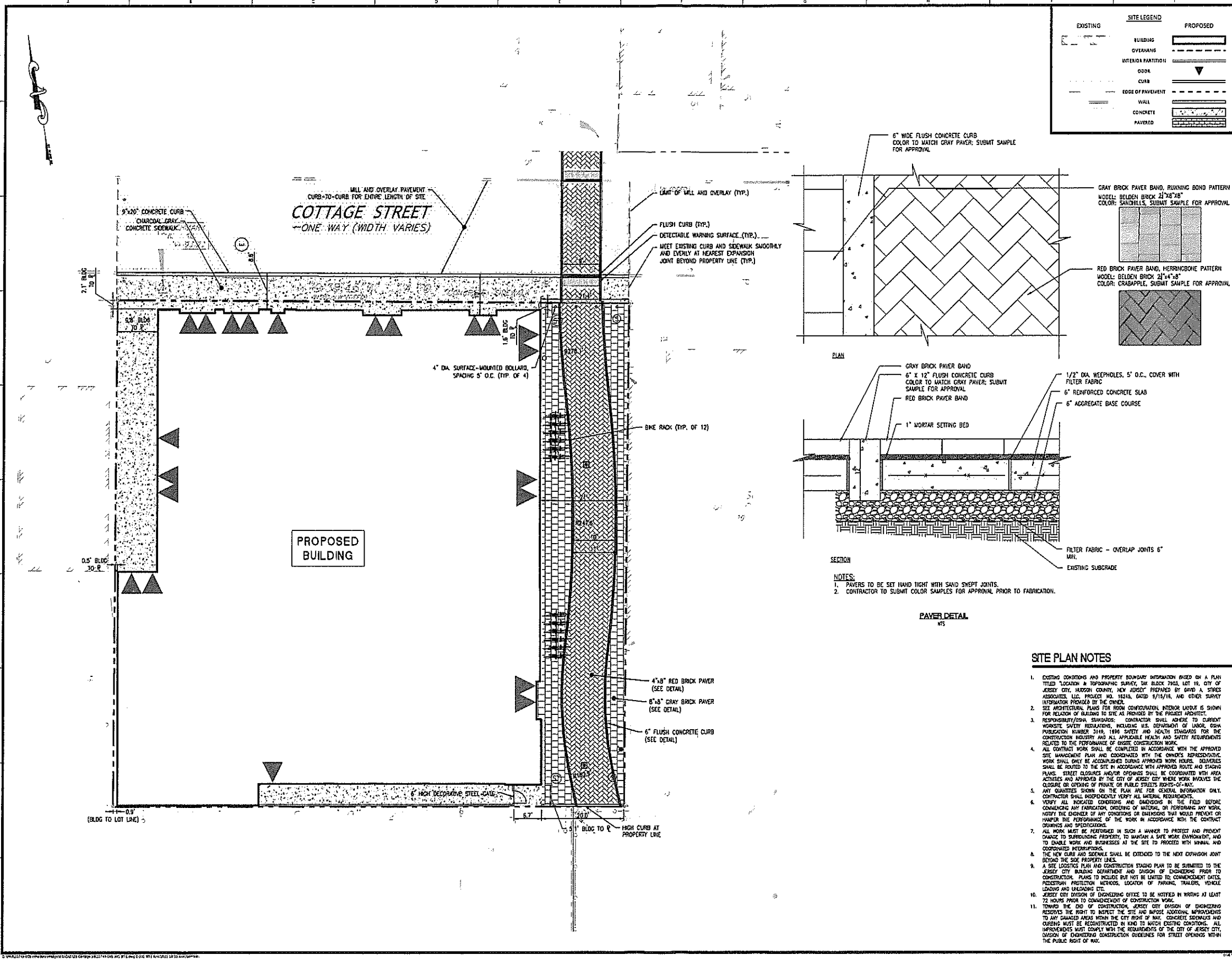




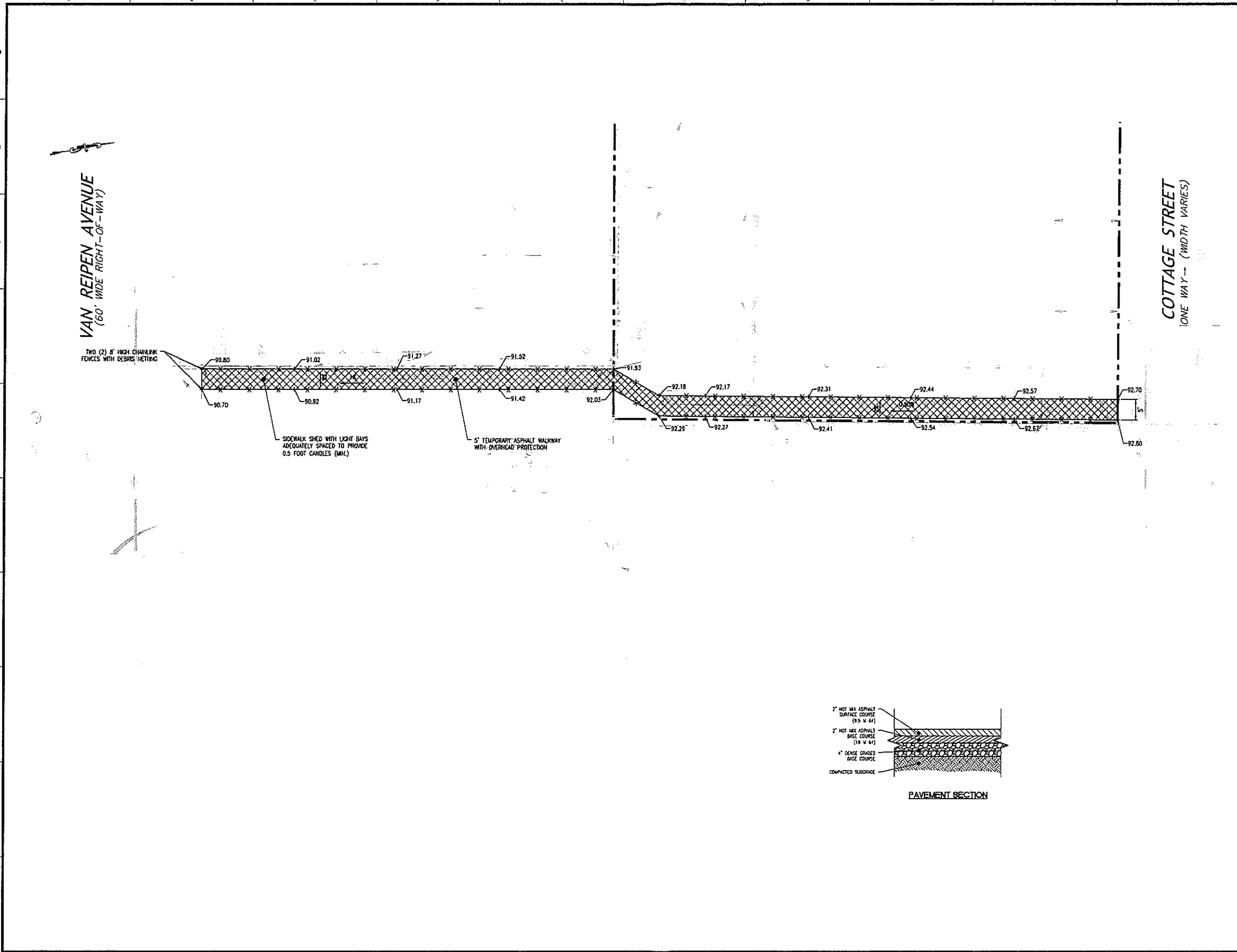
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CURB	
EDGE OF PAVEMENT	
WALL	
CONCRETE	
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DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
1 EVERTRUST PLAZA, SUITE 801, JERSEY CITY, NJ 07302
TEL: 201.317.5200 FAX: 201.317.5507
N.J. CERTIFICATE OF AUTHORITY: 14C000721500

JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL

21	08-24-2021	REVISED PLANNING BOARD SUBMISSION	AM
22	09-01-2021	DESCRIPTION	BY
REVISIONS:			
OWNER/APPLICANT:			
35 COTTAGE LLC			
98 CUTTERMILL ROAD			
SUITE 284 NORTH			
GREAT NECK, NY 11021			
DRAWN BY:			
SITE PLAN			
PROJECT:			
35 COTTAGE STREET			
LOCATION:			
35 COTTAGE STREET			
LOT 19, BLOCK 7903			
CITY OF JERSEY CITY			
HUDSON COUNTY			
NEW JERSEY 07305			
PROFESSIONAL ENGINEER & LAND SURVEYOR			
AT LICENSE NUMBER 2402643300			
SCALE:			
10 5 0 10			
SCALE: 1"=10'			
DRAWN BY:	C/C	CHECKED BY:	J/M
SCALE:	1"=10'	DATE:	11-02-2018
FOR NO:	10743-005	SHEET	02 OF 12
C-301			

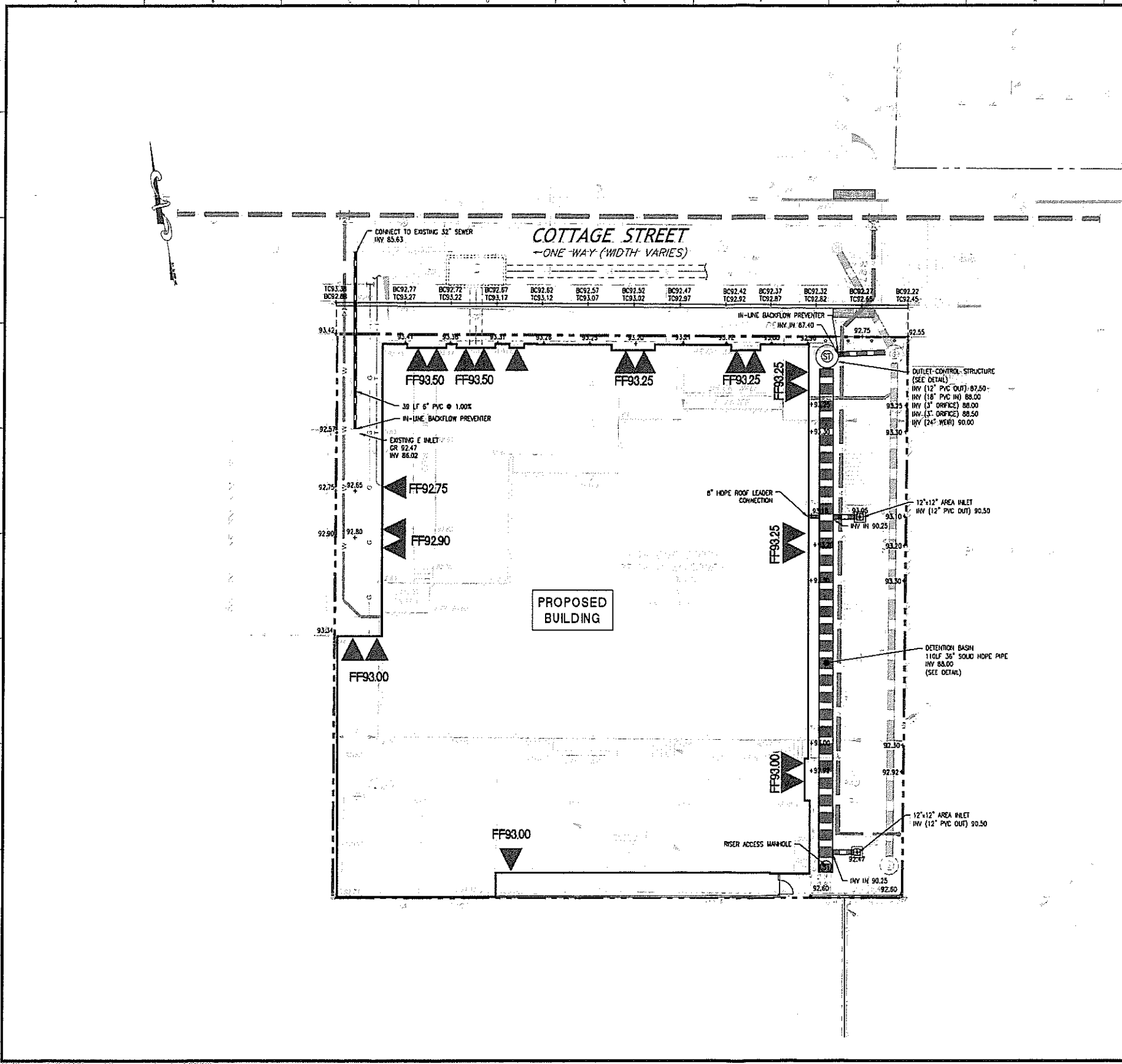


DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
1 EVERTRUST PLAZA, SUITE 902, JERSEY CITY, NJ 07302
TEL: 201-217-5700 FAX: 201-217-5967
NJ CERTIFICATE OF AUTHORIZATION: 24C217550000

JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL

01	08-04-2021	REVISED PLANNING BOARD SUBMISSION	JM
NO.	DATE	DESCRIPTION	BY
REVISIONS:			
OWNER/APPLICANT:			
35 COTTAGE LLC 98 CUTTERMILL ROAD SUITE 284 NORTH GREAT NECK, NY 11021			
DRAWING TITLE:			
TEMPORARY WALKWAY PLAN			
PROJECT:			
35 COTTAGE STREET			
LOCATION:			
35 COTTAGE STREET LOT 19, BLOCK 7903 CITY OF JERSEY CITY HUDSON COUNTY NEW JERSEY 07305			
DESIGNER:			
JOSEPH MELE PROFESSIONAL ENGINEER & LAND SURVEYOR NJ LICENSE NUMBER 24C084333000			
SCALE:			
 SCALE: 1"=10'			
DESIGNED BY:	CHECKED BY:	DRAWING NUMBER:	
JPL	JM	C-302	
SCALE:	DATE:		
1"=10'	11-02-2018		
FILE NO:		SHEET 03 OF 12	
10743-005			



GRADING & DRAINAGE LEGEND	
EXISTING	PROPOSED
SPOT ELEVATION	+10.50
STORM SEWER	
STORM MANHOLE	
ROOF DRAIN	
TYPE A INLET	
TYPE B INLET	
TYPE C INLET	

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811
OR
1-800-272-1000

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GRADING AND DRAINAGE PLAN NOTES

