

**LOCATION MAP**  
SCALE: 1" = 500'±

# AMENDED FINAL MAJOR SITE PLAN FOR PROPOSED 29-STORY MIXED-USE DEVELOPMENT

BLOCK 6701, LOT 21.01  
622 - 628 SUMMIT AVENUE  
CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY

**APPLICANT/OWNER**

628 SUMMIT AVE LLC  
222 DUNCAN AVENUE  
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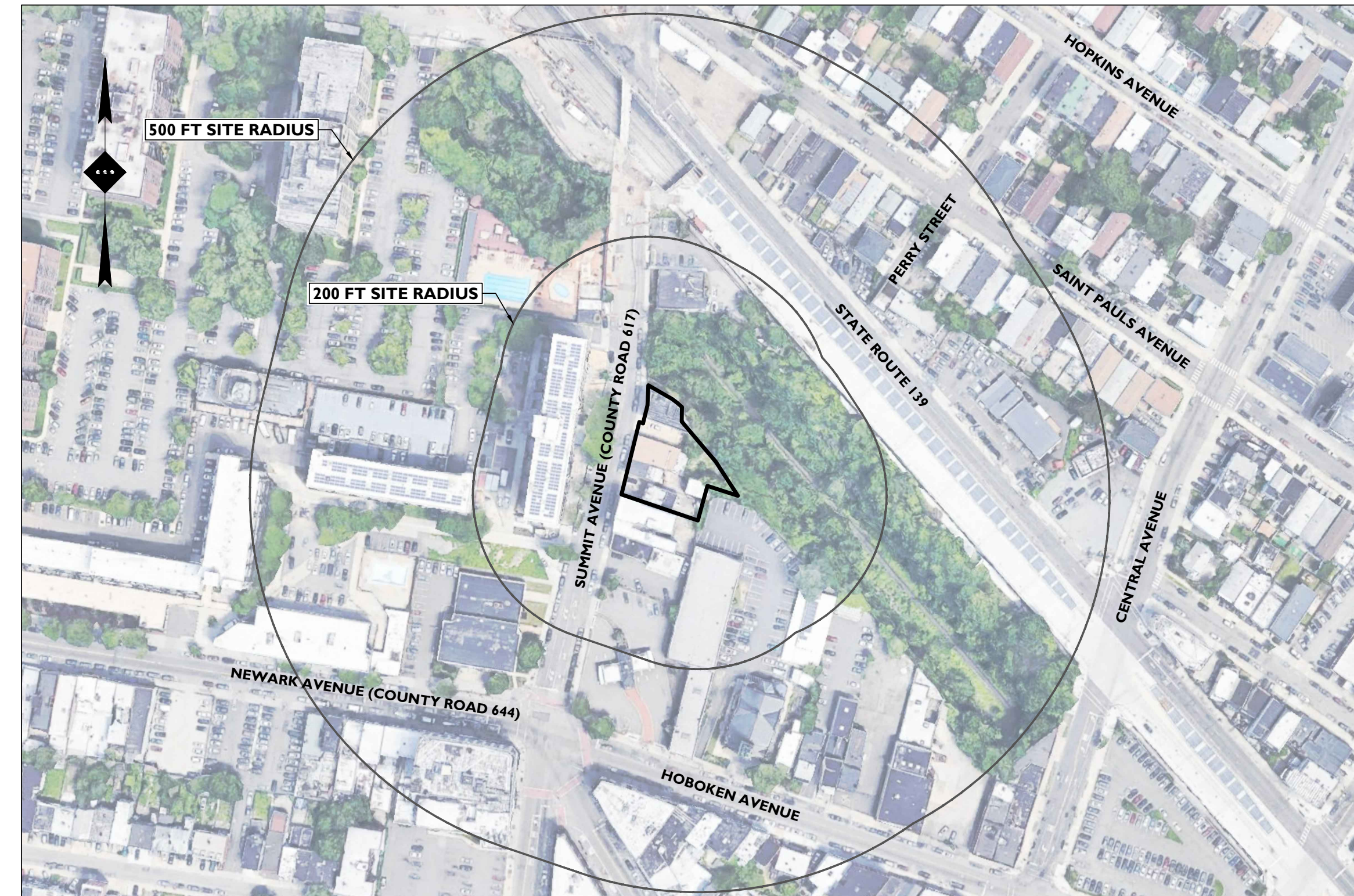
**STONEFIELD**  
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ARTHUR KUYAN, P.E.  
NEW JERSEY LICENSE No. 53741  
LICENSED PROFESSIONAL ENGINEER

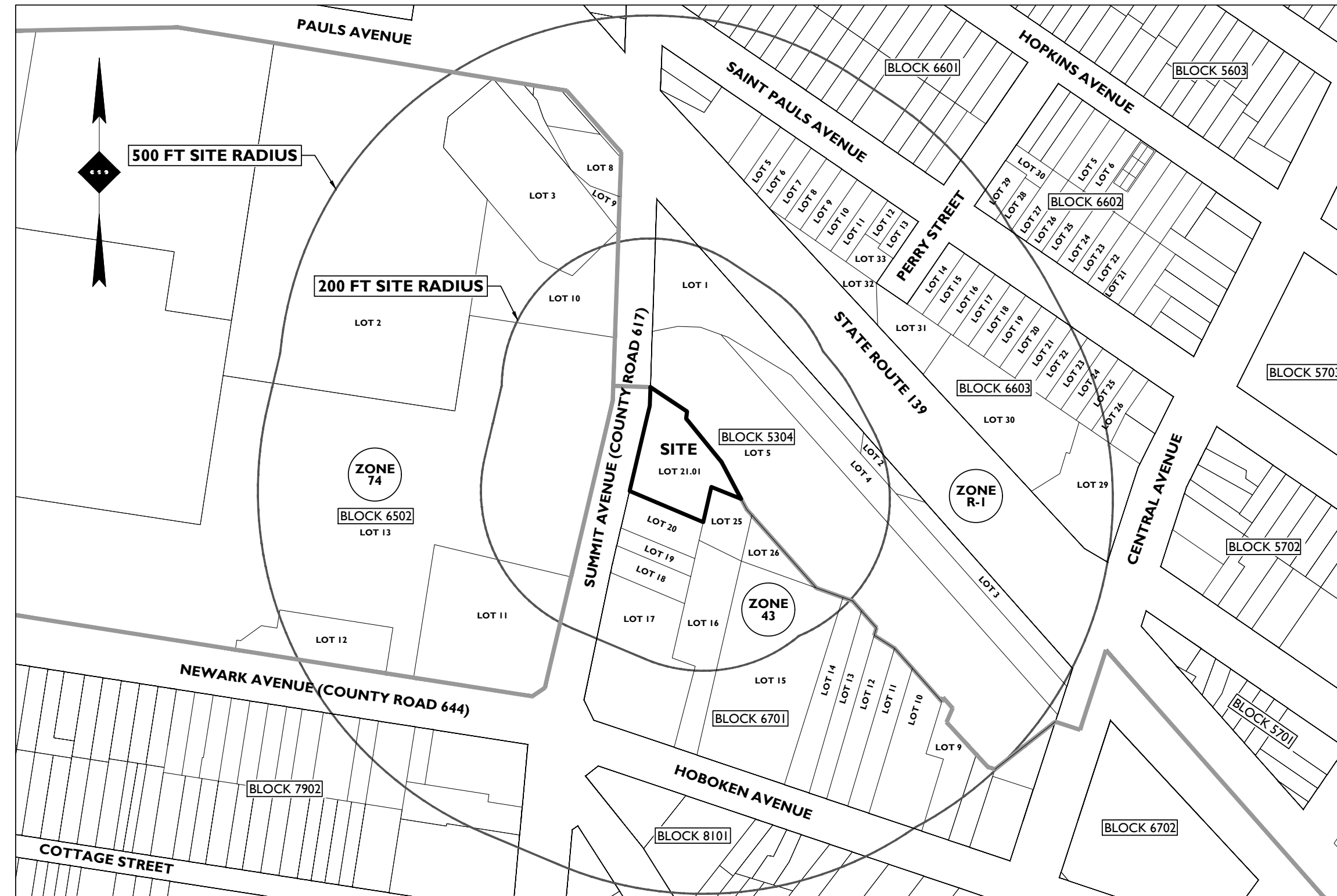
15	01/06/2023	PB RESUBMISSION
14	12/16/2022	JCMUA REVISIONS
13	11/28/2022	FOR BUILDING PERMIT
12	10/31/2022	PSEG REVISION
11	10/05/2022	PER JCMUA COMMENTS
10	08/08/2022	PB RESUBMISSION
9	07/20/2022	REVISED DRAINAGE
8	06/20/2022	AMENDED FINAL SITE PLAN
7	05/12/2022	REVISED GRADING
6	04/22/2022	JCMUA REVISIONS
5	03/23/2022	JCMUA REVISIONS
4	09/03/2021	ISSUED FOR BID
3	07/02/2021	CD 90%
2	06/07/2021	CD 75%
1	04/09/2021	CD 50%
#	Date	Issue

**SUMMIT TOWER**  
622-628 SUMMIT AVE  
JERSEY CITY, NEW JERSEY 07306  
BLOCK 6701, LOT 21.01  
Project Description  
PROPOSED NEW MIXED USE  
BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
628 SUMMIT AVE, LLC  
Project Number: T-18276  
Drawn by : KB  
Checked by : KB  
Scale : As Noted  
Sheet Title  
COVER SHEET



**AERIAL MAP**  
SCALE: 1" = 150'±



**TAX & ZONING MAP**  
SCALE: 1" = 150'±

**PLANS PREPARED BY:**



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Princeton, NJ · Tampa, FL · Detroit, MI  
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**PLAN REFERENCE MATERIALS:**

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, DATED 03/29/2021.
  - ARCHITECTURAL PLANS PREPARED BY MVMK ARCHITECTURE + DESIGN, DATED 01/03/2023.
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, IMAGERY DATED 03/12/2019.
  - LOCATION MAP OBTAINED FROM UNITED STATES GEOLOGICAL SURVEY QUADRANGLE MAP, JERSEY CITY, NEW JERSEY-NEW YORK, 7.5 MINUTE SERIES, DATED 2016.
  - TAX MAP OBTAINED FROM THE CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY, DATED JULY 2010.
  - ZONING MAP OBTAINED FROM THE CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY, DATED JUNE 12, 2015.
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

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EXISTING CONDITIONS PLAN	C-3
DEMOLITION PLAN	C-4
SITE PLAN	C-5
GRADING PLAN	C-6
DRAINAGE PLAN	C-7
UTILITY PLAN	C-8
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SOIL EROSION & SEDIMENT CONTROL PLAN	C-10
LANDSCAPING PLAN	C-11 & C-12
CONSTRUCTION DETAILS	C-13 to C-17



Know what's below  
Call before you dig.



SEAL

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LICENSED PROFESSIONAL ENGINEER

**DRAINAGE AND UTILITY NOTES**

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADEMENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

**EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

**STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**

1. THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
2. UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
3. NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.

**DEMOLITION NOTES**

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITIES REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

**HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT**

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION **LAST REVISED DECEMBER 2017**. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
3. SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: SPRING - 3/15-5/15 AND FALL - 8/15 - 10/1
4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
6. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX: (862)333-4507 OR EMAIL: INFORMATION@HEPSCD.ORG
9. **THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY.** CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS **REQUIRED**, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
13. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2 -1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
14. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
15. **THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEMAED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.**

**GENERAL LIGHTING NOTES**

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
  - LIGHT EMITTING DIODES (LED): 0.90
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

**LANDSCAPING NOTES**

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

**STABILIZATION SPECIFICATIONS:**

- 1.A. TEMPORARY SEEDING AND MULCHING:  
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.  
FERTILIZER - APPLY 1 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".  
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS. PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.  
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- 1.B. PERMANENT SEEDING AND MULCHING:  
TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).  
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.  
FERTILIZER - APPLY 1 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".  
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS. PLANT BETWEEN MARCH 1 AND OCTOBER 1 (GLUMPER SEEDINGS REQUIRE BRIGATON).  
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

**SOIL CHARACTERISTICS CHART**

TYPE OF SOIL	URBAN LAND (URTLB)
PERCENT OF SITE COVERAGE	100.0%

**DRAINAGE AND UTILITY NOTES**

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADEMENT.
7. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
8. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

**GRADING NOTES**

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ALL GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC, FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB GUTTER: 0.50%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF THIS CONDITION CANNOT BE MET.
6. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SLUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

**ADA NOTES**

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL. (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

Date	Description
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5/03/25/2022	JCMUA REVISIONS
4/09/03/2021	ISSUED FOR BID
3/07/02/2021	CD 90%
2/06/07/2021	CD 75%
1/04/09/2021	CD 50%
#	Date Issue

Project Title

**SUMMIT TOWER**

622-628 SUMMIT AVE  
JERSEY CITY, NEW JERSEY 07306  
BLOCK 6701, LOT 21.01

Project Description  
PROPOSED NEW MIXED USE  
BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
628 SUMMIT AVE, LLC

Project Number : T-18276  
Drawn by : KB  
Checked by : KB  
Scale : As Noted

Sheet Title  
CONSTRUCTION NOTES

Sheet Number

SEAL  
 Frank J. Minervini, AIA  
 NJ License # 12576  
 NY License # 03-0297-63  
 Anthony C. Vandermark, Jr. AIA  
 NJ License # 17689  
 NY License # 32710-1  
 Adrian Mella, AIA  
 NJ License # 18738  
 Claran Kelly, AIA  
 NJ License # 18864



Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
 Phone 201-340-4448 Fax 201-340-4472

ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE NO. 5374  
 LICENSED PROFESSIONAL ENGINEER

SYMBOL	DESCRIPTION
— G —	UNDERGROUND GAS LINE
— E/T/C —	UNDERGROUND ELECTRIC, CABLE & TELEPHONE SERVICE
— SAN —	UNDERGROUND SANITARY LATERAL
— OH —	OVERHEAD ELECTRIC WIRE
—	SIGNS / BOLLARDS
—	CHAINLINK FENCE
—	BOARD-ON-BOARD FENCE
—	GUIDE RAIL
—100—	MAJOR CONTOUR
—101—	MINOR CONTOUR
×	GRADE SPOT SHOT
TC 100.00	TOP OF CURB / BOTTOM OF CURB SPOT SHOT
G 100.00	TOP OF WALL / BOTTOM OF WALL SPOT SHOT
TW 102.00	TOP OF WALL / BOTTOM OF WALL SPOT SHOT
BW 100.00	BUILDING
—	AREA OF UNCLEAR TITLE
—	CONCRETE SIDEWALK / MAT
—	ASPHALT / CONCRETE CURB
—	DEPRESSED CURB
—	PROPERTY LINE
—	INTERIOR PROPERTY LINE
—	INLET
—	MONITORING WELL
—	BOLLARD
—	WATER VALVE
—	GAS VALVE

