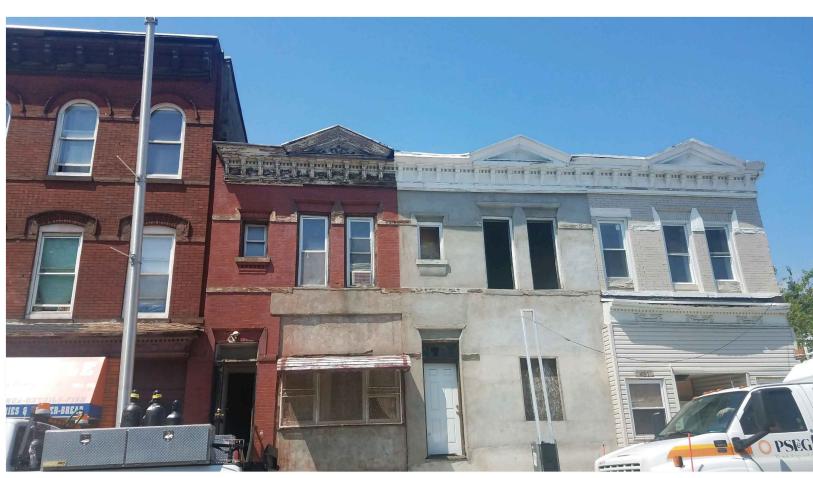
SECOND FL.

-_FIRST_FL.

AVG. GRADE



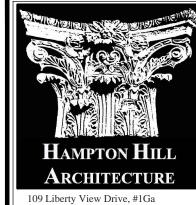
STREET PHOTO VIEW 1



STREET PHOTO VIEW 2



STREET PHOTO VIEW 3



Jersey City, NJ 07302 201.516.2133



MIN W. KIL Registered Architect: NJ LIC 21 AI 01985300

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PROPOSED 4 STORY MIXED USE BUILDING W/ 3 **DWELLING** UNITS & GROUND FL00R COMMERCIAL

ADDRESS: 483 DR. MARTIN LUTHER KING DRIVE JERSEY CITY, NJ

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REVISIONS:

DRAWN BY: CHKD BY: ISSUE DATE: 08.19.2020

PROJECT NO: 20025 SHEET TITLE:

PROPOSED BUILDING ELEVATIONS

SHEET No. A-200