- EXISTING CONDITIONS AND PROPERTY BOUNDARY INFORMATION BASED ON A PLAN TITLED "LOCATION & TOPOGRAPHIC SURVEY" LOT 19, CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY PREPARED BY DAVID A. STILES ASSOCIATES, LLC, PROJECT NO. 12145, DATED 8/15/16, AND OTHER SURVEY INFORMATION PROVIDED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR ROOM CONFIGURATION, INTERIOR LAYOUT IS SHOWN FOR RELATION OF BUILDING TO SITE AS PROVIDED BY THE PROJECT ARCHITECT.
- RESPONSIBILITY/LEGAL REMARKS: CONTRACTOR SHALL ADHERE TO CURRENT OSHA AND OTHER LEGAL REQUIREMENTS FOR SAFETY IN THE WORKPLACE, INCLUDING U.S. DEPARTMENT OF LABOR, OSHA PUBLICATION NUMBER 3448, 1988 SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY AND ALL HEALTH AND SAFETY REQUIREMENTS RELATED TO THE PERFORMANCE OF UTILITY CONSTRUCTION WORK.
- ALL CONTRACT WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED SITE MANAGEMENT PLAN AND COORDINATED WITH THE OWNER'S REPRESENTATIVE. WORK SHALL ONLY BE ACCOMPLISHED DURING APPROVED WORK HOURS. DELAYED WORK SHALL BE ROUTED TO THE SITE IN ACCORDANCE WITH APPROVED ROUTE AND STAGING PLANS. STREET CLOSURES AND/OR OPENINGS SHALL BE COORDINATED WITH AREA ACTIVITIES AND APPROVED BY THE CITY OF JERSEY CITY WHERE WORK INVOLVES THE CLOSURE OR OPENING OF DESIGNATED STREETS, ROADS-OF-WAY.
- ANY QUANTITIES SHOWN ON THE PLAN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FURNISHING, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR IMPAIR THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- ALL WORK MUST BE PERFORMED IN SUCH A MANNER TO PROTECT AND PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENABLE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND UNDISRUPTED INTERRUPTIONS.
- ELEVATIONS SHOWN HEREON, UNLESS OTHERWISE SPECIFIED, ARE BASED ON NAVD83. THE CONTRACTOR IS TO FIELD VERIFY ALL QUANTITIES AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD VERIFIED MEASUREMENTS AND THOSE SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL UTILITIES BY CONDUCTING TEST PITS AT UTILITY CROSSINGS, PRIOR TO EXCAVATION AND EXERCISE CARE TO PREVENT DISRUPTION OF ACTIVE SERVICES & AVOID CONFLICTS. CONTRACTOR SHOULD EXPECT TO ENCOUNTER ABANDONED UTILITY SERVICES WITHIN THE STREET RIGHTS-OF-WAY. ABANDONED UTILITIES SHALL BE REMOVED OR FILLED AS NECESSARY TO ADVANCE THE WORK IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL DEVIATION MATERIAL AND DEBRIS AND ALL ITEMS REMOVED FROM THE PROPERTY AND THE PUBLIC AREAS ADJACENT, SHALL BE DEPOSITED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH APPLICABLE NJDEP REGULATIONS. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE WHICH POSES A THREAT TO LIFE, SAFETY OR PROPERTY.
- UTILIZE A MOBILE SWEEPER AND WATER TRUCK AS NEEDED FOR DUST CONTROL ALONG THE TRAIL ROUTE AND IN AREAS MADE AVAILABLE FOR CONSTRUCTION. STREETS AND SIDEWALKS MUST BE KEPT FREE OF SEDIMENT EACH DAY.
- IN ALL CASES, WALKS IN PARKING AREAS TO BE PITCHED TOWARD DRAINAGE STRUCTURES TO PREVENT FLOODING.
- PREVENT WATER PONDING RESULTING FROM CONSTRUCTION OPERATIONS. PROMPTLY REMOVE ANY PONDING WATER TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IF AN ADJACENT STRUCTURE APPEARS TO BE IN DANGER AND WILL TAKE ALL ACTIONS NECESSARY TO STABILIZE THE SITUATION.
- ALL REPAIRS AND NEW PAVEMENT AREAS TO BE INSTALLED TO SMOOTH, EVEN GRADE, CORRECT EXISTING LOW SPOTS AND GRADE DISCREPANCIES BY FILLING AND CUTTING AS REQUIRED.
- MEET EXISTING GRADE AND SURFACE FINISHES, WHERE NOTED.
- ALL EXISTING MANHOLE COVERS, GRATES, AND UTILITY STRUCTURES TO REMAIN SHALL BE ADAPTED TO EXISTING GRADE AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ACCURATE AS-BUILT NOTES AS CONSTRUCTION PROGRESSES. AS-BUILT INFORMATION SHALL CONTAIN, BUT NOT BE LIMITED TO, TOP OF PIPE/PAVEMENT ELEVATIONS AT REGULAR INTERVALS, DISTANCES TO CENTER OF PIPE/PAVEMENT OF OBJECT FROM A SURVEYABLE POINT, LOCATION AND TYPES OF BENCH MARKS IN PIPES AND DEPTH OF COVER. ANY UTILITY OR OBJECT ENCOUNTERED IN THE FIELD THAT IS NOT ACCURATELY SHOWN ON THE DRAWINGS SHALL BE AS-BUILT BY THE CONTRACTOR AND FORWARDED TO THE ENGINEER AS SOON AS POSSIBLE. UPON COMPLETION OF THE PROJECT THE CONTRACTOR IS TO SUBMIT TO THE ENGINEER, WITHIN 14 DAYS, A SET OF AS-BUILT DRAWINGS SIGNED AND SEALED BY A NEW JERSEY LICENSED SURVEYOR. THE ENGINEER RESERVES THE RIGHT TO HAVE THE CONTRACTOR PRODUCE DRAWINGS WITH AS-BUILT INFORMATION ON THEM AT ANYTIME DURING CONSTRUCTION.

DRESDNER ROBIN

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1 EVERTRUST PLAZA, SUITE 901, JERSEY CITY, NJ 07302
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12 CENTRAL AVENUE, SUITE 101, JERSEY CITY, NJ 07310

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DATE	REVISION	BY
01-08-2021	REVISED PLANNING BOARD SUBMISSION	LM
01-08-2021	DESCRIPTION	BY

OWNER/APPLICANT:
35 COTTAGE LLC
98 CUTTERMILL ROAD
SUITE 284 NORTH
GREAT NECK, NY 11021

GRADING AND DRAINAGE PLAN

PROJECT:
35 COTTAGE STREET

LOCATION:
35 COTTAGE STREET
LOT 19, BLOCK 7903
CITY OF JERSEY CITY
HUDSON COUNTY
NEW JERSEY 07305

JOSEPH MELE
PROFESSIONAL ENGINEER & LAND SURVEYOR
NJ LICENSE 10401818 240804033000



DESIGNED BY	CIC	CHECKED BY	JM	DRAWN BY	
SCALE	1"=10'	DATE	11-02-2018		
PROJECT NO.	10743-005	SHEET	04	OF	12



DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, LLC
1 EVERTRUST PLAZA, SUITE 501, JERSEY CITY, NJ 07310
TEL: 201-217-9500 FAX: 201-217-9507
NJ CERTIFICATE OF AUTHORIZATION: 14C027251000

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01/08/04/2021	REVISED PLANNING BOARD SUBMISSION	JM
02/12/21	CLARIFICATION	BY

REVISIONS:

OWNER/APPLICANT:

35 COTTAGE LLC
98 CUTTERMILL ROAD
SUITE 284 NORTH
GREAT NECK, NY 11021

DRAWING TITLE:

**SCHEMATIC OVERALL
UTILITY PLAN**

PROJECT:

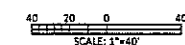
35 COTTAGE STREET

LOCATION:

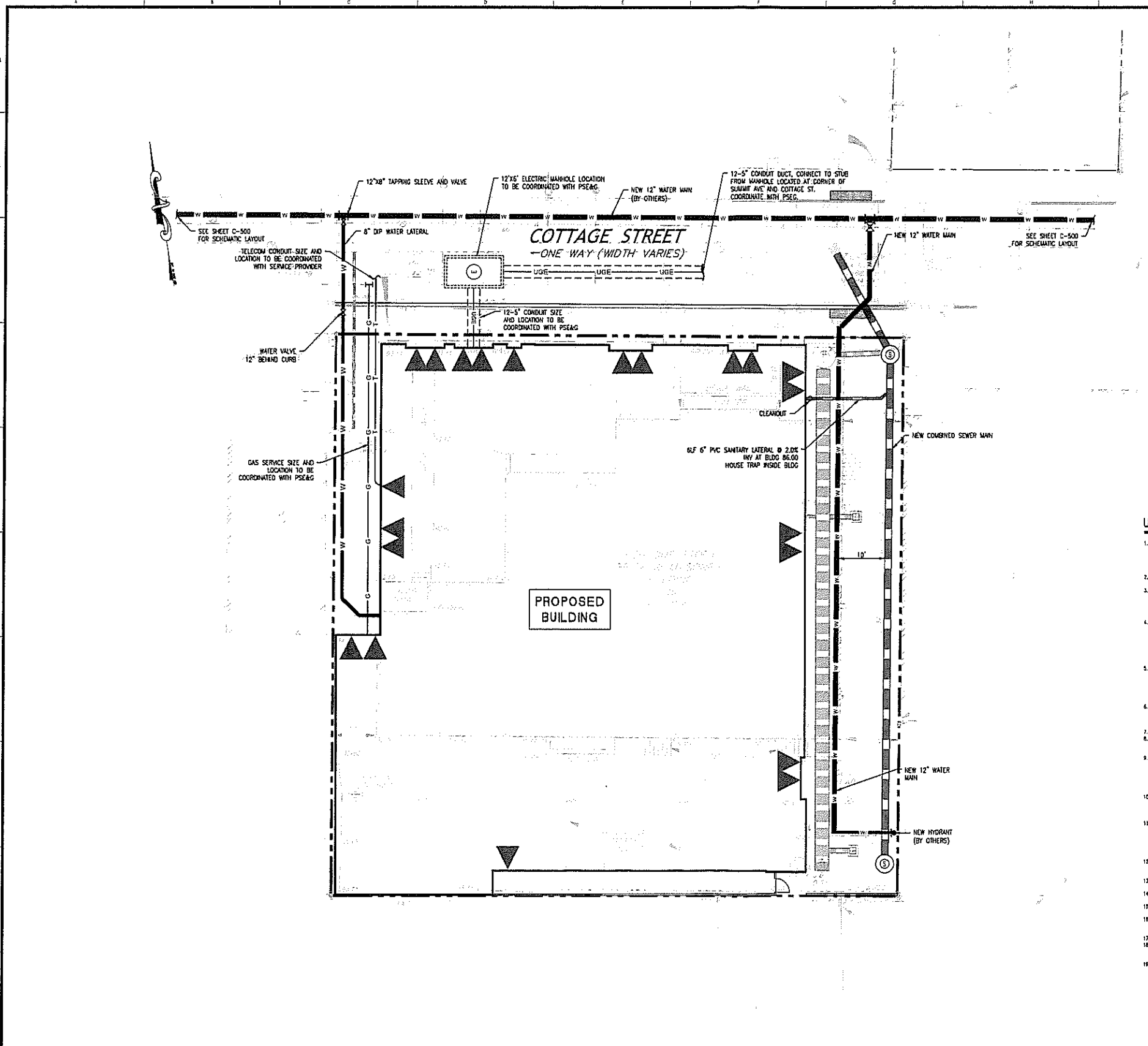
35 COTTAGE STREET
LOT 19, BLOCK 7903
CITY OF JERSEY CITY
HUDSON COUNTY
NEW JERSEY 07305

JOSEPH MELE
PROFESSIONAL ENGINEER & LAND SURVEYOR
NJ LICENSE NUMBER 244849423800

SCALE:



DRAWN BY: CIC	CHECKED BY: JM	DRAWING NUMBER: C-500
SCALE: 1"=40'	DATE: 11-02-2021	
JOB NO.: 10743-005	SHEET 05 OF 12	



UTILITY LEGEND	
EXISTING	PROPOSED
ELECTRIC	ELECTRIC
OVERHEAD WIRE	OVERHEAD WIRE
UNDERGROUND WIRE	UNDERGROUND WIRE
UTILITY POLE	UTILITY POLE
ELECTRIC VALVE	ELECTRIC VALVE
GAS	GAS
GAS VALVE	GAS VALVE
TELECOM	TELECOM
TELECOM MANHOLE	TELECOM MANHOLE
WATER	WATER
HYDRANT	HYDRANT
WATER VALVE	WATER VALVE
SANITARY SEWER	SANITARY SEWER
SANITARY MANHOLE	SANITARY MANHOLE
CLEANOUT	CLEANOUT

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OR
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UTILITY PLAN NOTES

- EXISTING CONDITIONS AND PROPERTY BOUNDARY INFORMATION BASED ON A PLAN TITLED "LOCATION & TOPOGRAPHIC SURVEY, TAX BLOCK 7903, LOT 19, CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY" PREPARED BY DAVID A. STYER ASSOCIATES, L.L.C. PROJECT NO. 12945, DATED 8/15/16, AND OTHER SURVEY INFORMATION PROVIDED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR ROOM CONFIGURATION, INTERIOR FINISHES, AND OTHER INFORMATION RELATIVE TO THE BUILDING TO BE CONSTRUCTED.
- RESPONSIBILITY/STANDARD: CONTRACTOR SHALL ADHERE TO CURRENT OSHA AND OTHER LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR THE PROTECTION OF THE PUBLIC AND THE ENVIRONMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN.
- ALL CONTRACT WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED SITE MANAGEMENT PLAN AND COORDINATED WITH THE OWNER'S REPRESENTATIVE. WORK SHALL ONLY BE ACCOMPLISHED DURING APPROVED WORK HOURS. DELAYED WORK SHALL BE REPORTED TO THE SITE IN ACCORDANCE WITH APPROVED ROUTE AND STAGING PLANS. STREET CLOSURES AND/OR OPERATIONS SHALL BE COORDINATED WITH AREA ACTIVITIES AND APPROVED BY THE CITY OF JERSEY CITY WHERE WORK INVOLVES THE CLOSURE OR OPENING OF DEDICATED STREETS RIGHTS-OF-WAY.
- ANY QUANTITIES SHOWN ON THE PLAN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- ALL WORK MUST BE PERFORMED IN SUCH A MANNER TO PROTECT AND PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENSURE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND COORDINATED INTERRUPTIONS.
- ELEVATIONS SHOWN HEREON, UNLESS OTHERWISE SPECIFIED, ARE BASED ON MEASUREMENTS TAKEN FROM THE TOP OF THE CURB OR FROM THE FINISHED GRADE OF THE ADJACENT STREET.
- THE CONTRACTOR IS TO FIELD VERIFY ALL QUANTITIES AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD VERIFIED INVENTS AND THOSE SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL UTILITIES BY CONDUCTING TEST PITS AT UTILITY CROSSINGS, PRIOR TO EXCAVATION AND DISCLOSE CORE TO PREVENT DISRUPTION OF ACTIVE SERVICES & AVOID COLLISIONS. CONTRACTOR SHOULD EXPECT TO ENCOUNTER ABANDONED UTILITY SERVICES WHEN THE STREET RIGHTS-OF-WAY ABANDONED UTILITIES SHALL BE REMOVED OR FILLED AS NECESSARY TO ADVANCE THE WORK IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE, TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXCAVATION MATERIAL AND DEBRIS AND ALL ITEMS REMOVED FROM THE PROPERTY AND THE PUBLIC AREAS ADJACENT SHALL BE DEPOSITED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL DEPARTMENT AND IN ACCORDANCE WITH APPLICABLE NJDEP REGULATIONS. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE WHICH POSSES A THREAT TO LIFE, SAFETY OR PROPERTY.
- UTILIZE A MOBILE DRAINER AND WATER TRUCK AS NEEDED FOR DUST CONTROL ALONG THE TRAIL ROUTE AND IN AREAS MADE AVAILABLE FOR CONSTRUCTION. STREETS AND SIDEWALKS MUST BE KEPT FREE OF SEDIMENT EACH DAY.
- IN ALL CASES, WALKS & PARKING AREAS TO BE PROTECTED TOWARD DRAINAGE STRUCTURES TO PREVENT FLOODING.
- PREVENT WATER PONDING RESULTING FROM CONSTRUCTION OPERATIONS. PROMPTLY REMOVE ANY PONDING WATER TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL EXPOSE WORK MANHOLES IF AN ADJACENT STRUCTURE APPEARS TO BE IN DANGER AND WILL TAKE ALL ACTIONS NECESSARY TO STABILIZE THE SITUATION. ALL EXPOS AND NEW PAVEMENT AREAS TO BE INSTALLED TO SMOOTH, EVEN GRADE. CORRECT EXISTING LOW SPOTS AND GRADE DISCREPANCIES BY FILLING AND CUTTING AS REQUIRED.
- MEET EXISTING GRADE AND SURFACE FINISHES, WHERE NOTED.
- ALL EXISTING MANHOLE COVERS, GRATES, AND UTILITY STRUCTURES TO REMAIN SHALL BE ADJUSTED TO FINISH GRADE AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ACCURATE AS-BUILT NOTES AS CONSTRUCTION PROGRESSES. AS-BUILT INFORMATION SHALL CONTAIN, BUT NOT BE LIMITED TO, TOP OF PIPE/INVERT ELEVATIONS AT REGULAR INTERVALS, DESIGNED TO CENTER OF PIPE/CORNER OF CURB FROM A SURVEYABLE POINT, LOCATION AND TYPES OF RECORDS IN PILES AND DEPTH OF COVER. ANY UTILITY OR OBJECT ENCOUNTERED IN THE FIELD THAT IS NOT ACCURATELY DISPLAYED ON THE DRAWINGS SHALL BE AS-BUILT BY THE CONTRACTOR AND FORWARDED TO THE ENGINEER AS SOON AS POSSIBLE. UPON COMPLETION OF THE PROJECT THE CONTRACTOR IS TO SUBMIT TO THE ENGINEER, WITHIN 14 DAYS, A SET OF AS-BUILT DRAWINGS SIGNED AND SEALED BY A NEW JERSEY LICENSED SURVEYOR. THE ENGINEER RESERVES THE RIGHT TO HAVE THE CONTRACTOR PRODUCE DRAWINGS WITH AS-BUILT INFORMATION ON THEM AT ANYTIME DURING CONSTRUCTION.