**SURVEY NOTES**

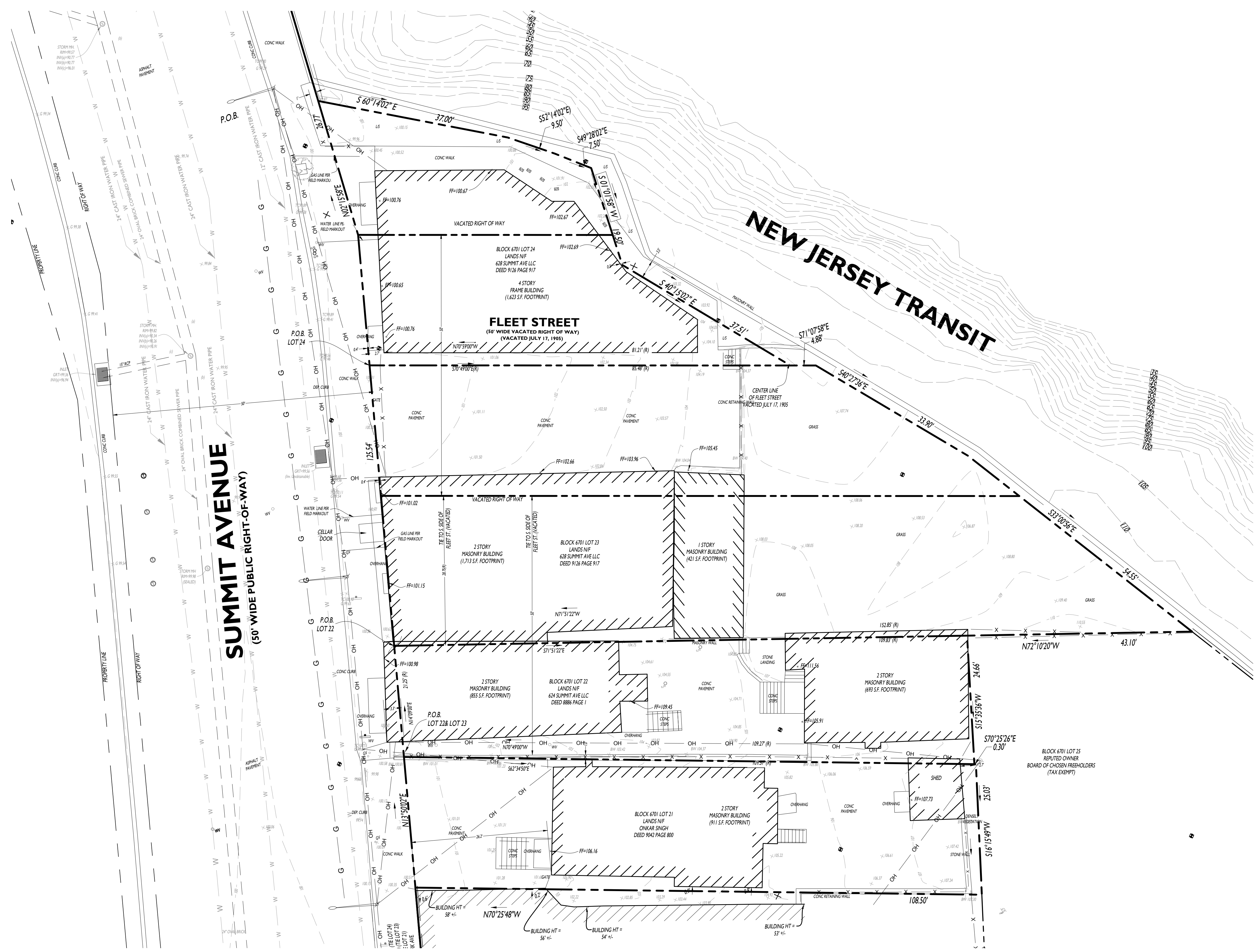
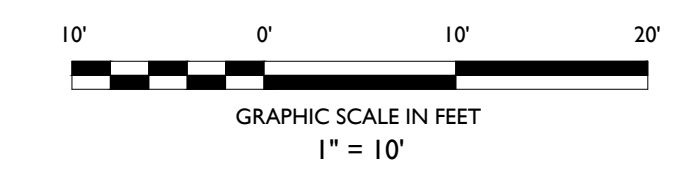
- THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING OCTOBER OF 2018, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAYS AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY IS VALID ONLY WHEN AN EMBOSSED SEAL IS AFFIXED HERETO.
- THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
- ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND OR SANITARY INVERTS ARE DEPCTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES. BEFORE ANY EXCAVATIONS ARE BEGUN, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- BEARINGS ARE REFERENCED TO THE NY STATE PLANE COORDINATE SYSTEM, NAD 83 (2011). ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), ESTABLISHED VIA RTK GPS OBSERVATIONS.
- BENCHMARK # MAG NAIL ELEVATION = 99.79'
- FIELD DATE OCTOBER 31, 2018

**SURVEY REFERENCES**

- DEED BETWEEN MITA R. PATEL (GRANTOR) AND ONKAR SINGH (GRANTEE) RECORDED IN THE HUDSON COUNTY REGISTER OF DEEDS AS BOOK 9042 PAGE 800.
- DEED BETWEEN SUKHMINDER KAUR (GRANTOR) AND 624 SUMMIT AVE LLC (GRANTEE) RECORDED IN THE HUDSON COUNTY REGISTER OF DEEDS AS BOOK 9131 PAGE 525.
- DEED BETWEEN PETER E. JR., BRUCE W., DEBORAH ANN GARVIN, KATHLEEN M. KACHEL, EXECUTRIX OF THE ESTATE OF RICHARD G. KACHEL (GRANTOR) AND JOHN LIU CONNIELIU (GRANTEE) RECORDED IN THE HUDSON COUNTY REGISTER OF DEEDS AS BOOK 8635 PAGE 488.
- DEED BETWEEN SUKHMINDER KAUR (GRANTOR) AND 624 SUMMIT AVE LLC (GRANTEE) RECORDED IN THE HUDSON COUNTY REGISTER OF DEEDS AS BOOK 9126 PAGE 917.

**SURVEY NOTES:**

- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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15 01/06/2023	PB RESUBMISSION	
14 12/16/2022	JCMUA REVISIONS	
13 11/28/2022	FOR BUILDING PERMIT	
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11 10/05/2022	PER JCMUA COMMENTS	
10 08/08/2022	PB RESUBMISSION	
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8 04/20/2022	AMENDED FINAL SITE PLAN	
7 05/12/2022	REVISED GRADING	
6 04/22/2022	JCMUA REVISIONS	
5 03/25/2022	JCMUA REVISIONS	
4 09/03/2021	ISSUED FOR BID	
3 07/02/2021	CD 90%	
2 06/07/2021	CD 75%	
1 04/09/2021	CD 50%	
#	Date	Issue

Project Title  
**SUMMIT TOWER**  
 622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01  
 Project Description  
 PROPOSED NEW MIXED USE  
 BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
 628 SUMMIT AVE, LLC  
 Project Number: T-18276  
 Drawn by: KB  
 Checked by: KB  
 Scale: As Noted  
 Sheet Title  
 EXISTING CONDITIONS  
 Sheet Number



SEAL  
 Frank J. Minervini, AIA  
 NJ License # 12576  
 NY License # 03-0297-63  
 Anthony C. Vandermark, Jr. AIA  
 NJ License # 17699  
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 Phone 201-346-6668 • Fax 201-346-6672

ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE No. 53741  
 LICENSED PROFESSIONAL ENGINEER

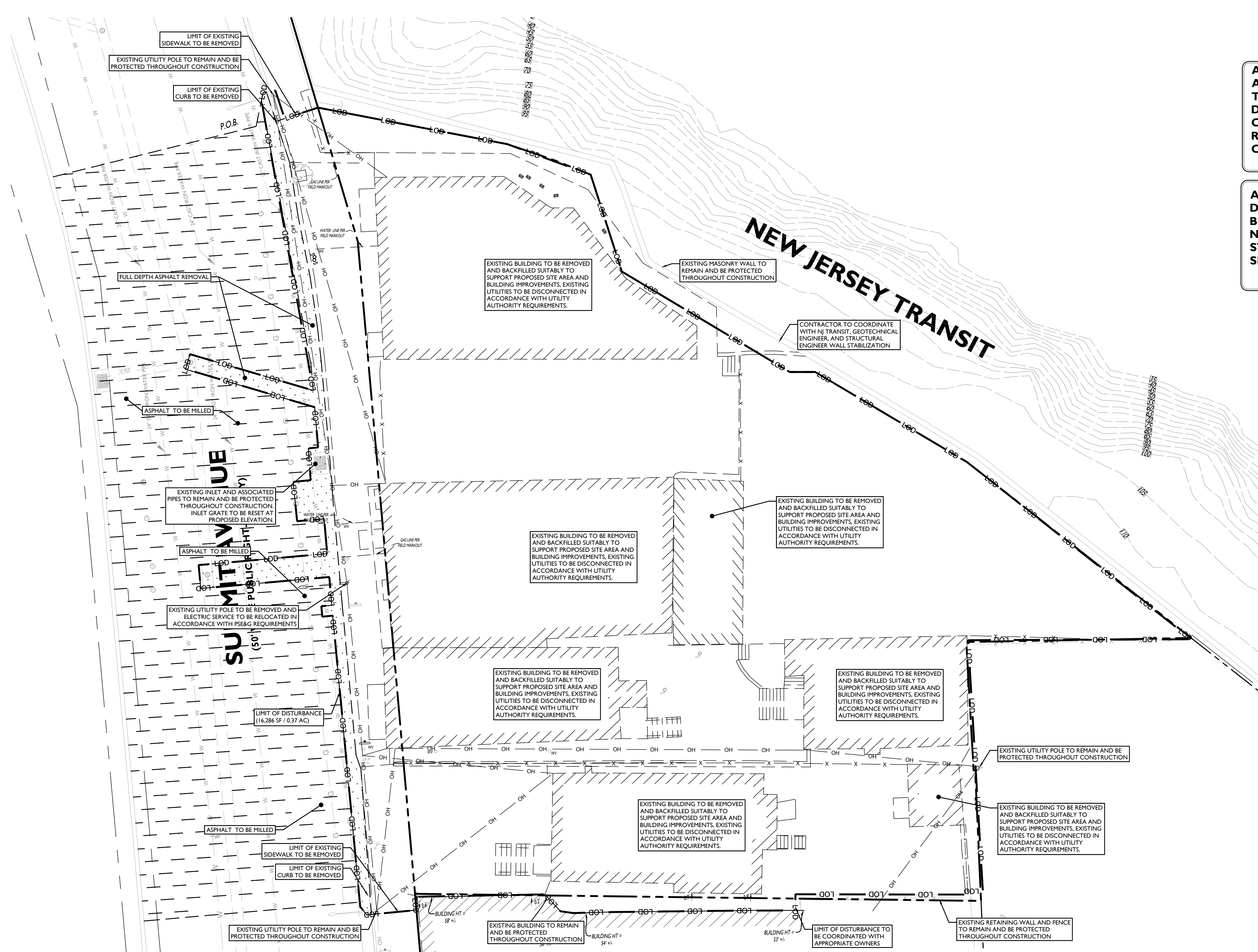
SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

**ALL DEMOLITION MATERIAL AND DEBRIS AND ALL ITEMS REMOVED FROM THE PROPERTY AND THE PUBLIC AREAS ADJACENT, SHALL BE DISPOSED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH THE REGULATIONS AND LAWS OF THE NJDEP.**

**ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS**



Know what's below  
 Call before you dig.



**DEMOLITION NOTES**

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

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2/06/07/2021	CD 75%
1/04/09/2021	CD 50%
#	Date Issue

**Project Title**

**SUMMIT TOWER**  
 622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01

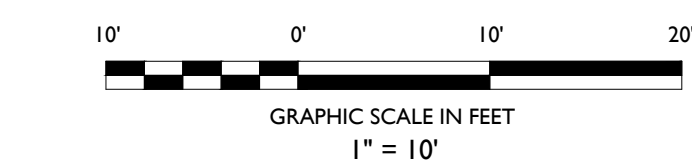
**Project Description**  
 PROPOSED NEW MIXED USE  
 BUILDING WITH 209 RESIDENTIAL UNITS

**Applicant**  
 628 SUMMIT AVE, LLC

**Project Number:** T-18276  
**Drawn by:** KB  
**Checked by:** KB  
**Scale:** As Noted

**Sheet Title**  
 DEMOLITION PLAN

**Sheet Number**

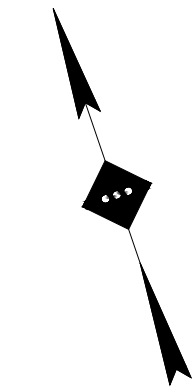




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 NJ License # 18864

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ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE No. 53741  
 LICENSED PROFESSIONAL ENGINEER

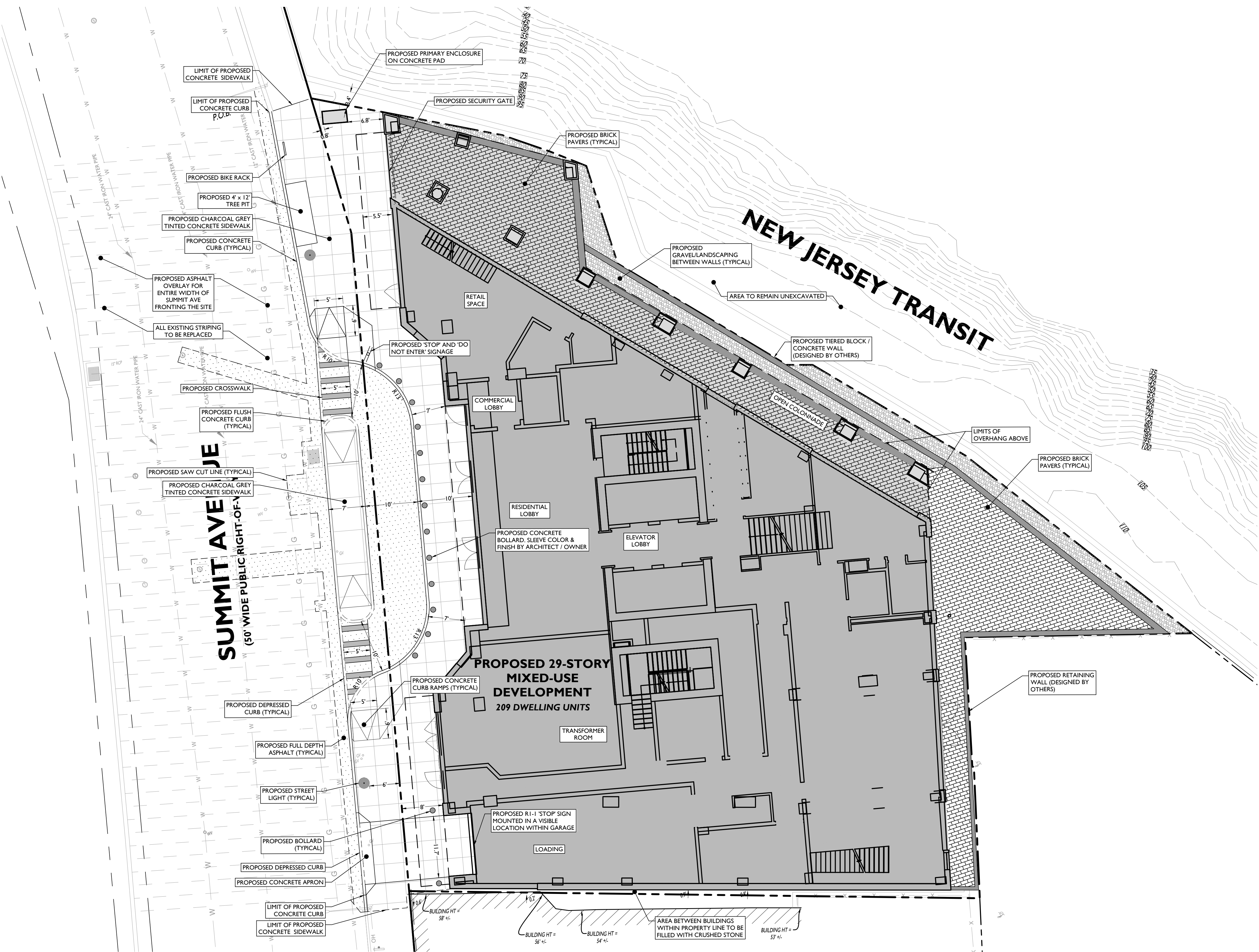
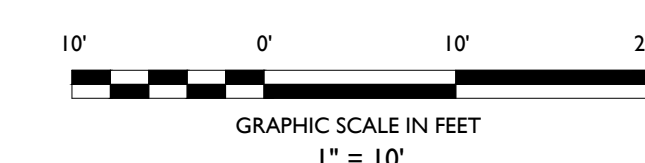


SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SAWCUT LINE
=====	PROPOSED CURB
=====	PROPOSED DEPRESSED CURB
[Hatched Box]	PROPOSED BUILDING
[Grid Pattern Box]	PROPOSED CHARCOAL GREY TINTED CONCRETE SIDEWALK
[Diagonal Lines Box]	PROPOSED ASPHALT OVERLAY
[Dashed Box]	PROPOSED FULL-DEPTH ASPHALT
[Cross-hatch Box]	PROPOSED PEDESTAL PAVER DECKING
[Vertical Lines Box]	PROPOSED PEDESTRIAN CROSSWALK
[Horizontal Lines Box]	PROPOSED RETAINING WALL
[Door Symbol]	PROPOSED BUILDING DOORS
[Bike Rack Symbol]	PROPOSED BIKE RACK
[Glass Railing Symbol]	PROPOSED PROTECTIVE GLASS RAILING

**ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL BE REINSTALLED UPON COMPLETION OF CONSTRUCTION**

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS' FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS' COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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4/09/03/2021	ISSUED FOR BID
3/07/02/2021	CD 90%
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#	Date Issue

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**SUMMIT TOWER**  
 622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01  
 Project Description  
 PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
 628 SUMMIT AVE, LLC

Project Number: T-18276  
 Drawn by: KB  
 Checked by: KB  
 Scale: As Noted

Sheet Title  
 SITE PLAN

Sheet Number  
**C-5**



- NOTES:**
- AREAS BETWEEN EXISTING RETAINING WALLS AND PROPOSED SITE TO BE BACKFILLED TO MEET EXISTING SLOPES OFF-SITE
  - TOP OF PROPOSED RETAINING WALL AROUND PROPOSED OUTDOOR AREA TO BE BACKFILLED TO GRADE.

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ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE NO. 5374  
 LICENSED PROFESSIONAL ENGINEER

SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X DC 100.13 BC 100.00	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
X TW 102.00 BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

**GRADING NOTES**

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER TO THE SITE. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB GUTTER: 0.50%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
- A MINIMAL SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
- FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER. AT THE LOCATION OF THE PROPOSED STRUCTURE IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF PUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

**ADA NOTES**

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

NO.	DATE	DESCRIPTION
15	01/06/2023	PB RESUBMISSION
14	12/16/2022	JCMUA REVISIONS
13	11/28/2022	FOR BUILDING PERMIT
12	10/31/2022	PSEG REVISION
11	10/05/2022	PER JCMUA COMMENTS
10	08/08/2022	PB RESUBMISSION
9	07/20/2022	REVISED DRAINAGE
8	04/20/2022	AMENDED FINAL SITE PLAN
7	05/12/2022	REVISED GRADING
6	04/22/2022	JCMUA REVISIONS
5	03/25/2022	JCMUA REVISIONS
4	09/03/2021	ISSUED FOR BID
3	07/02/2021	CD 90%
2	06/07/2021	CD 75%
1	04/09/2021	CD 50%
#	Date	Issue

**Project Title**

**SUMMIT TOWER**  
 622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01

**Project Description**  
 PROPOSED NEW MIXED USE  
 BUILDING WITH 209 RESIDENTIAL UNITS

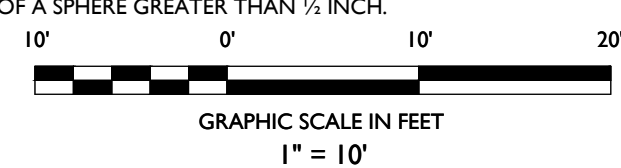
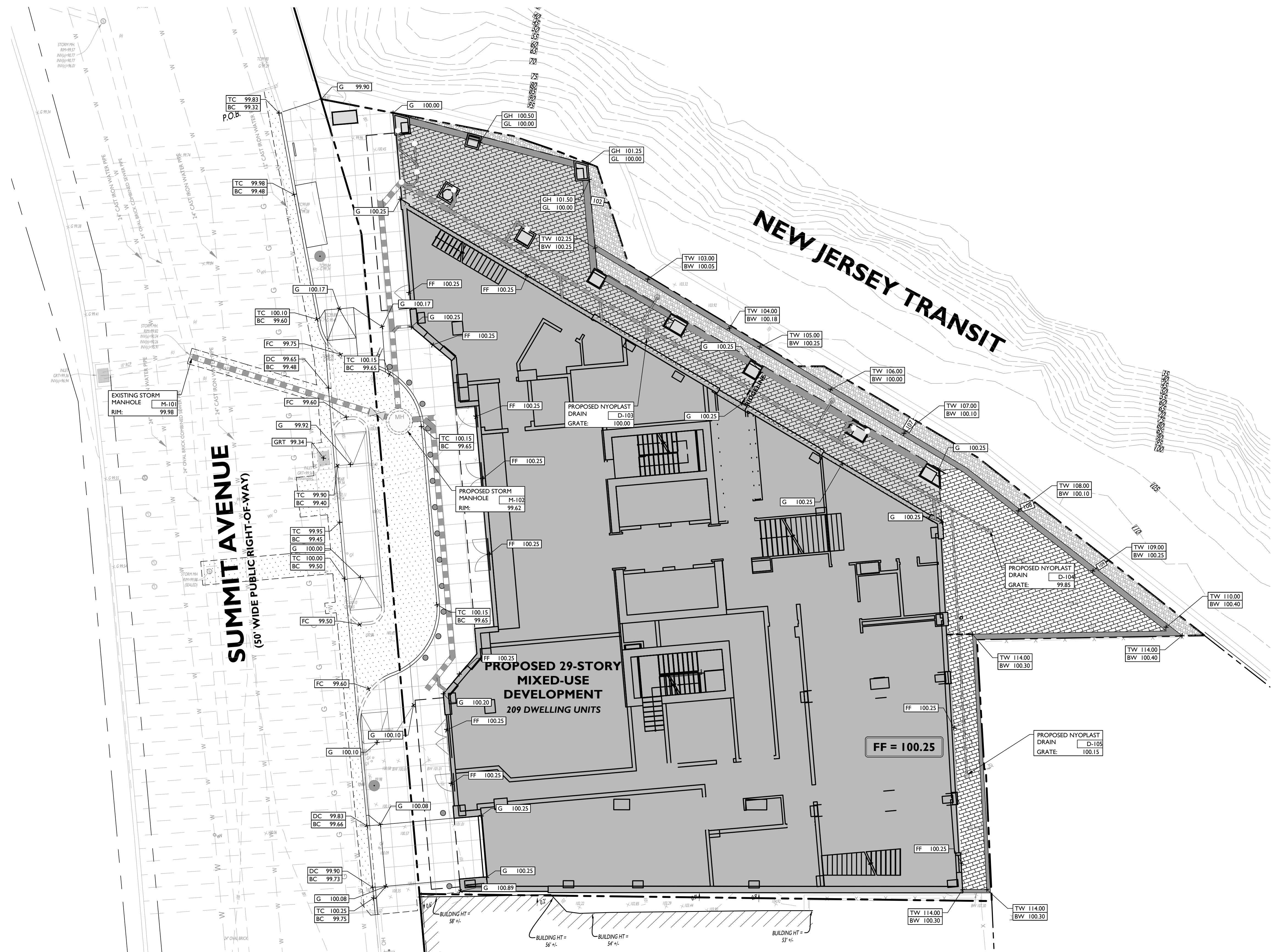
**Applicant**  
 628 SUMMIT AVE, LLC

**Project Number:** T-18276  
**Drawn by:** KB  
**Checked by:** KB  
**Scale:** As Noted

**Sheet Title**  
 GRADING PLAN

**Sheet Number**

C-6





**NOTES:**  
 1. AREAS BETWEEN EXISTING RETAINING WALLS AND PROPOSED SITE TO BE BACKFILLED TO MEET EXISTING SLOPES OF SITE.  
 2. TOP OF PROPOSED RETAINING WALL AROUND PROPOSED OUTDOOR AREA TO BE BACKFILLED TO GRADE.

**DRAINAGE AND UTILITY NOTES**

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

**EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**

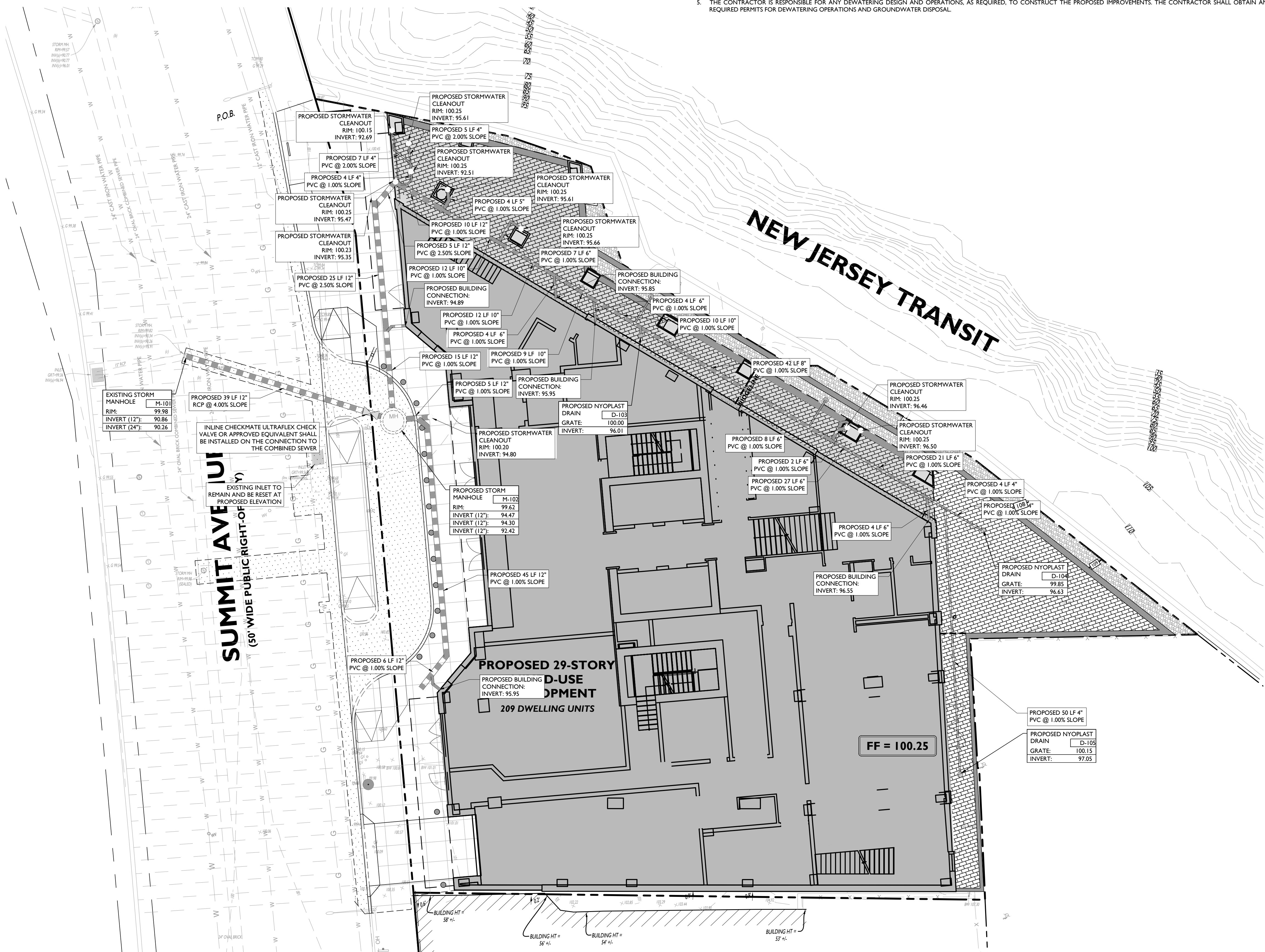
1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION, THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
—100—	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
⊗	PROPOSED STORMWATER STRUCTURES
▬▬▬▬▬	PROPOSED STORMWATER PIPING
⊗	PROPOSED CHECK VALVE
○	PROPOSED STORMWATER CLEANOUT

SEAL  
 Frank J. Minervini, AIA  
 NJ License # 12576  
 NY License # 03-0297-63  
 Anthony C. Vandermark, Jr. AIA  
 NJ License # 17698  
 NY License # 32710-1  
 Adrian Mella, AIA  
 NJ License # 18738  
 Claran Kelly, AIA  
 NJ License # 18864

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ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE NO. 53741  
 LICENSED PROFESSIONAL ENGINEER



**GRADING NOTES**

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB GUTTER: 0.50%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

**ADA NOTES**

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL, WHERE PROVIDED. CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

Date	Issue
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7/05/12/2022	REVISED GRADING
6/04/22/2022	JCMUA REVISIONS
5/03/23/2022	JCMUA REVISIONS
4/09/03/2021	ISSUED FOR BID
3/07/02/2021	CD 90%
2/06/07/2021	CD 75%
1/04/09/2021	CD 50%
#	Date Issue

**SUMMIT TOWER**

622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01

Project Description  
 PROPOSED NEW MIXED USE  
 BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
 628 SUMMIT AVE, LLC

Project Number: T-18276  
 Drawn by: KB  
 Checked by: KB  
 Scale: As Noted

Sheet Title  
 DRAINAGE PLAN

Sheet Number





DRAINAGE AND UTILITY NOTES

- 1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

JCMUA NOTES

- 1. BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE NJDOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 77, 1993, AS APPLICABLE.
2. ALL SEWER SERVICE CONNECTIONS 6-INCHES IN SIZE OR SMALLER MUST BE MADE DIRECTLY TO THE SEWER MAIN AND ALL CONNECTIONS 8-INCHES IN SIZE OR LARGER MUST BE MADE TO A MANHOLE, WHERE A CONNECTION TO A MANHOLE IS REQUIRED, MANHOLE BENCH AND CHANNEL MAY REQUIRE MODIFICATION.
3. THE JCMUA REQUIRES THAT SEWER SERVICE CONNECTIONS TO BE REUSED BE TELEVIEWED TO VERIFY THEIR INTEGRITY AND THAT THE PIPE IS FREE FROM ANY DEFECTS.
4. EACH BUILDING CONNECTION REQUIRES A CURB CLEANOUT (REFER TO ATTACHED 'DETAIL DRAWINGS'). T-WYE CLEANOUTS WHICH ENABLE CLEANING IN BOTH DIRECTIONS SHOULD BE INSTALLED ON BOTH THE STORM AND SANITARY LATERAL.
5. PROPOSED SEWER LATERAL CONNECTION TO JCMUA'S SEWER MAIN SHALL BE MADE ABOVE HORIZONTAL CENTER LINE OF PIPE (REFER TO ATTACHED SEWER SERVICE CONNECTION DETAILS).
6. THE SIZE, MATERIAL, DEPTH, CONDITION, DIRECTION OF FLOW AND ANY OTHER RELEVANT CONDITIONS OF THE EXISTING JCMUA SEWER TO WHICH YOU PLAN TO CONNECT MUST BE FIELD VERIFIED BY DEVELOPER TO DETERMINE IF SAID CONNECTION IS PHYSICALLY POSSIBLE AND PRACTICAL. IN ADDITION, MANHOLE INVERTS AND RIM ELEVATION MUST BE SHOWN ON PLAN. THIS VERIFICATION IS TO BE INCLUDED ON THE PLANS FOR THE PROJECT.
7. CIRCULAR HOLE SAWS WHICH ARE APPROXIMATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE THE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE LATERALS, JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE JCMUA'S SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE THE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO PIPE.
8. A DETAIL OF ANY PROPOSED MANHOLE OR CATCH BASIN SHOWING ALL DIMENSIONS IN ADDITION TO RIM, GRATE AND INVERT ELEVATIONS OF THE STRUCTURE AND ALL PIPES CONNECTED TO THE STRUCTURE MUST BE SHOWN ON PLANS. REFER TO JCMUA STANDARD DETAIL DRAWINGS FOR MANHOLES AND CATCH BASINS.
9. PROPOSED MANHOLES CONSTRUCTED IN THE PUBLIC R.O.W. ON EXISTING OR PROPOSED JCMUA SEWERS SHALL BE FURNISHED WITH CONCENTRIC MANHOLE COVERS AS MANUFACTURED BY CAMPBELL FOUNDRY CO. PATTERN #4428 OR EQUAL WITH OUTSIDE COVER DIAMETER OF 31.34 INCHES AND INSIDE COVER DIAMETER OF 24 INCHES. THE LETTERS 'JCMUA' AND 'SEWER' SHALL BE CAST IN THE INSIDE COVER. MANHOLE FRAMES SHALL BE CAMPBELL FOUNDRY CO. PATTERN #4428 (FOR 30-INCH OPENING) OR #1206 (FOR 41-INCH OPENING) OR EQUAL FURNISHED WITH A PATTERN #4428 CONCENTRIC COVER AS SPECIFIED IN THE PRECEDING PARAGRAPH. REFER TO JCMUA'S STANDARD DETAIL FOR MANHOLE FRAME AND COVERS. STORM INLETS WHICH ARE CONNECTED DIRECTLY TO JCMUA COMBINED SEWERS MUST BE FURNISHED WITH A SUMP AND TRAP AS PER JCMUA STANDARD DETAILS.
10. THE JCMUA HAS A COMBINED SEWER SYSTEM WHICH SURCHARGES DURING WET WEATHER PERIODS RESULTING IN POSSIBLE SEWAGE BACK-UPS THROUGH PLUMBING FIXTURES (SINKS, TOILETS, FLOOR DRAINS, ETC.) BELOW STREET LEVEL. THIS POSSIBILITY MUST BE ADDRESSED DURING THE DESIGN/CONSTRUCTION PHASE.
11. A DROP MANHOLE CONNECTION SHALL BE USED WHERE THERE IS A DIFFERENCE IN ELEVATION OF TWO (2) FEET OR GREATER BETWEEN THE INVERT OF A SANITARY OR COMBINED INLET PIPE TO MANHOLE AND THE CROWN OF THE OUTLET PIPE FROM MANHOLE. REFER TO ATTACHED JCMUA'S STANDARD DETAIL FOR DROP MANHOLE CONNECTION WHICH MUST BE SHOWN ON SITE PLAN IF REQUIRED.
12. TEST PITS MUST BE PERFORMED AT THE DEVELOPER'S EXPENSE DURING THE DESIGN PHASE OF THE PROJECT TO ENSURE THAT PROPOSED SEWERS AND SEWER SERVICES MAY BE CONSTRUCTED AS PROPOSED WITHOUT CONFLICTING WITH OTHER UNDERGROUND UTILITIES OR STRUCTURES.
13. ALL EXISTING SEWER MAINS AND SANITARY LATERALS TO BE ABANDONED MUST BE FILLED WITH CONCRETE SLURRY OR REMOVED FROM THE GROUND. CATCH BASINS AND MANHOLES MUST BE REMOVED FROM THE GROUND. CONNECTIONS MUST BE CUT AND SEALED AT THE MAIN AND PRECAUTIONS MUST BE UNDERTAKEN BY THE CONTRACTOR TO ENSURE CONCRETE AND OTHER MATERIALS DO NOT ENTER THE MAIN AND CREATE OBSTRUCTIONS).

NOTE: JCMUA SHALL BE NOTIFIED TWO DAYS IN ADVANCE PRIOR TO MAKING ANY SANITARY AND STORM LATERAL CONNECTIONS.

NOTE: ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH THE JCMUA STANDARDS AND SPECIFICATIONS

JCMUA REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS (CONT.)

- 1. FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT; A TAPPING VALVE, LOCATED AT THE TAP AND CURB VALVE, LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING GATES SHALL BE FURNISHED BY THE APPLICANT. TAPPING AND CURB VALVES SHALL BE DOUBLE DISC GATE VALVES AND MEET AWWA STANDARDS. THE WET TAP UP TO 12 INCHES SHALL BE PERFORMED BY UWJC.
2. FOR TAPS OFF MAINS SIXTEEN (16) INCHES AND LARGER, THE APPLICANT SHALL INSTALL AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE.
3. PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATIVE WATER SOURCE, AND SPECIAL WRITTEN APPROVAL IS ISSUED BY THE JCMUA.
4. VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE APPLICANT. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL CURB VALVES / STOPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED CORPORATION VALVES / STOPS SHALL BE USED AT THE TAP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER.
5. ALL SERVICE PIPES, SIZES 2-INCHES THROUGH 12-INCHES, SHALL BE PRESSURE CLASS 350 PSI, CEMENT-LINED DUCTILE IRON PIPE WITH MECHANICAL JOINTS. THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING. IF THE BUILDING LINE IS IN EXCESS OF 75 FT. FROM THE MAIN, THE APPLICANT SHALL PLACE THE METER IN A PIT NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP.
6. THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING. IF THE BUILDING LINE IS IN EXCESS OF 75 FT. FROM THE MAIN, THE APPLICANT SHALL PLACE THE METER IN A PIT NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP.
7. THE JCMUA HAS A COMBINED SEWER SYSTEM (COMBINED SERVICE LINE LARGER THAN 2") A COMBINED REDUCED PRESSURE DETECTOR ASSEMBLY (AMES 5000 SS, AMES 5000 RPD OR WATTS 909) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER ON THE MAIN FIRE SERVICE LINE (COMBINED SERVICE LINE 1.5" OR 2"). A FIRE LINE DETECTOR CHECK VALVE WITH A SINGLE CHECK VALVE (AMES 1000 DCV) SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 SS OR WATTS 909) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS (REFER TO REQUIRE 2). ALL REGULAR FIRE SUPPRESSION SYSTEMS MUST HAVE OS&Y VALVES; HOWEVER, LIMITED FIRE SUPPRESSION SYSTEMS MAY CHECKS AND SLAVES MAY BE SEATED ON CONCRETE BLOCK AND TAPERED. THE FIRE UNIT SHALL BE FURNISHED WITH A 5/8-INCH X 3/4-INCH METERED BYPASS. BYPASS METERS SHALL BE JERSEY CITY STANDARD SINGLE DISPLACEMENT SENSUS METER WITH TOUCHPAD, RADIO READ CAPABILITIES. THE SAME RADIO MXU UNIT SHALL BE USED FOR A COMBINED DOMESTIC AND FIRE SERVICE.
8. FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 SS OR WATTS 909) IS REQUIRED WHEN THE JCMUA DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PRESENTS A THREAT TO THE CITY'S DISTRIBUTION SYSTEM WATER QUALITY IN ACCORDANCE WITH THE PLUMBING SUBCODE OF THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE (N.J.A.C. 17:23) AND STATE OF NEW JERSEY SAFE DRINKING WATER ACT NJAC 7:10-10 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL BY CONTAINMENT. SOME SERVICES WHICH REQUIRE SUCH DEVICES INCLUDE: A HOSPITAL, SCHOOL, CHEMICAL PLANT, FACTORY, AND A FACILITY WITH SEWAGE EJECTORS.
9. IF A REDUCED PRESSURE BACKFLOW PREVENTER IS NOT REQUIRED ON THE DOMESTIC SERVICE, A CHECK VALVE SHOULD BE INSTALLED DOWNSTREAM OF THE TEST TEE.
10. ALL METERS SIZES 2 INCHES THROUGH 6 INCHES SHALL BE SINGLE COMPOUND METERS AND ALL METERS 8 INCHES AND LARGER SHALL BE DUPLEX COMPOUND MANIFOLD METERS.
11. ALL METERS SHALL BE ADEQUATELY RESTRAINED WITH METAL BRACKETS FASTENED TO THE FLOOR OR.
12. WALL OR OTHER APPROVED MEANS SUCH AS UNIFLANGES WHERE INTERNAL PIPE PRESSURE AND FLOW WARRANT SUCH RESTRAINTS. METERS, DETECTOR CHECKS AND SLAVES SHALL BE SEATED ON CONCRETE BLOCK AND TAPERED SHIMS TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 36" ABOVE FLOOR GRADE.
13. ALL METER INSTALLATIONS IN METER PIT OR VAULT SHALL BE PRE-APPROVED BY JCMUA AND HAVE PROPER ACCESS OPENINGS FOR METER READING AND REPLACEMENT.
14. EACH COMPOUND METER SHALL HAVE STRAINER INSTALLED ON THE INLET SIDE IMMEDIATELY BEFORE THE METER. ALL STRAINERS MUST BE PURCHASED FROM JCMUA OR ITS AUTHORIZED AGENT.
15. ALL METERS 2" AND LARGER SHALL BE FURNISHED WITH SENSUS ECRWP REMOTE TOUCH PAD MODULES AND RADIO MXU UNITS FOR BOTH TYPES OF READING CAPABILITIES.
16. REMOTE TOUCH PAD MODULE WIRE SHALL BE CONNECTED TO THE METER REGISTER UTILIZING A GEL CAP FOR WATERTIGHT SEALING OF ALL TERMINAL CONNECTIONS. TOUCH PADS MAY BE WALL MOUNTED OR LID MOUNTED WHERE A METER PIT IS UTILIZED. TOUCH PADS ARE TO BE INSTALLED ON EXTERIOR BUILDING WALLS FACING THE STREET AND INSTALLED AS CLOSE AS POSSIBLE TO STREET. THE RADIO MXU UNIT MUST BE INSTALLED WITH MOUNTING BRACKET AND LIKEWISE IS TO BE INSTALLED IN PROXIMITY TO STREET.
17. ALL INSTALLATIONS OF EQUIPMENT AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
18. ALL METERS INCLUDING TOUCH PAD MODULES, AND RADIO MXU UNITS SHALL BE PURCHASED THROUGH THE PERMIT CLERK AT JCMUA OFFICE. APPROVED PLANS MUST BE SUBMITTED TO THE PERMIT CLERK FOR ISSUANCE OF REQUIRED PERMITS.
19. AFTER OBTAINING THE REQUIRED PERMITS (STREET OPENING, TAP, AND METER) THE APPLICANT SHALL BE RESPONSIBLE TO SCHEDULE THE TAP AND THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED TAP, AND VERIFIED BY JCMUA OR ITS AUTHORIZED AGENT BEFORE THE TAP WILL BE INSTALLED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS FOR SHEETING AND SHIELDING.
20. UPON COMPLETION OF THE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS, TO THE JCMUA BUREAU OF WATER ENGINEERING. THE JCMUA WILL AUTHORIZE SUPPLY WATER UPON ACCEPTANCE OF THE "AS BUILT" DRAWINGS.