DRESDNER ROBIN

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TEL 201.287.5100 FAX 201.217.5507
12 CANTERBURY AVE, JERSEY CITY, NJ 07310

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01	09-04-2021	REVISED PLANNING BOARD SUBMISSION	JM
02	04-12-2018	EXCEPTION	RJ

OWNER/APPLICANT:

35 COTTAGE LLC
98 CUTTERMILL ROAD
SUITE 284 NORTH
GREAT NECK, NY 11021

DRAWING TITLE

UTILITY PLAN

PROJECT

35 COTTAGE STREET

LOCATION

35 COTTAGE STREET
LOT 19, BLOCK 7903
CITY OF JERSEY CITY
HUDSON COUNTY
NEW JERSEY 07305

DESIGNED BY

JOSEPH MELE
PROFESSIONAL ENGINEER & LAND SURVEYOR
NJ LICENSE NUMBER 24080433390

SCALE

1"=10'

DRAWN BY

CJC

CHECKED BY

JM

DATE

11-02-2018

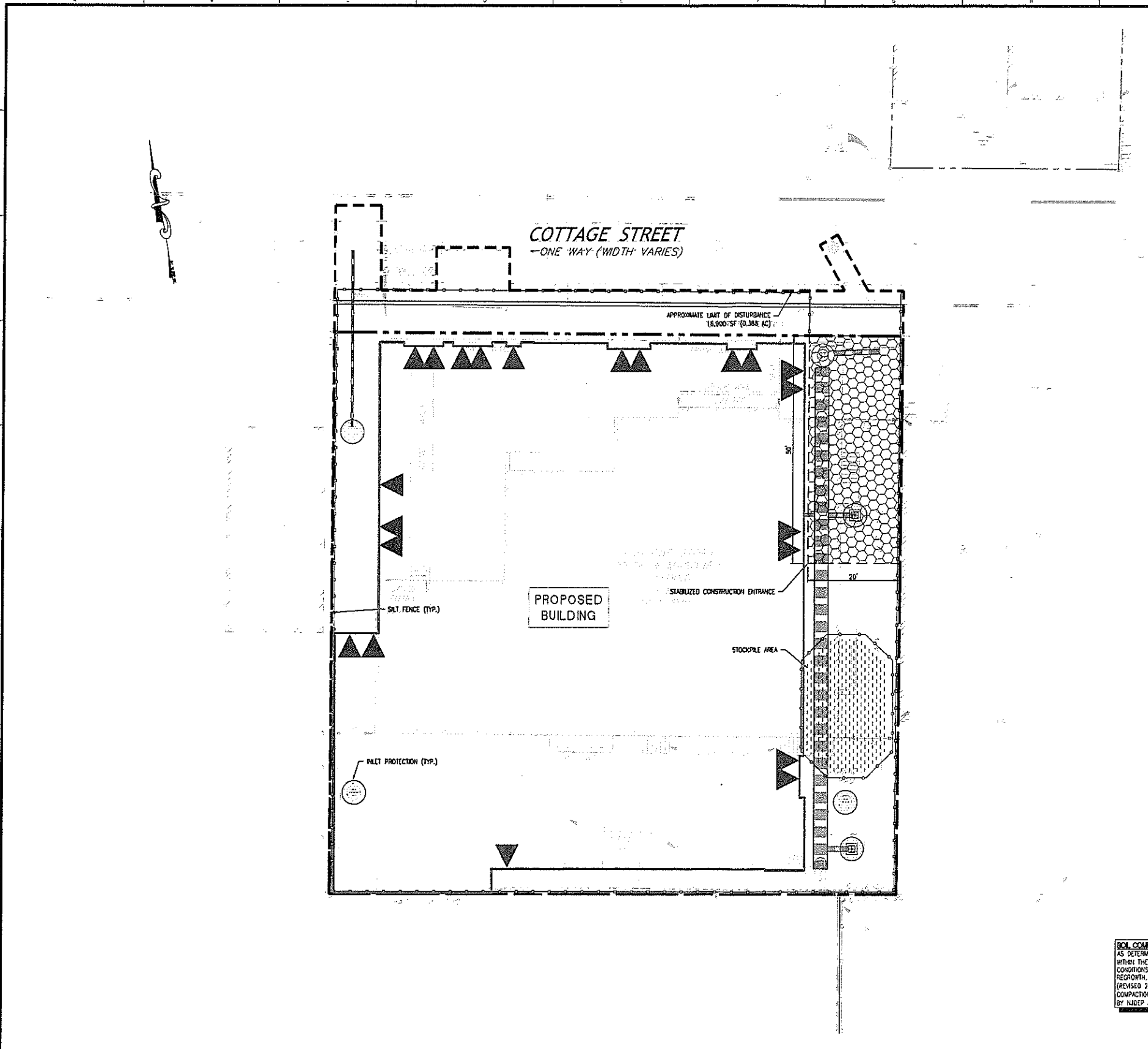
DRAWING NUMBER

C-501

FOR NO.

10743-005

SHEET 06 OF 12



SESC LEGEND

LIMIT OF DISTURBANCE
SILT FENCE
SILT PROTECTION
STOCKPILE
STABILIZED CONSTRUCTION ACCESS

DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
1 EVERTRUST PLAZA, SUITE 500, JERSEY CITY, NJ 07302
TEL: 201.227.5000 FAX: 201.227.5607
NJ CERTIFICATE OF AUTHORIZATION: 21C-02331000

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DATE	08-01-2011	REVISION	11A
DATE	11-02-2018	REVISION	8

OWNER/APPLICANT:

35 COTTAGE LLC
98 CUTTERMILL ROAD
SUITE 284 NORTH
GREAT NECK, NY 11021

DRAWING TITLE

SOIL EROSION AND SEDIMENT CONTROL PLAN

PROJECT

35 COTTAGE STREET

LOCATION:

35 COTTAGE STREET
LOT 19, BLOCK 7903
CITY OF JERSEY CITY
HUDSON COUNTY
NEW JERSEY 07305

DESIGNED BY

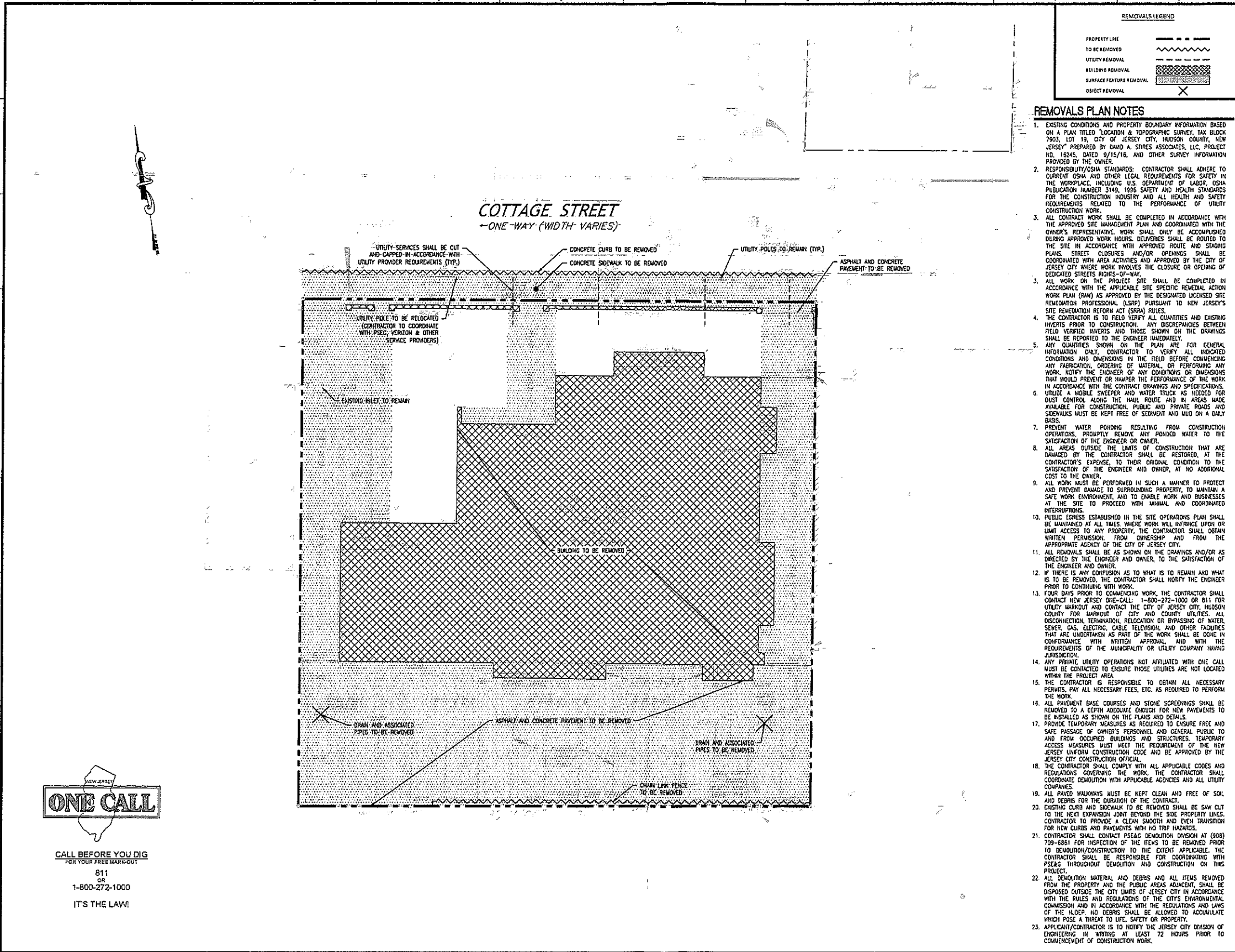
JOSEPH MELE
PROFESSIONAL ENGINEER & LAND SURVEYOR
NJ LICENSE NUMBER: 2461843390

SCALE:

10 5 0 10
SCALE: 1"=10'

DRAWN BY	CJC	CHECKED BY	JMA	DRAWING NUMBER
SCALE	1"=10'	DATE	11-02-2018	C-801
PCR NO.	10743-005	SHEET	07 OF 12	

SOIL COMPACTION EXEMPTION NOTE
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (MPA). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PAI AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".



REMOVALS LEGEND	
PROPERTY LINE TO BE REMOVED	---
UTILITY REMOVAL	~~~~~
BUILDING REMOVAL	XXXXXX
SURFACE FEATURE REMOVAL	XXXXXX
OBJECT REMOVAL	X

REMOVALS PLAN NOTES

- EXISTING CONDITIONS AND PROPERTY BOUNDARY INFORMATION BASED ON A PLAN TITLED "LOCATION & TOPOGRAPHIC SURVEY, TAX BLOCK 7903, LOT 19, CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY" PREPARED BY DAVID A. STANES ASSOCIATES, LLC, PROJECT NO. 19245, DATED 9/15/16, AND OTHER SURVEY INFORMATION PROVIDED BY THE OWNER.
- RESPONSIBILITY/OSHA STANDARDS: CONTRACTOR SHALL ADHERE TO CURRENT OSHA AND OTHER LEGAL REQUIREMENTS FOR SAFETY IN THE WORKPLACE, INCLUDING U.S. DEPARTMENT OF LABOR, OSHA PUBLICATION NUMBER 3149, 1996 SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY AND ALL HEALTH AND SAFETY REQUIREMENTS RELATED TO THE PERFORMANCE OF UTILITY CONSTRUCTION WORK.
- ALL CONTRACT WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED SITE MANAGEMENT PLAN AND COORDINATED WITH THE OWNER'S REPRESENTATIVE. WORK SHALL ONLY BE ACCOMPLISHED DURING APPROVED WORK HOURS. DELIVERIES SHALL BE ROUTED TO THE SITE IN ACCORDANCE WITH APPROVED ROUTE AND STAGING PLANS. STREET CLOSURES AND/OR OPENINGS SHALL BE COORDINATED WITH AREA ACTIVITIES AND APPROVED BY THE CITY OF JERSEY CITY WHERE WORK INVOLVES THE CLOSURE OR OPENING OF DEDICATED STREETS RIGHTS-OF-WAY.
- ALL WORK ON THE PROJECT SITE SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SITE SPECIFIC REMEDIAL ACTION WORK PLAN (RAW) AS APPROVED BY THE DESIGNATED LICENSED SITE REMEDIATION PROFESSIONAL (LSP) PURSUANT TO NEW JERSEY'S SITE REMEDIATION REFORM ACT (SRRRA) RULES.
- THE CONTRACTOR IS TO FIELD VERIFY ALL QUANTITIES AND EXISTING INVERTS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD VERIFIED INVERTS AND THOSE SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ANY QUANTITIES SHOWN ON THE PLAN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- UTILIZE A MOBILE SWEEPER AND WATER TRUCK AS NEEDED FOR DUST CONTROL ALONG THE HAUL ROUTE AND IN AREAS MADE AVAILABLE FOR CONSTRUCTION. PUBLIC AND PRIVATE ROADS AND SIDEWALKS MUST BE KEPT FREE OF SEDIMENT AND MUD ON A DAILY BASIS.
- PREVENT WATER POONING RESULTING FROM CONSTRUCTION OPERATIONS. PROPERLY REMOVE ANY EXCESS WATER TO THE SATISFACTION OF THE ENGINEER OR OWNER.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK MUST BE PERFORMED IN SUCH A MANNER TO PROTECT AND PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENABLE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND COORDINATED INTERRUPTIONS.
- PUBLIC EGRESS ESTABLISHED IN THE SITE OPERATIONS PLAN SHALL BE MAINTAINED AT ALL TIMES WHERE WORK WILL INFRINGE UPON OR LIMIT ACCESS TO ANY PROPERTY. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM OWNERSHIP AND FROM THE APPROPRIATE AGENCY OF THE CITY OF JERSEY CITY.
- ALL REMOVALS SHALL BE AS SHOWN ON THE DRAWINGS AND/OR AS DIRECTED BY THE ENGINEER AND OWNER, TO THE SATISFACTION OF THE ENGINEER AND OWNER.
- IF THERE IS ANY CONFUSION AS TO WHAT IS TO REMAIN AND WHAT IS TO BE REMOVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONTINUING WITH WORK.
- FOUR DAYS PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT NEW JERSEY ONE-CALL 1-800-272-1000 OR 811 FOR UTILITY MARKOUT OF CITY AND COUNTY UTILITIES. ALL DISCONNECTION, TERMINATION, RELOCATION OR BYPASSING OF WATER, SEWER, GAS, ELECTRIC, CABLE TELEVISION, AND OTHER FACILITIES THAT ARE UNDERTAKEN AS PART OF THE WORK SHALL BE DONE IN CONFORMANCE WITH WRITTEN APPROVAL AND WITH THE REQUIREMENTS OF THE MUNICIPALITY OR UTILITY COMPANY HAVING JURISDICTION.
- ANY PRIVATE UTILITY OPERATIONS NOT AFFILIATED WITH ONE CALL MUST BE CONTACTED TO ENSURE THOSE UTILITIES ARE NOT LOCATED WITHIN THE PROJECT AREA.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS, PAY ALL NECESSARY FEES, ETC. AS REQUIRED TO PERFORM THE WORK.
- ALL PAVEMENT BASE COURSES AND STONE SCREENINGS SHALL BE REMOVED TO A DEPTH ADEQUATE ENOUGH FOR NEW PAVEMENTS TO BE INSTALLED AS SHOWN ON THE PLANS AND DETAILS.
- PROVIDE TEMPORARY MEASURES AS REQUIRED TO ENSURE FREE AND SAFE PASSAGE OF OWNER'S PERSONNEL AND GENERAL PUBLIC TO AND FROM OCCUPIED BUILDINGS AND STRUCTURES. TEMPORARY ACCESS MEASURES MUST MEET THE REQUIREMENT OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND BE APPROVED BY THE JERSEY CITY CONSTRUCTION OFFICIAL.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS COVERING THE WORK. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH APPLICABLE AGENCIES AND ALL UTILITY COMPANIES.
- ALL PAVED WALKWAYS MUST BE KEPT CLEAN AND FREE OF SOIL AND DEBRIS FOR THE DURATION OF THE CONTRACT.
- EXISTING CURB AND SIDEWALK TO BE REMOVED SHALL BE SAW CUT TO THE NEXT EXPANSION JOINT BEYOND THE SIDE PROPERTY LINES. CONTRACTOR TO PROVIDE A CLEAN SMOOTH AND EVEN TRANSITION FOR NEW CURBS AND PAVEMENTS WITH NO TRIP HAZARDS.
- CONTRACTOR SHALL CONTACT PSE&C DEMOLITION DIVISION AT (908) 799-6861 FOR INSPECTION OF THE ITEMS TO BE REMOVED PRIOR TO DEMOLITION/CONSTRUCTION TO THE EXTENT APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH PSE&C THROUGHOUT DEMOLITION AND CONSTRUCTION ON THIS PROJECT.
- ALL DEMOLITION MATERIAL AND DEBRIS AND ALL ITEMS REMOVED FROM THE PROPERTY AND THE PUBLIC AREAS ADJACENT, SHALL BE DISPOSED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH THE REGULATIONS AND LAWS OF THE NJDEP. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE WHICH POSE A THREAT TO LIFE, SAFETY OR PROPERTY.
- APPLICANT/CONTRACTOR IS TO NOTIFY THE JERSEY CITY DIVISION OF ENGINEERING IN WRITING AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK.

DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
1 EVERTRUST PLAZA, SUITE 201, JERSEY CITY, NJ 07302
TEL: 201.377.9200 FAX: 201.377.9601
NJ CERTIFICATE OF AUTHORIZATION: JAC0421915000

JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL

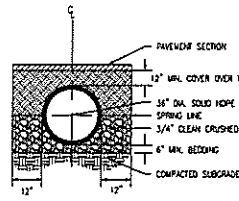
93	08-04-2021	REVISED PLANNING BOARD SUBMISSION	JM
NO.	DATE	DESCRIPTION	BY
REVISIONS:			
OWNER/APPLICANT:			
35 COTTAGE LLC			
98 CUTTERMILL ROAD			
SUITE 284 NORTH			
GREAT NECK, NY 11021			
DRAWING TITLE:			
REMOVALS PLAN			
PROJECT:			
35 COTTAGE STREET			
LOCATION:			
35 COTTAGE STREET			
LOT 19, BLOCK 7903			
CITY OF JERSEY CITY			
HUDSON COUNTY			
NEW JERSEY 07305			
SCALE:			
10 5 0 10			
SCALE: 1"=10'			
DRAWN BY	CIC	CHECKED BY	JM
SCALE	1"=10'	DATE	11-02-2018
REV. NO.	10743-005	SHEET 09 OF 12	
C-812			



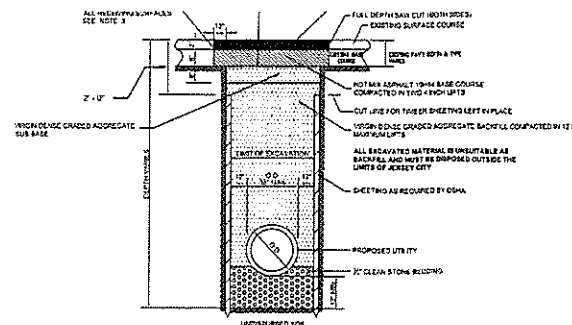
1. BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE REQUIREMENT OF THE HNDOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE No.77, 1993, AS APPLICABLE.

- THE SYSTEM DESIGNER IS ALSO RESPONSIBLE FOR COMPLIANCE WITH THE APPLICABLE REGULATIONS OF THE NEW JERSEY ADMINISTRATIVE CODE, NJDEP RULES AND REGULATIONS CONCERNING TREATMENT WORKS APPROVAL PROGRAM, LOCAL CODES AND ORDINANCES, FEDERAL AND STATE REGULATIONS, ETC. IN ADDITION TO OTHER REQUIREMENTS THAT MAY BE IMPOSED BY THE JCHWA.

JCMIA, NOVEMBER 3, 2005

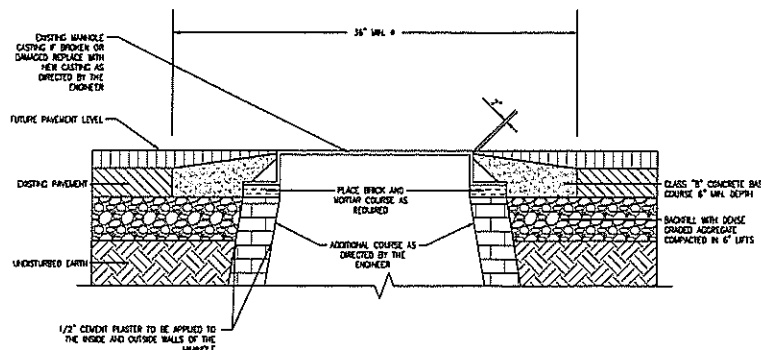


DETENTION SYSTEM DETAIL
NOT TO SCALE



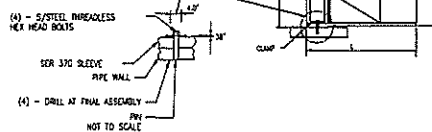
1. FOR LAUGH UTILITY WORK, REPAIR WIDTH AND LENGTH (SELLING AND PAYING) TO BE A MINIMUM OF 2' PAST TRENCH OPENING OR AS DETERMINED BY THE ENGINEER OR AS SHOWN ON THE PLANS.
2. ALL MATERIALS AND WORK SHALL CONFORM TO THE PROPOSED STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS CURRENTLY APPLICABLE.
3. FOR CURBS, DITCHES FOR SANITARY WATER VALVE BOXES, AND OTHER SUBSIST STRUCTURES, DO NOT APPLY TACK COAT OR PRIME COAT. CLEAN THE EXPOSED SURFACES OF THESE STRUCTURES AND APPLY A LIGHT COAT COATING OF POLYMERIZED JOINT ADHESIVE TO CONTACT SURFACES OF EACH JOINT.