JCMUA WATER DISTRIBUTION SYSTEM STANDARDS

- 1. WATER MAINS SHALL BE CLASS 51, CEMENT LINED, DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND SHALL BE IN CONFORMANCE WITH A.N.S.I. STANDARD A21.5-1976 (A.W.W.A. C151-76). ALL WATER MAINS WILL BE AT LEAST 8" IN DIAMETER. TEN (10") AND 14" DIAMETER MAINS SHALL NOT BE USED.
2. GATE VALVES SHALL BE IN CONFORMANCE WITH A.N.S.I./A.W.W.A. STANDARD C504-80 AND SHALL BE JERSEY CITY STANDARD 158B METROLOGICAL MECHANICAL JOINT VALVES AS MANUFACTURED BY DRESSER COMPANY OR APPROVED EQUAL. VALVES SHALL BE NON-RISING STEM, MECHANICAL JOINT SHALL BE FURNISHED WITH A (2) SQUARE OPERATING NUT SHALL OPEN BY TURNING TO THE RIGHT. GATE VALVES (16") AND OVER SHALL BE FURNISHED WITH BY-PASS. VALVE SHALL BE 100% SOLID HEAT CURED EPOXY COATED HOLIDAY-FREE IN THE WATERWAY.
3. BUTTERFLY VALVES SHALL BE IN CONFORMANCE WITH A.N.S.I./A.W.W.A. STANDARD C504-80. BUTTERFLY VALVES SHALL BE CLASS 150B, MECHANICAL JOINT, WITH RUBBER SEAT MOUNTED ON THE DISC. SHALL BE FURNISHED WITH A (2) INCH SQUARE OPERATING NUT AND SHALL OPEN BY TURNING TO THE RIGHT. THE VALVE SHALL BE 100% SOLID HEAT CURED EPOXY COATED HOLIDAY-FREE IN THE WATERWAY. THE USE OF BUTTERFLY VALVES WILL NOT BE PERMITTED IN MAINS (16") AND UNDER.
4. VALVE BOXES SHALL BE JERSEY CITY "STANDARD" AS MANUFACTURED BY BINGHAM AND TAYLOR, OR APPROVED EQUAL. BOXES SHALL HAVE A MINIMUM OF 8-1/4 INCH DIAMETER AND SHALL BE AN ADJUSTABLE SCREW TYPE WITH THE BOX EXTENDING FROM THE SURFACE TO (3") INCHES ABOVE THE VALVE BONNET BASE. THE VALVE BOX SHALL BE CAST IRON WITH A STANDARD COAL TAR FOUNDRY DIP WITH CAST IRON WATER DROP COVER AND THE WORK "WATER" CAST IN COVER. VALVE BOX COVER SHALL BE INSTALLED FLUSH WITH THE EXISTING GRADE ELEVATION.
5. CONCRETE FOR VALVE SEATS AND THRUST BLOCKS SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI.
6. SELECT GRANULAR BACKFILL MATERIAL SHALL BE SOIL AGGREGATE TYPE 1-6 (POROUS FILL, CLEAN SAND, GRAVEL OR STONE) OBTAINED FROM DRY SOURCES AND SHOWN FREE FROM STUMPS, BRUSH, WEEDS, ROOTS, RUBBISH, WOOD AND OTHER MATERIAL THAT MAY DECAY. GRADUATION SHALL CONFORM TO TABLE 901-2, FOR TYPE 1-6 IN ARTICLE 901.09 OF THE (N.J.D.O.T.) NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN TWELVE (12) INCH LIFTS.
7. THE RODS SHALL BE THREE QUARTER (3/4) INCH DIAMETER THREADED STEEL RODS SHALL HAVE A MINIMUM YIELD STRESS OF 36,000 PSI. THRUST BLOCKS AND THE RODS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS.
8. COUPLINGS SHALL BE DRESSER STYLE NUMBER 153 FOR PIPE SIZES THROUGH (30) INCH DIAMETER. FOR LARGER DIAMETER PIPE, DRESSER STYLE NUMBER 38 STEEL COUPLINGS SHALL BE USED.
9. SHEETING, SHORING AND BRACING SHALL BE CLOSED VERTICAL SHEETING, TONGUE AND GROOVE THAT IS BRACED TO PREVENT THE CAVE-IN OF TRENCHES. ALL LABOR EQUIPMENT, MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. MATERIALS FOR SHEETING SHALL BE TONGUE AND GROOVE WOODEN PLANKS AND TIMBER OR STEEL, CONFORMING TO THE REQUIREMENTS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. TIMBER SHALL BE A MINIMUM OF 3" THICK. SHEETING SHALL BE LEFT IN PLACE. SHORING AND BRACING SHALL BE REMOVED.

SYMBOL DESCRIPTION

Table with 2 columns: SYMBOL and DESCRIPTION. Symbols include dashed lines for PROPERTY LINE, solid lines for SANITARY LATERAL, W for DOMESTIC WATER SERVICE, F for FIRE SERVICE, E/T/C for ELECTRICAL DATA CONDUITS, G for GAS LINE, and a circle with a cross for SANITARY MANHOLE / CLEANOUT.

JCMUA WATER DISTRIBUTION SYSTEM STANDARDS (CONT.)

- 1. BROKEN STONE FOUNDATION CUSHION SHALL BE PLACED IN THOSE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DETERMINED THE SOIL CONDITIONS. BROKEN STONE SHALL CONFORM TO ARTICLE 901.03 OF THE STANDARD SPECIFICATIONS AS CURRENTLY AMENDED. THE SIZE OF BROKEN STONE SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER FOR SIZE NUMBER 2, 4, 5, OR 6 AS SHOWN IN TABLE 901-1. STANDARD SIZES OF COARSE AGGREGATES OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. FILTER CLOTH SHALL BE PLACED IN THOSE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DETERMINED THE SOIL CONDITIONS. FILTER CLOTH SHALL CONFORM TO ARTICLE 901.03 OF THE STANDARD SPECIFICATIONS AS CURRENTLY AMENDED. THE SIZE OF FILTER CLOTH SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER FOR SIZE NUMBER 2, 4, 5, OR 6 AS SHOWN IN TABLE 901-1. STANDARD SIZES OF COARSE AGGREGATES OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
3. AFTER THE ENGINEER HAS INSPECTED THE COMPLETED INSTALLATION OF VALVES, AND WATER MAIN, AND BEFORE BACKFILLING THE EXCAVATIONS, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PRESURE TEST THE PIPE. THE PIPE SHALL BE PRESSURIZED TO 1.5 X THE WORKING PRESSURE FOR A PERIOD OF TWO (2) HOURS. PRESSURE SHALL NOT VARY MORE THAN FIVE (5) PSI. THE VALVED SECTION OF PIPE SHALL BE FILLED WITH WATER SLOWLY AND THE TEST PRESSURE SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A MANNER SATISFACTORY TO THE ENGINEER. BEFORE APPLYING THE TEST PRESSURE, AIR SHALL BE EXPELLED COMPLETELY FROM THE PIPE BY INSTALLING CORPORATION COCKS AT HIGH POINTS SO THAT THE AIR CAN BE EXPELLED AS THE LINE IS FILLED WITH WATER. IF THE JOINTS LEAK, REPAIRS OR REPLACEMENTS SHALL BE MADE IN CONFORMANCE WITH A.W.W.A. STANDARD C600-77.
4. THE CONTRACTOR SHALL DISINFECT ALL WATER MAINS IN ACCORDANCE WITH A.W.W.A. STANDARD FOR "DISINFECTING WATER MAINS" DESIGNATION C491. COMMERCIAL PRODUCTS SUCH AS "HTH", "PERCHLORON", AND "MAXOXHLOR" MAY BE USED IN FLAKE OR CRYSTAL FORM, BUT IN NO INSTANCE WILL TABLETS BE PERMITTED TO DISINFECT THE WATER MAIN. THE CHLORINE DOSAGE SHALL INITIALLY PRODUCE 50 PPM RESIDUAL TO THE WATER AND MAINTAIN A MINIMUM RESIDUAL OF 25 PPM AFTER 24 HOURS. AFTER SATISFACTORY DISINFECTION OF THE TEST SECTION, THE LINE SHALL BE CONTINUOUSLY FLUSHED UNTIL THE RESULTANT CHLORINE RESIDUAL EQUALS ONE PPM OR THE RESIDUAL OF THE SYSTEM, WHICHEVER IS GREATER. AFTER FINAL FLUSHING WITH MAIN IS PLACED IN SERVICE, EQUAL QUALITY SAMPLES SHALL BE COLLECTED FROM EACH END OF THE MAIN AND TESTED FOR BACTERIOLOGICAL QUALITY. IF THE INITIAL DISINFECTION FAILS TO PRODUCE SATISFACTORY SAMPLES, DISINFECTION SHALL BE REPEATED UNTIL SATISFACTORY SAMPLES HAVE BEEN OBTAINED.
5. AIR RELEASE VALVES SHALL BE INSTALLED AT THE HIGH POINTS OF THE WATER MAINS.
6. ALL WATER MAINS WILL BE AT LEAST 8" IN DIAMETER. TEN (10") AND 14" DIAMETER MAINS SHALL NOT BE USED.
7. THRUST BLOCKS AND THE RODS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS.
8. HYDRANTS SHALL BE TWO (2) PIECE "JERSEY CITY STANDARD" HYDRANTS AS MANUFACTURED BY A.P. SMITH OR APPROVED EQUAL. HYDRANT SPACING SHALL BE A MAXIMUM 300 FEET MEASURED CENTER TO CENTER.
9. FOR EITHER NEW CONSTRUCTION OR RELOCATION OF THE FOLLOWING SHALL BE REQUIRED:
A. HYDRANTS SHALL BE LOCATED NO CLOSER THAN 20 FEET FROM THE POINT OF TANGENCY OR CURVATURE AT INTERSECTIONS.
B. ALL ONE PIECE OR HYDRANTS NOT MANUFACTURED BY A.P. SMITH THAT ARE TO BE RELOCATED SHALL BE REMOVED AND DELIVERED TO JERSEY CITY DIVISION OF WATER DISTRIBUTION. A NEW HYDRANT WILL BE SUPPLIED BY THE CITY FOR INSTALLATION.
C. HYDRANTS SHALL BE NO CLOSER THAN TEN (10) FEET FROM THE EDGE OF A RESIDENTIAL DRIVEWAY OR (20) FEET FROM THE EDGE OF COMMERCIAL DRIVEWAY. IN THE CASE WHERE DRIVEWAYS ARE EXPANDED OR NEWLY CONSTRUCTED, THE OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION OF AN EXISTING HYDRANT IF ABOVE REQUIREMENTS ARE VIOLATED.
D. ALL SINGLE GATED HYDRANTS ON (16") INCH OR LARGER MAINS SHALL REQUIRE A NEW VALVE AT THE BASE OF THE RELOCATED HYDRANT.
10. EXISTING WATER SERVICE LINES SHALL BE SHUT-OFF AND CAPPED AT THE MAIN PRIOR TO THE INSTALLATION OF NEW WATER SERVICES. PRIOR TO NEW SERVICE TAP THE JERSEY CITY WATER DEPARTMENT SHALL INSPECT AND CERTIFY THE ABANDONED SERVICES.
11. WATER MAINS TO BE ABANDONED SHALL BE CUT AND PLUGGED WITH REQUIRED FITTINGS, RODS AND CONCRETE AS CLOSE TO THE EXISTING MAIN IN SERVICE AS POSSIBLE.
12. ALL VALVES SHALL BE OPERATED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT BE PERMITTED TO OPERATE ANY VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, FIVE (5) DAYS IN ADVANCE OF VALVE OPERATING REQUIREMENTS.
13. FAILURE TO COMPLY WITH THE ABOVE REQUIREMENTS WILL RESULT IN THE IMMEDIATE SHUT-DOWN OF THE PROJECT.

Table with 2 columns: Date and Description. Includes entries for PB REVISIONS, JCMUA REVISIONS, FOR BUILDING PERMIT, PSEC REVISION, PER JCMUA COMMENTS, PB REVISIONS, REVISED DRAINAGE, AMENDED FINAL SITE PLAN, REVISED GRADING, JCMUA REVISIONS, ISSUED FOR BID, CD 90%, CD 75%, CD 50%.

Project Title

SUMMIT TOWER

622-628 SUMMIT AVE JERSEY CITY, NEW JERSEY 07306 BLOCK 6701, LOT 21.01

Project Description

PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS

Applicant: 628 SUMMIT AVE, LLC

Project Number: T-18276

Drawn by: KB

Checked by: KB

Scale: As Noted

Sheet Title

UTILITY PLAN (GROUND FLOOR)

Sheet Number

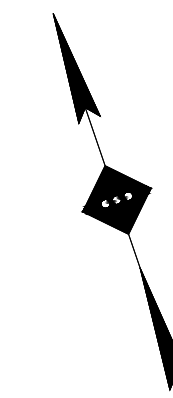


PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
■	A	25	WILLIAMS 4DS DOWNLIGHT L10 OW-OF-CS 3000K	OW	0.90	H.E. WILLIAMS, INC.	4DS-L10-830-DIM-LIN-OW-OF-CS-IES
●	B	14	CAMMAN LIGHTING OW610-24 CARLISLE 3000K	N/A	0.90	CAMMAN	CAMMAN OW610-24-LN-IES
○	C	2	PHILIPS HADCO SIGNATURE LED, T3, 88W, BLACK FINISH	TYPE III	0.90	PHILIPS HADCO	RL32XDXXXVXXXNXXXXXX-GX4-IES

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ III.F.3.	ADEQUATE LIGHTING SHALL BE PROVIDED TO ENCOURAGE ACTIVE USAGE AND A SENSE OF SECURITY IN THE OPEN SPACE.	COMPLIES
§ III.G.7.	LIGHTING WITHIN THE SITE SHALL SUFFICIENTLY ILLUMINATE ALL AREAS, INCLUDING THOSE AREAS WHERE BUILDING ARE SETBACK OR OFFSET TO PREVENT DARK CORNERS.	COMPLIES
§ III.G.8.	ALL LIGHTING SOURCES MUST BE ADEQUATELY SHIELDED TO AVOID ANY OFF-SITE GLARE. THE AREA OF ILLUMINATION SHALL HAVE A UNIFORM PATTERN OF AT LEAST ONE-HALF (0.5) FOOT CANDLES.	2.7 FC AVERAGE
§ 345-69.B.6.b	MAXIMUM LIGHTING INTENSITY AT PROPERTY LINE SHALL BE 0.5 FOOT CANDLES.	0.4 FC

**GENERAL LIGHTING NOTES**

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
  - LIGHT EMITTING DIODES (LED): 0.90
  - HIGH PRESSURE SODIUM: 0.72
  - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/PROPOSED DRAINAGE UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

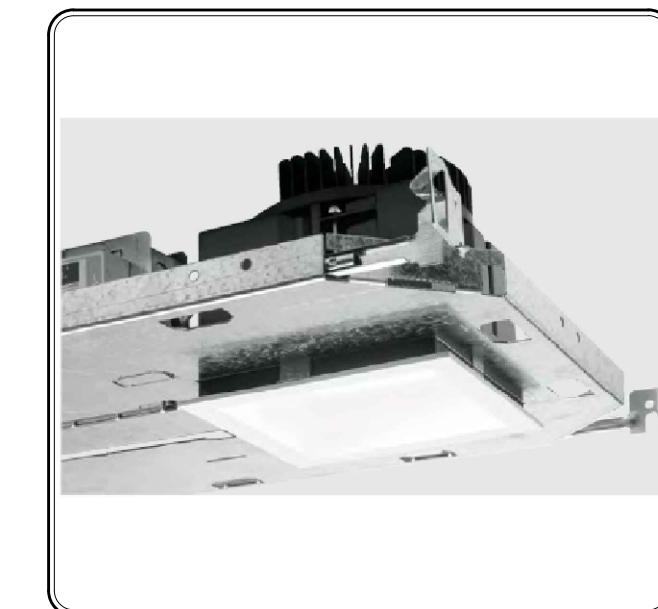
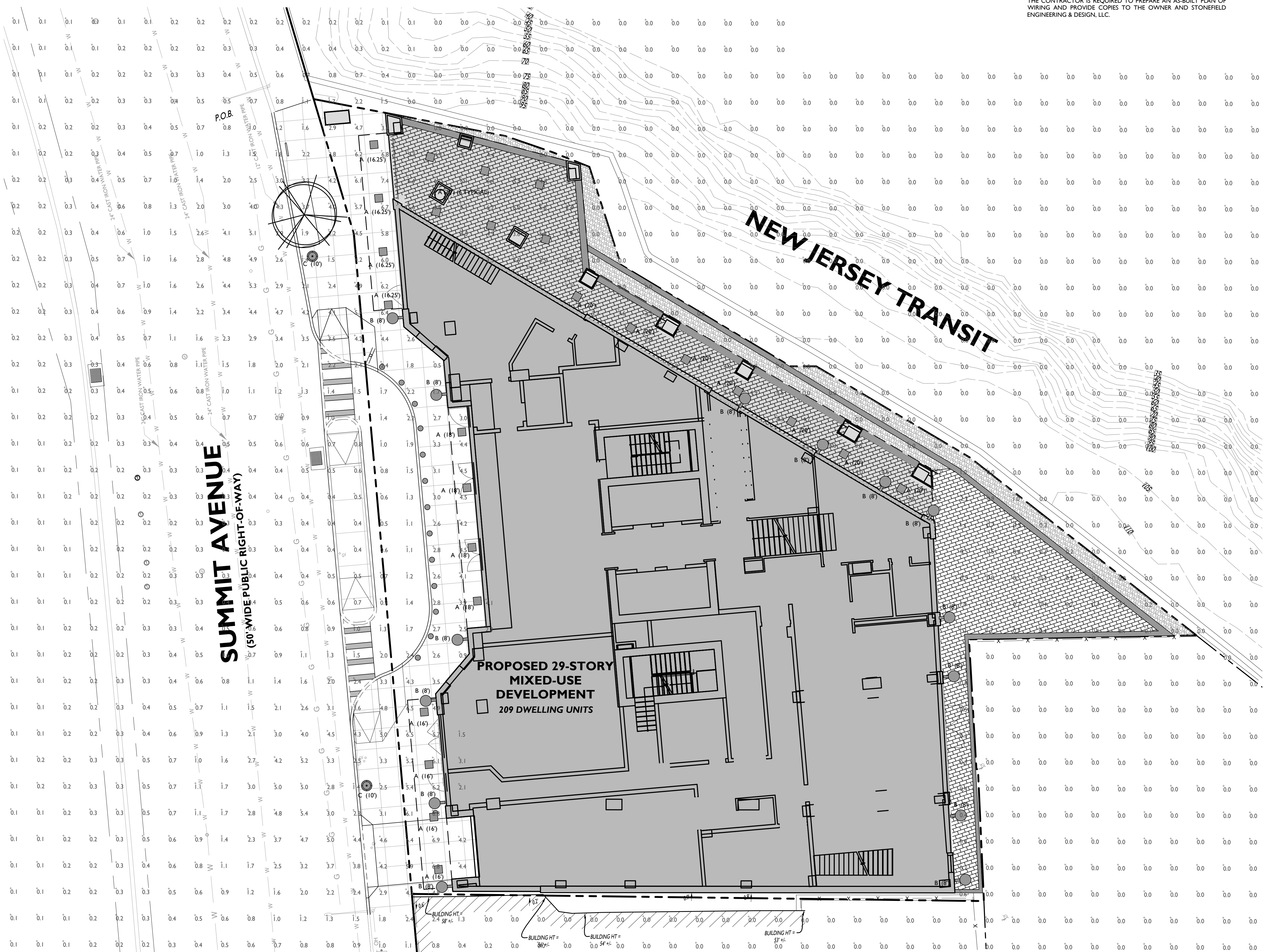


SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
xx	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
■	PROPOSED BUILDING MOUNTED LIGHT

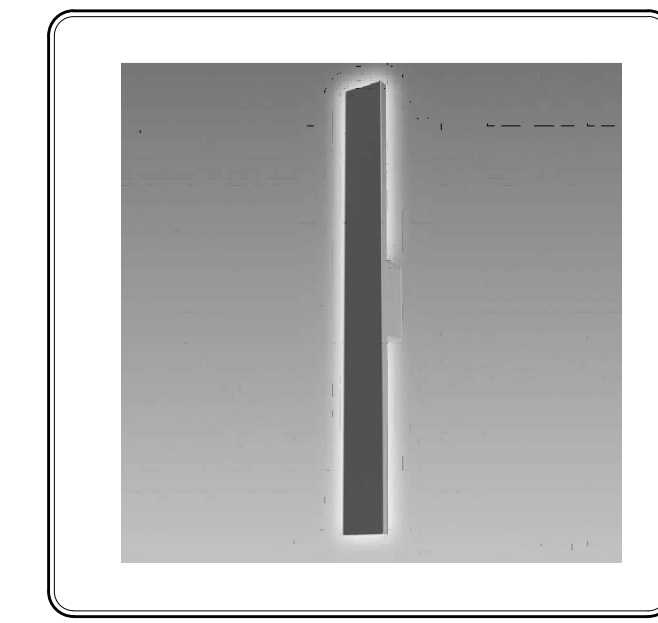
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 NY License # 32710-1  
 Adrian Mella, AIA  
 NJ License # 18738  
 Claran Kelly, AIA  
 NJ License # 18864

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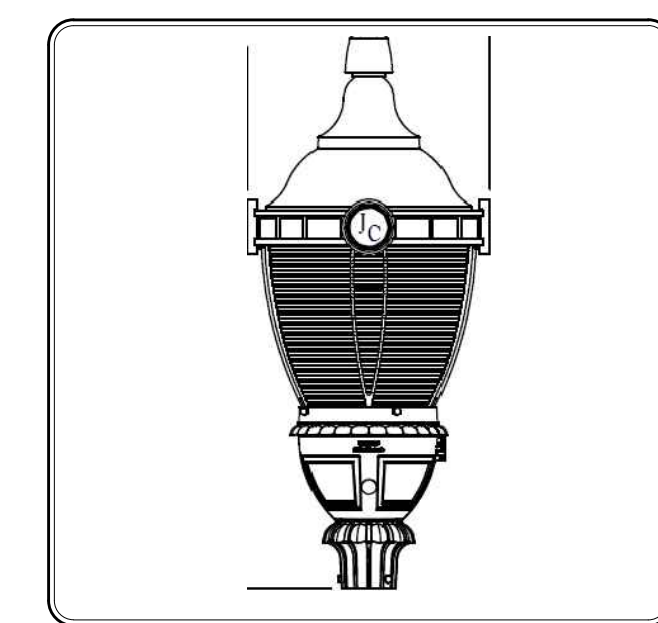
ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE No. 53741  
 LICENSED PROFESSIONAL ENGINEER



**CANOPY LIGHTING FIXTURE TYPE 'A'**



**WALL LIGHTING FIXTURE TYPE 'B'**



**AREA LIGHTING FIXTURE TYPE 'C'**

#	Date	Description
15	01/06/2023	PB RESUBMISSION
14	12/16/2022	JCMUA REVISIONS
13	11/28/2022	FOR BUILDING PERMIT
12	10/31/2022	PSEG REVISION
11	10/05/2022	PER JCMUA COMMENTS
10	08/08/2022	PB RESUBMISSION
9	07/20/2022	REVISED DRAINAGE
8	04/20/2022	AMENDED FINAL SITE PLAN
7	05/12/2022	REVISED GRADING
6	04/22/2022	JCMUA REVISIONS
5	03/23/2022	JCMUA REVISIONS
4	09/03/2021	ISSUED FOR BID
3	07/02/2021	CD 90%
2	06/07/2021	CD 75%
1	04/09/2021	CD 50%
#	Date	Issue

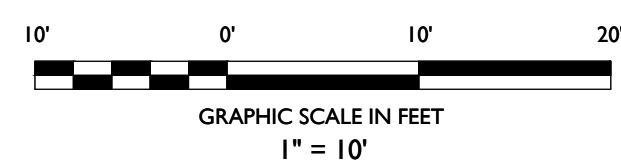
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**SUMMIT TOWER**  
 622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01  
 Project Description  
 PROPOSED NEW MIXED USE  
 BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
 628 SUMMIT AVE, LLC

Project Number: T-18276  
 Drawn by: KB  
 Checked by: KB  
 Scale: As Noted

Sheet Title  
 LIGHTING PLAN

Sheet Number  
**C-9**

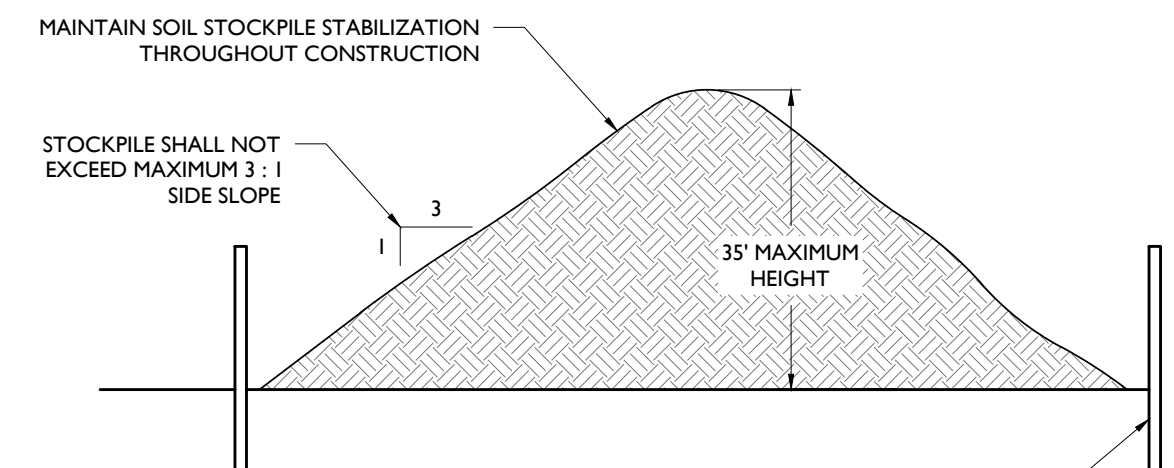




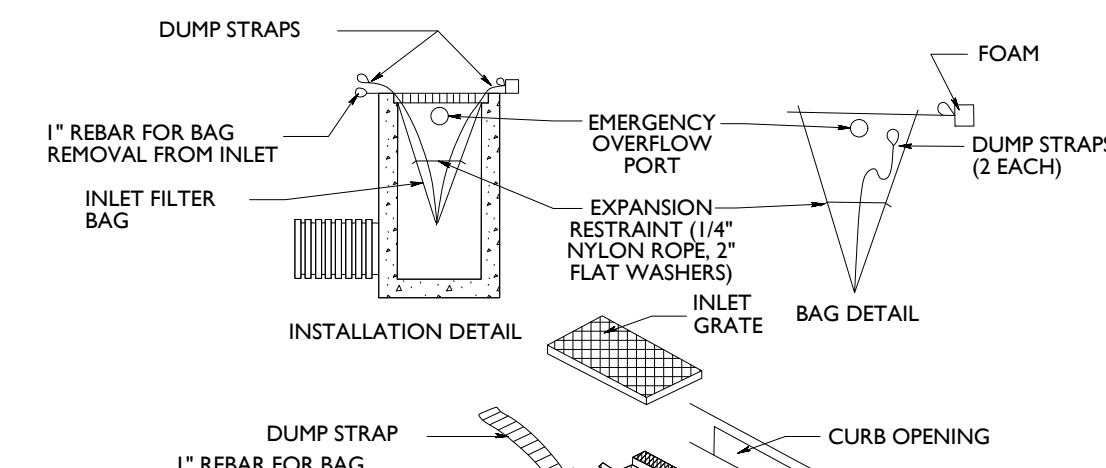
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Claran Kelly, AIA  
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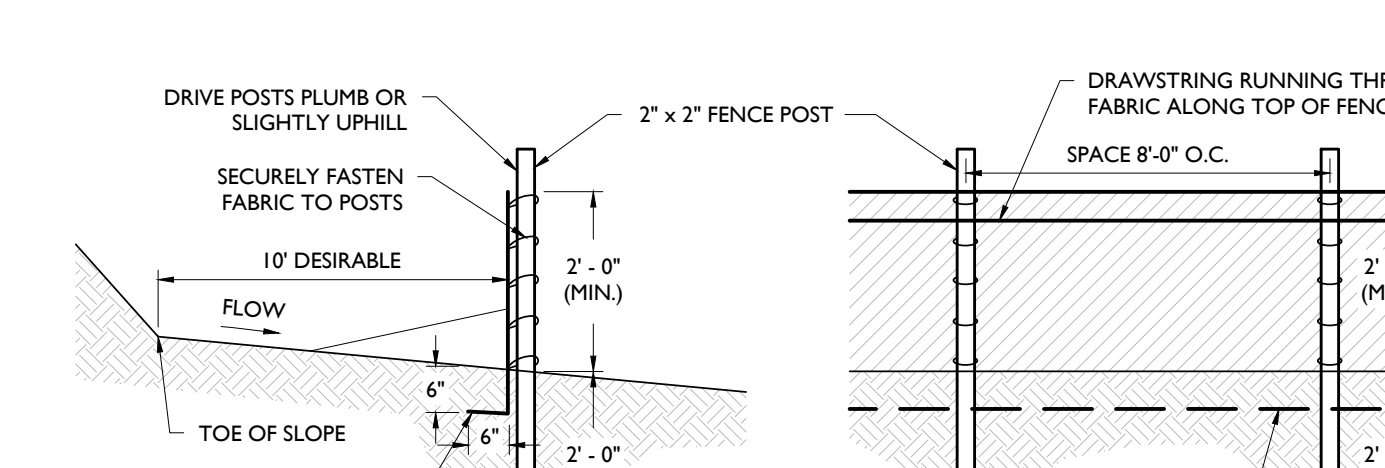
ARTHUR KUYAN, P.E.  
NEW JERSEY LICENSE NO. 5374  
LICENSED PROFESSIONAL ENGINEER



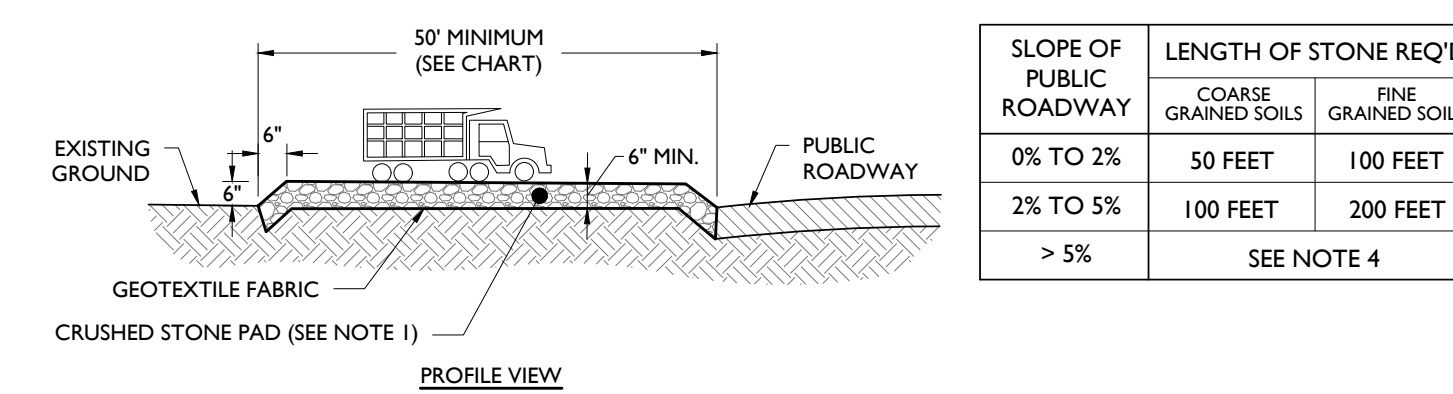
**SOIL STOCKPILE DETAIL**  
NOT TO SCALE