TYPICAL TRENCH
SOURCE: JERSEY CITY STANDARD DETAILS
AS SHOWN ON SHEET 2 OF 17



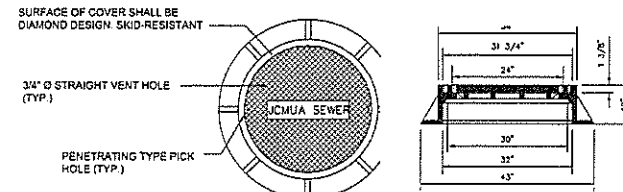
RESET MANHOLE CASTING
SOURCE: JERSEY CITY STANDARD DETAILS
AS SHOWN ON SHEET 6 OF 17

NOMINAL PIPE SIZE (INP.D.)	LENGTH L	HEIGHT OF BILL H	MAX. BACKPRESSURE (PSI)	
			STANDARD TIE-FILES	WITH SADDLE SUPPORT
2	1	1.49	150	
2	1.1	1.74	150	
2	1.2	2.18	150	
2	1.3	2.74	150	
2	1.4	3.42	150	
2	1.5	4.22	150	
2	1.6	5.14	150	
2	1.7	6.18	150	
2	1.8	7.34	150	
2	1.9	8.62	150	
2	2.0	10.02	150	
2	2.1	11.54	150	
2	2.2	13.18	150	
2	2.3	14.94	150	
2	2.4	16.82	150	
2	2.5	18.82	150	
2	2.6	20.94	150	
2	2.7	23.18	150	
2	2.8	25.54	150	
2	2.9	28.02	150	
2	3.0	30.62	150	
2	3.1	33.34	150	
2	3.2	36.18	150	
2	3.3	39.14	150	
2	3.4	42.22	150	
2	3.5	45.42	150	
2	3.6	48.74	150	
2	3.7	52.18	150	
2	3.8	55.74	150	
2	3.9	59.42	150	
2	4.0	63.22	150	
2	4.1	67.14	150	
2	4.2	71.18	150	
2	4.3	75.34	150	
2	4.4	79.62	150	
2	4.5	84.02	150	
2	4.6	88.54	150	
2	4.7	93.18	150	
2	4.8	97.94	150	
2	4.9	102.82	150	
2	5.0	107.82	150	
2	5.1	112.94	150	
2	5.2	118.18	150	
2	5.3	123.54	150	
2	5.4	129.02	150	
2	5.5	134.62	150	
2	5.6	140.34	150	
2	5.7	146.18	150	
2	5.8	152.14	150	
2	5.9	158.22	150	
2	6.0	164.42	150	
2	6.1	170.74	150	
2	6.2	177.18	150	
2	6.3	183.74	150	
2	6.4	190.42	150	
2	6.5	197.22	150	
2	6.6	204.14	150	
2	6.7	211.18	150	
2	6.8	218.34	150	
2	6.9	225.62	150	
2	7.0	233.02	150	
2	7.1	240.54	150	
2	7.2	248.18	150	
2	7.3	255.94	150	
2	7.4	263.82	150	
2	7.5	271.82	150	
2	7.6	279.94	150	
2	7.7	288.18	150	
2	7.8	296.54	150	
2	7.9	305.02	150	
2	8.0	313.62	150	
2	8.1	322.34	150	
2	8.2	331.18	150	
2	8.3	340.14	150	
2	8.4	349.22	150	
2	8.5	358.42	150	
2	8.6	367.74	150	
2	8.7	377.18	150	
2	8.8	386.74	150	
2	8.9	396.42	150	
2	9.0	406.22	150	
2	9.1	416.14	150	



1. BACKFLOW PREVENTER SHALL BE TOEFLUX INLINE CHECK VALVE SERIES J70 WITH EXPANSION BAND OR APPROVED EQUIVALENT
2. VALVE IS TO BE INSTALLED WITH THE OUTLET VERTICAL.
3. IT IS RECOMMENDED TO BOLT OR PIN TOEFLUX TO PPE AS SHOWN, 4 PLACES 8" APART

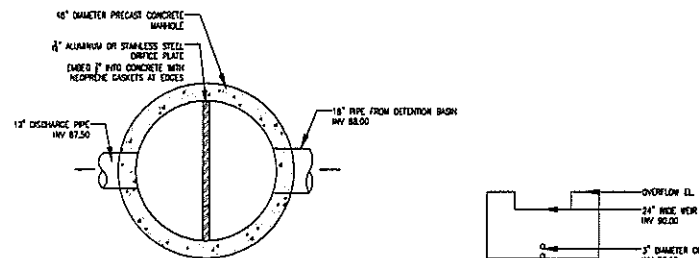
TIDEFLEX 37G INLINE BACKFLOW PREVENTER



PLAN

SECTION

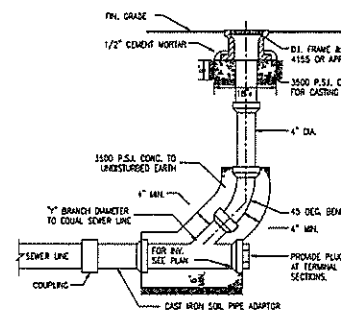
MANHOLE FRAME AND COVER
(FOR NEW MANHOLE CONSTRUCTION WITH
STANDARD 30" OPENING)
SOURCE: JERSEY CITY STANDARD DETAILS
AS SHOWN ON SHEET 6 OF 17



2.

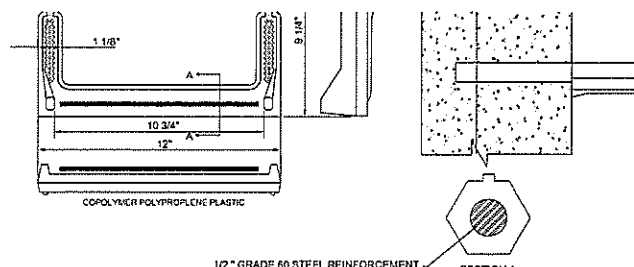
ORIFICE PLATE DETAIL

OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE



NOTE:
ALL FITTINGS AND PIPE SHALL CONFORM TO THE REQUIREMENTS OF "CAST IRON SOIL PIPE FITTINGS" A.S.T.M. DESIGNATION A-74 WITH PUSH ON JOINTS CONFORMING TO "RUBBER GASKETS FOR CAST IRON SOIL PIPE AND FITTINGS" A.S.T.M. DESIGNATION C-564 (OR EQUIVALENT DUCTILE IRON PIPE) OR AS APPROVED BY THE GOVERNING AUTHORITY.

SANITARY CLEANOUT



POLYPROPYLENE MANHOLE STEP

N.T.S

POLYPROPYLENE MANHOLE STEP
SOURCE: JERSEY CITY STANDARD DETAILS
AS SHOWN ON SHEET 2 OF 17

DRESNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
1 EVERTRUST PLAZA, SUITE 901, JERSEY CITY, NJ 07302
TEL 201.217.9200 FAX 201.217.9607
NO CERTIFICATE OF AUTHORIZATION: 24CA2792000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

01	09-04-2021	REVISED PLANNING BOARD SUBMISSION
No.	DATE	DESCRIPTION

REVISIONS

35 COTTAGE LLC
98 CUTTERMILL ROAD
SUITE 284 NORTH
GREAT NECK, NY 11021

DRAWING TITLE

CONSTRUCTION NOTES & DETAILS II

9902X5

35 COTTAGE STREET

LOCATING

35 COTTAGE STREET
LOT 19, BLOCK 7903
CITY OF JERSEY CITY
HUDSON COUNTY
NEW JERSEY 07305

JOSEPH MELE
PROFESSIONAL ENGINEER & LAND SURVEYOR

SCALE:

DATE	TIME	LOCATION
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JPL	JMA
1998-01-01	1998-01-01

NTS 11-02-2018 C-902

CA No: 10743-005 SHEET 11 OF 1