**INLET FILTER BAG DETAIL**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE



**STABILIZED CONSTRUCTION ACCESS DETAIL**  
NOT TO SCALE

- NOTES:
- STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
  - STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

- NOTES:
- THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
  - SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

- NOTES:
- SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
  - GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
  - SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
  - SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

- NOTES:
- STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
  - WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
  - STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
  - WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
  - CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

- SEQUENCE OF CONSTRUCTION**
- INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE (3 DAYS)
  - DEMOLISH EXISTING BUILDINGS. ALL EXPOSED SOIL AREAS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY UNTIL THE NEXT PHASE OF CONSTRUCTION BEGINS. (4 WEEKS)
  - ROUGH GRADING AND EXCAVATION. (4 WEEKS)
  - BUILDING CONSTRUCTION AND SITE IMPROVEMENTS. (6 MONTHS)
  - STREETSCAPE IMPROVEMENTS. (4 WEEK)
  - REMOVE SILT FENCE AND SOIL EROSION MEASURES (1 DAY)
- TOTAL ESTIMATED TIME = 9 MONTHS
- NOTE: THE DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

- DUST CONTROL NOTES**
- MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY PG. 6
  - VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOIL PG. 4
  - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
  - TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
  - SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
  - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
  - CALCIUM CHLORIDE SHALL BE IN THE FORM OF LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
  - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

**SYMBOL DESCRIPTION**

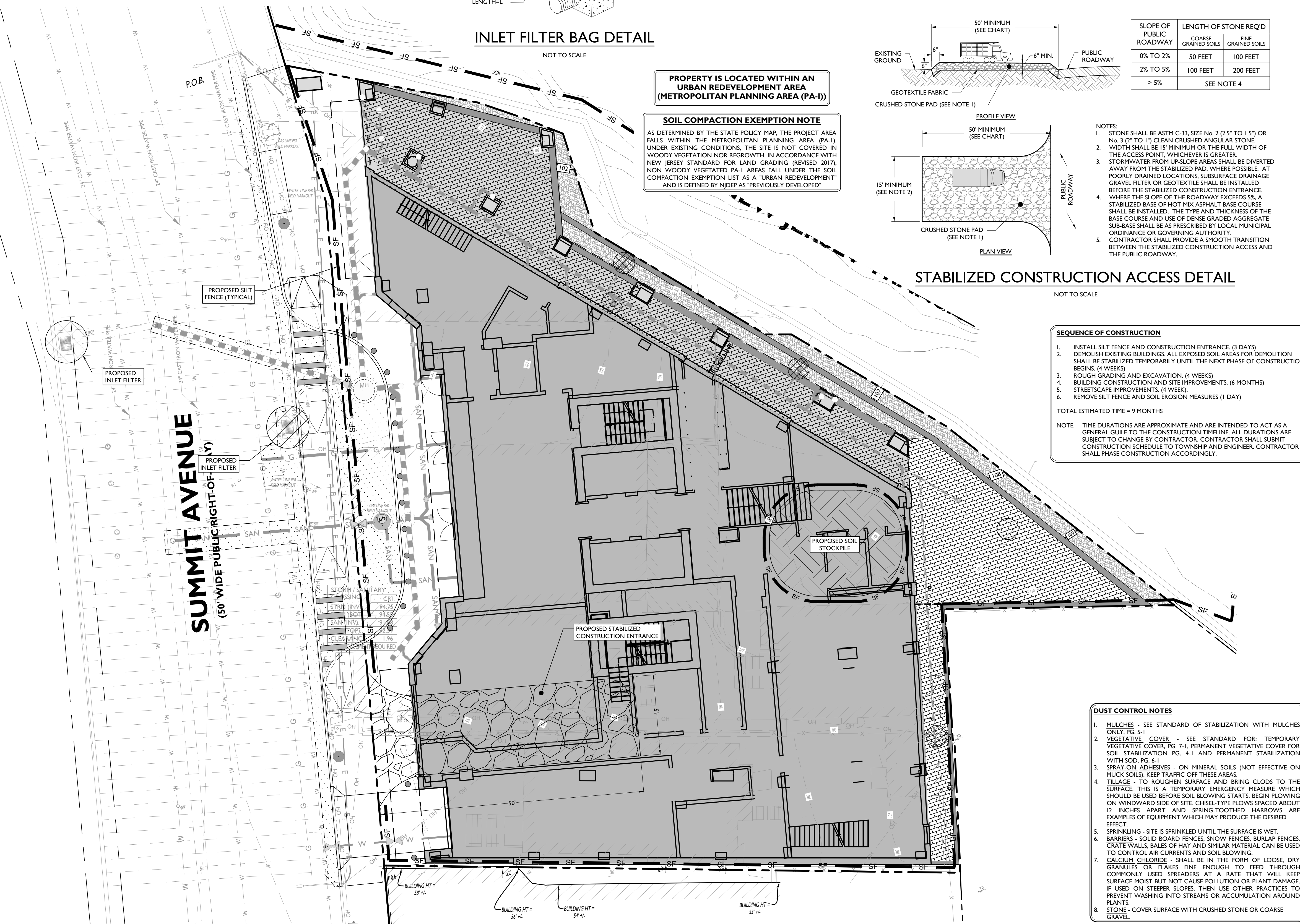
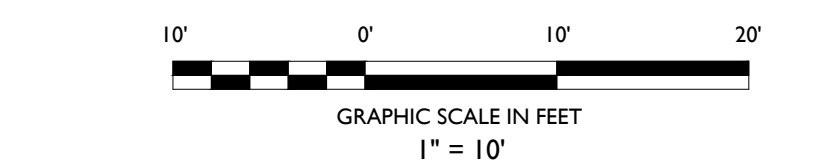
---	PROPERTY BOUNDARY
- - -	ADJACENT PROPERTY BOUNDARY
---	LOD
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER

**HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONDUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPCD: SPRING - 3/15/15 AND FALL - 8/15 - 10/1
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX: (862)333-4507 OR EMAIL - INFORMATION@HEPCD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 50 INCHES, FIRMED IN PLACE, IS REQUIRED AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" -1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANTS ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS, NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

**SOIL CHARACTERISTICS CHART**

TYPE OF SOIL	URBAN LAND (URTLB)
PERCENT OF SITE COVERAGE	100.0%



PROPERTY IS LOCATED WITHIN AN URBAN REDEVELOPMENT AREA (METROPOLITAN PLANNING AREA (PA-1))

**SOIL COMPACTION EXEMPTION NOTE**  
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA-1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA-1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED"

**SUMMIT AVENUE**  
(50' WIDE PUBLIC RIGHT-OF-WAY)

#	Date	Issue
15	01/06/2023	PB RESUBMISSION
14	12/16/2022	JCMUA REVISIONS FOR BUILDING PERMIT
13	11/28/2022	PSEG REVISION
12	10/31/2022	PER JCMUA COMMENTS
11	10/05/2022	PB RESUBMISSION REVISED DRAINAGE AMENDED FINAL SITE PLAN
10	08/08/2022	PB RESUBMISSION
9	07/20/2022	REVISED DRAINAGE
8	06/20/2022	AMENDED FINAL SITE PLAN
7	05/12/2022	REVISED GRADING
6	04/22/2022	JCMUA REVISIONS
5	03/23/2022	JCMUA REVISIONS
4	09/03/2021	ISSUED FOR BID
3	07/02/2021	CD 90%
2	06/07/2021	CD 75%
1	04/09/2021	CD 50%
#	Date	Issue

Project Title  
**SUMMIT TOWER**  
422-428 SUMMIT AVE  
JERSEY CITY, NEW JERSEY 07306  
BLOCK 6701, LOT 21.01

Project Description  
PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
628 SUMMIT AVE, LLC

Project Number: T-18276  
Drawn by: KB  
Checked by: KB  
Scale: As Noted

Sheet Title  
SOIL EROSION & SEDIMENT CONTROL PLAN

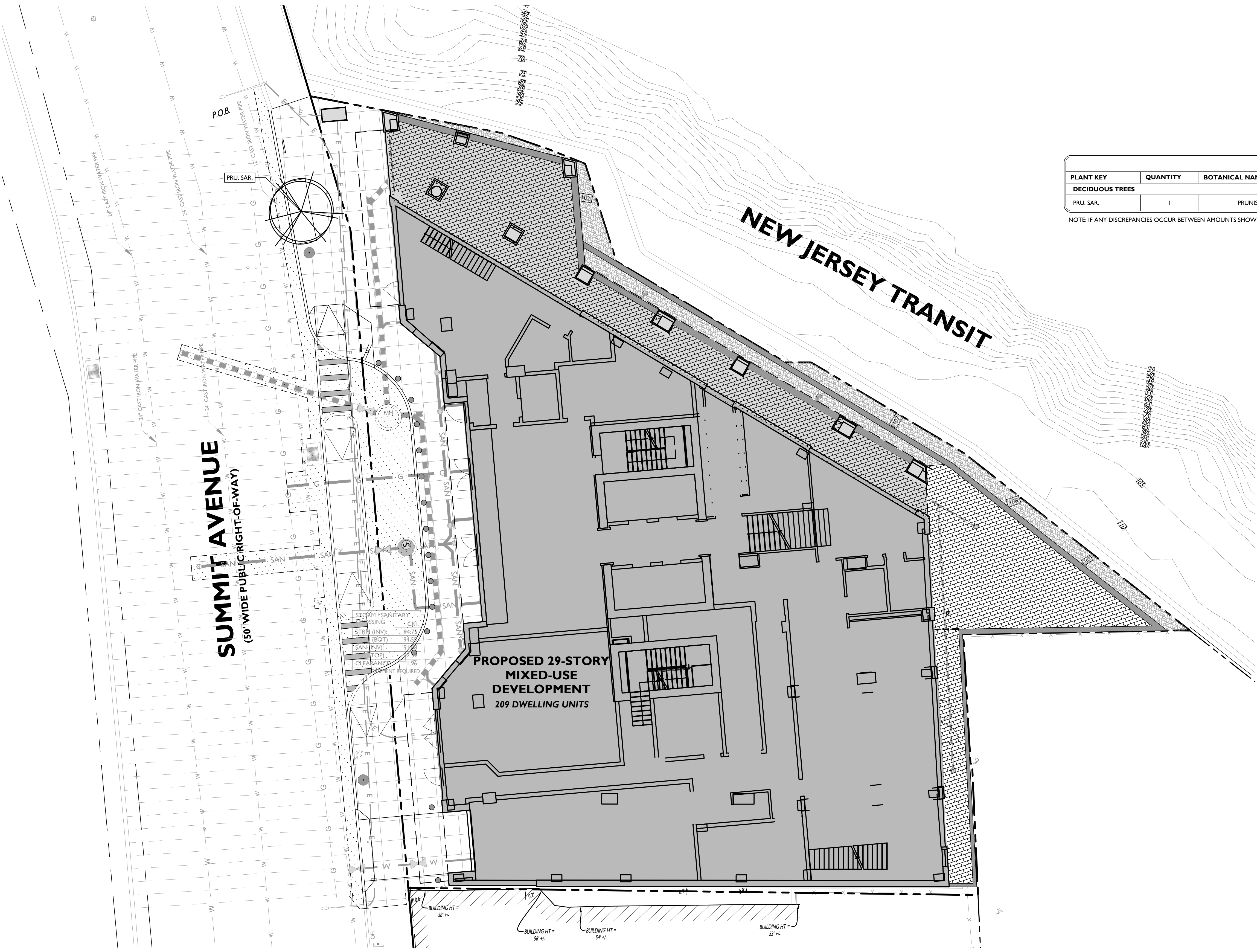
Sheet Number



SEAL  
 Frank J. Minervini, AIA  
 NJ License # 12576  
 NY License # 03-0297-63  
 Anthony C. Vandermark, Jr. AIA  
 NJ License # 17699  
 NY License # 32710-1  
 Adrian Mella, AIA  
 NJ License # 18738  
 Claran Kelly, AIA  
 NJ License # 18864



ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE No. 53741  
 LICENSED PROFESSIONAL ENGINEER



PLANT SCHEDULE					
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>DECIDUOUS TREES</b>					
PRUJ. SAR.	1	PRUNUS SARGENTI	SARGENT CHERRY	3"-3.5" CAL.	B&B

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ III.G.1.	LANDSCAPING SHALL BE REQUIRED FOR ANY PART OF ANY PARCEL NOT USED FOR BUILDINGS, OFF-STREET PARKING, PLAZA AREAS, OR LOADING ZONES.	COMPLIES
§ III.G.2.	ALL PLANT MATERIALS USED MUST BE ABLE TO WITHSTAND AN URBAN ENVIRONMENT. ALL SCREEN PLANTING SHALL BE A MINIMUM OF 4 FEET HIGH, AND SHALL BE PLANTED, BALLED, AND BURLAPPED AS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. GROUND COVER SHALL BE USED IN PLACE OF MULCH.	COMPLIES
§ III.G.3.	ALL NEW TREES SHALL BE OF A SPECIES AND GENDER SO AS TO MINIMIZE FRUIT AND POLLEN.	COMPLIES
§ III.G.4.	ANY LANDSCAPING WHICH IS NOT RESISTANT TO THE ENVIRONMENT OR DIES WITHIN 2 YEARS OF PLANTING SHALL BE REPLACED BY THE DEVELOPER.	COMPLIES
§ III.G.5.	UNDERGROUND WATERING FACILITIES SHALL BE REQUIRED FOR ALL LANDSCAPED AREAS. HOSE BIBS SHALL BE PROVIDED IMMEDIATELY ADJACENT TO PLANTING AREAS ABUTTING A BUILDING.	COMPLIES
§ III.G.6.	STREET TREES SHALL BE PLANTED ALONG CURB LINES OF STREETS IN A REGULAR PATTERN, SPACED AT ONE-HALF THE MATURE SPREAD OF THE TREE CANOPY TO FURTHER ENHANCE THE AESTHETIC QUALITY OF THE REDEVELOPMENT AREA. ALL TREES SHALL BE A MINIMUM OF FOUR (4) INCHES IN CALIPER.	COMPLIES
§ III.G.9.	ALL LANDSCAPING MUST BE FULLY ENCLOSED BY CURB OR SEATING WALL, CONSTRUCTED OF MASONRY OR METAL MATERIAL WITH A MINIMUM OF 6 INCH IN HEIGHT. LANDSCAPING SHALL BE ELEVATED TO MATCH THE HEIGHT OF THE CURB OR SEATING WALL. FENCING IS DISCOURAGED, BUT MAY BE SET INTO THE REQUIRED CURB.	COMPLIES

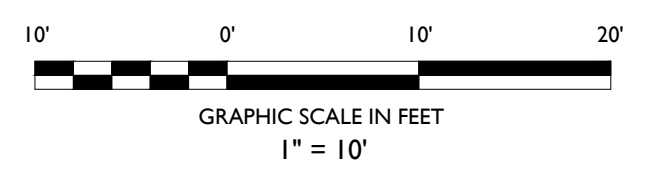
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2	06/07/2021	CD 75%
1	04/09/2021	CD 50%
#	Date	Issue

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 477-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS RECOMMENDED THAT YOU CALL 3 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "BEFORE" YOU DIG. WHERE THE UNDERGROUNDS ARE LOCATED: SUCH AS WATER, GAS, ELECTRIC, AND TELEPHONE. WITHOUT THE RISK OF INTERRUPTING SERVICE FROM DAMAGING PROPERTY OR INTERFERING WITH THE UTILITY SERVICES.

DO THAT YOU CAN IDENTIFY UTILITY SERVICES ARE LOCATED: PHONE, CABLE, ETC. ONCE MARKED OUT, YOU CAN DIG. CONTACT ONE CALL UTILITY SERVICES ARE MARKED OUT WITH PAINT OR A FLAG. THE HELP YOU IDENTIFY WHAT UTILITY HAS BEEN MARKED.

**ONE CALL**  
 NEW JERSEY

ELECTRIC-RED, GAS-ORANGE, TELEPHONE-YELLOW, WATER-BLUE, SEWER-GREEN, TEMPORARY SURVEY MARKINGS-MAGENTA, PROPOSED EXCAVATION-WHITE



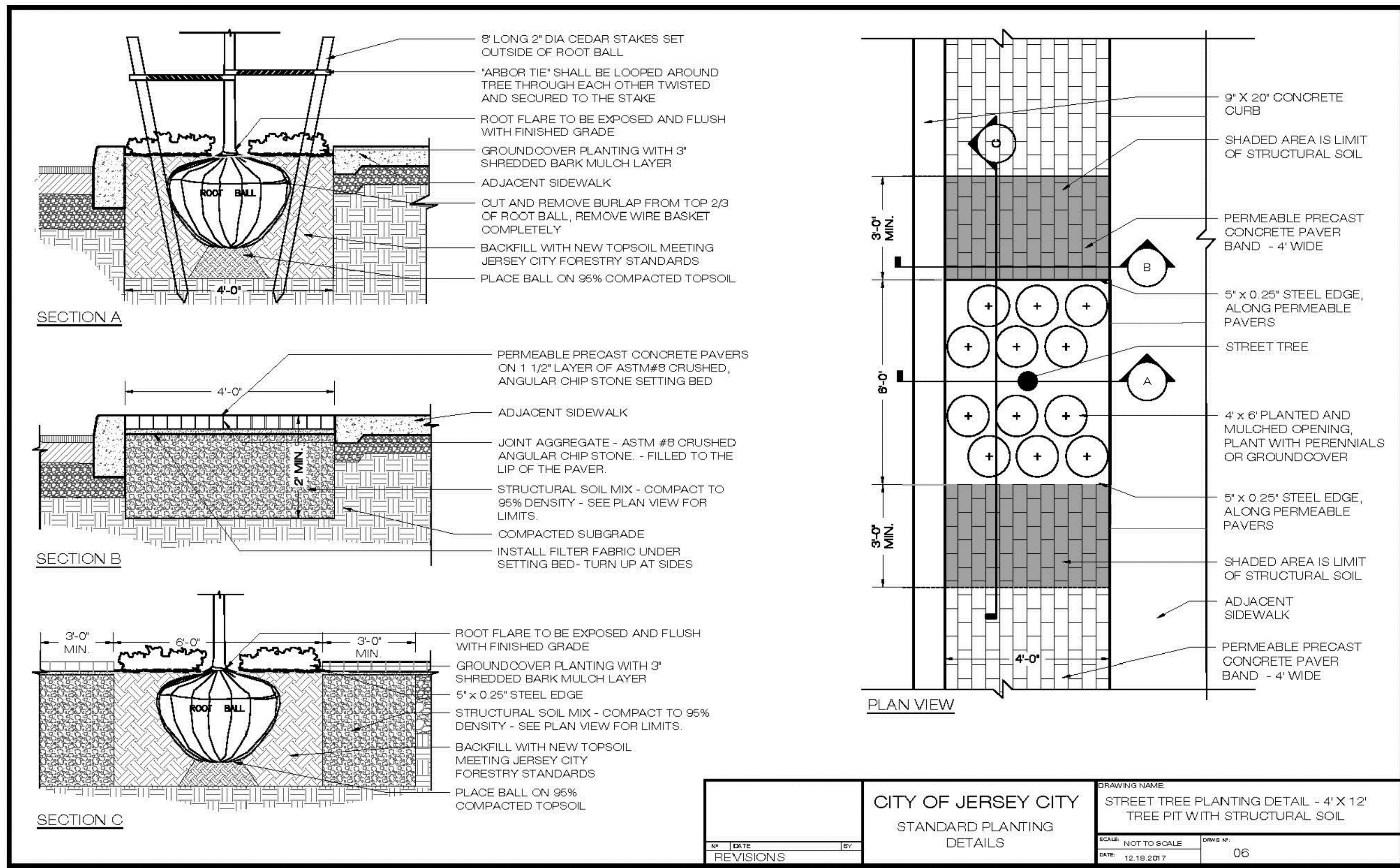
**SUMMIT TOWER**  
 622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01  
 Project Description  
 PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
 628 SUMMIT AVE, LLC  
 Project Number: T-18276  
 Drawn by: KB  
 Checked by: KB  
 Scale: As Noted

Sheet Title  
 LANDSCAPING PLAN

Sheet Number  
**C-11**





**JERSEY CITY 4' X 12' STREET TREE PLANTING DETAIL**

NOT TO SCALE

**GENERAL LANDSCAPING NOTES:**

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF FIRM FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
8. PLANTS TRAPPED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOODCHIPS. IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF ROCKS OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REMOVE OR ENLARGE PLANTING PIT OR DELETE PLANT FROM CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AUTHORITY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:  
PLANTS (MARCH 15 - DECEMBER 15)  
LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):  
ABIES CONCOLOR  
ACER BURGERSIANUM  
ACER FREEMANSII  
ACER RUBRUM  
ACER SACCHARINUM  
BETULA VARIETIES  
CARPINUS VARIETIES  
CEDRUS DEODARA  
CELTIS VARIETIES  
CERIDOPHYLLUM VARIETIES  
LIRIODENDRON VARIETIES  
CORNUS VARIETIES  
CRATAEGUS VARIETIES  
CURPESOCYPARIUS VARIETIES  
FAGUS VARIETIES  
HALESIA VARIETIES  
ILEX X FOESTERII  
ILEX NELLE STEVENS  
ILEX OPACA  
JUNIPERUS VIRGINIANA  
KOEHLERUTERA PANICULATA  
LIQUIDAMBAR VARIETIES  
LIRIODENDRON VARIETIES  
MALLUS IN LEAF  
NYSSA SYLVASTICA  
OSTRYA VIRGINIANA  
PINUS NIGRA  
PLATANUS VARIETIES  
POPULUS VARIETIES  
PRUNUS VARIETIES  
PYRUS VARIETIES  
QUERCUS VARIETIES (NOT Q. PALUSTRIS)  
SALIX WEeping VARIETIES  
SORBUS VARIETIES  
TAXODIUM VARIETIES  
TAXUS X REPANDENS  
TILIA TOMENTOSA VARIETIES  
ULMUS PARVIFOLIA VARIETIES  
ZELKOVA VARIETIES

**PROTECTION OF EXISTING VEGETATION NOTES:**

1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRAIN-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED TREE PROTECTION FENCE DETAIL. NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:  
• TRENCING: WHEN TRENCING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.  
• RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE. A 5" x 0.25" STEEL EDGE, ALONG PERMEABLE PAVERS, BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."  
• LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

**SOIL PREPARATION AND MULCH NOTES:**

1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "TREE SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:  
• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR COMPOST.  
• MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
3. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
7. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
8. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
11. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
13. SOIL SHALL BE LOOSENEED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENEED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:  
**MYCORHIZAL TREE SAVER** - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.  
• DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.  
• MYCORHIZAL TREE SAVER IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.  
• SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.  
• FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.  
• OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTALMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

**PLANT MATERIAL GUARANTEE NOTES:**

1. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND FOR USE FOR PLANTING BALLED & BURLAPED (B&B) TREES AND SHRUBS. MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.
3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE TEMPORARY SEEDING SPECIFICATION.
5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

**LAWN (SEED OR SOD) NOTES:**

1. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND FOR USE FOR PLANTING BALLED & BURLAPED (B&B) TREES AND SHRUBS. MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.
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**SEAL**

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NY License # 03-0297-63  
Anthony C. Vandermark, Jr., AIA  
NJ License # 17689  
NY License # 32710-1  
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NJ License # 18738  
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15	01/06/2023	PB REVISION
14	12/16/2022	JCM/JA REVISIONS
13	11/28/2022	FOR BUILDING PERMIT
12	10/31/2022	PSEC REVISION
11	10/05/2022	PB JCM/JA COMMENTS
10	08/08/2022	PB REVISION
9	07/20/2022	REVISED DRAINAGE
8	04/20/2022	AMENDED FINAL SITE PLAN
7	05/12/2022	REVISED GRADING
6	04/22/2022	JCM/JA REVISIONS
5	03/25/2022	JCM/JA REVISIONS
4	09/03/2021	ISSUED FOR BID
3	07/02/2021	CD 90%
2	06/07/2021	CD 75%
1	04/09/2021	CD 50%
#	Date	Issue

**Project Title**

**SUMMIT TOWER**

622-628 SUMMIT AVE  
JERSEY CITY, NEW JERSEY 07306  
BLOCK 6701, LOT 21.01

**Project Description**  
PROPOSED NEW MIXED USE  
BUILDING WITH 209 RESIDENTIAL UNITS

**Applicant**  
628 SUMMIT AVE, LLC

**Project Number:** T-18276  
**Drawn by:** KB  
**Checked by:** KB  
**Scale:** As Noted

**Sheet Title**  
LANDSCAPING DETAILS

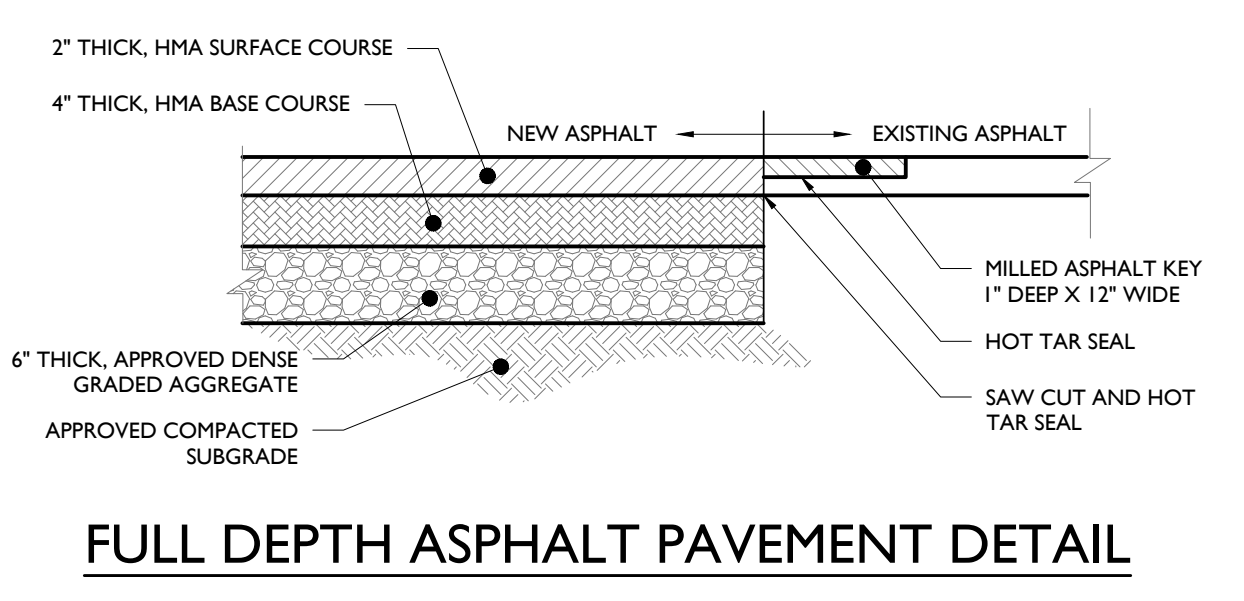
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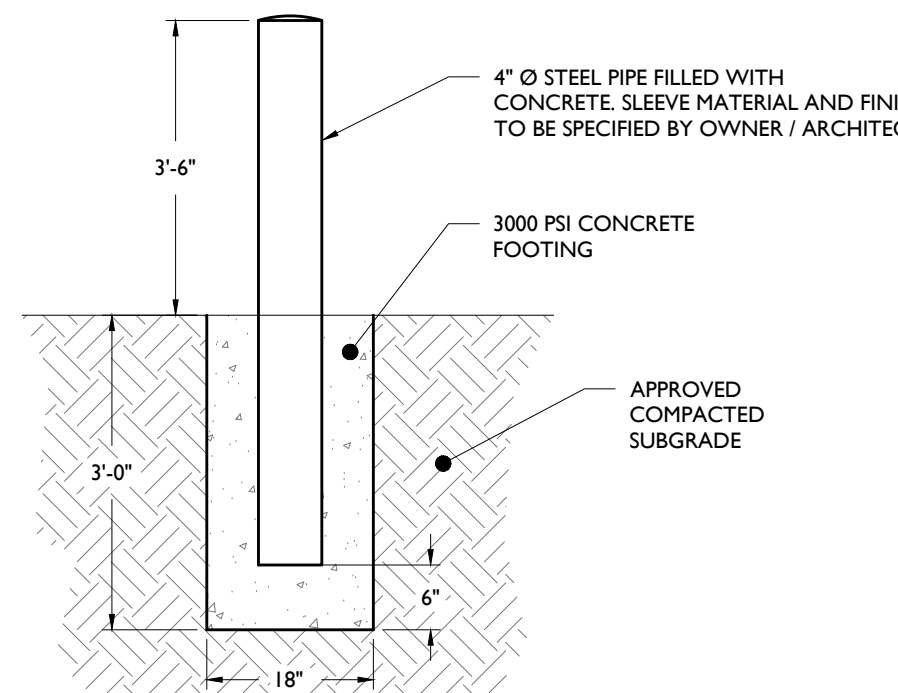
SEAL  
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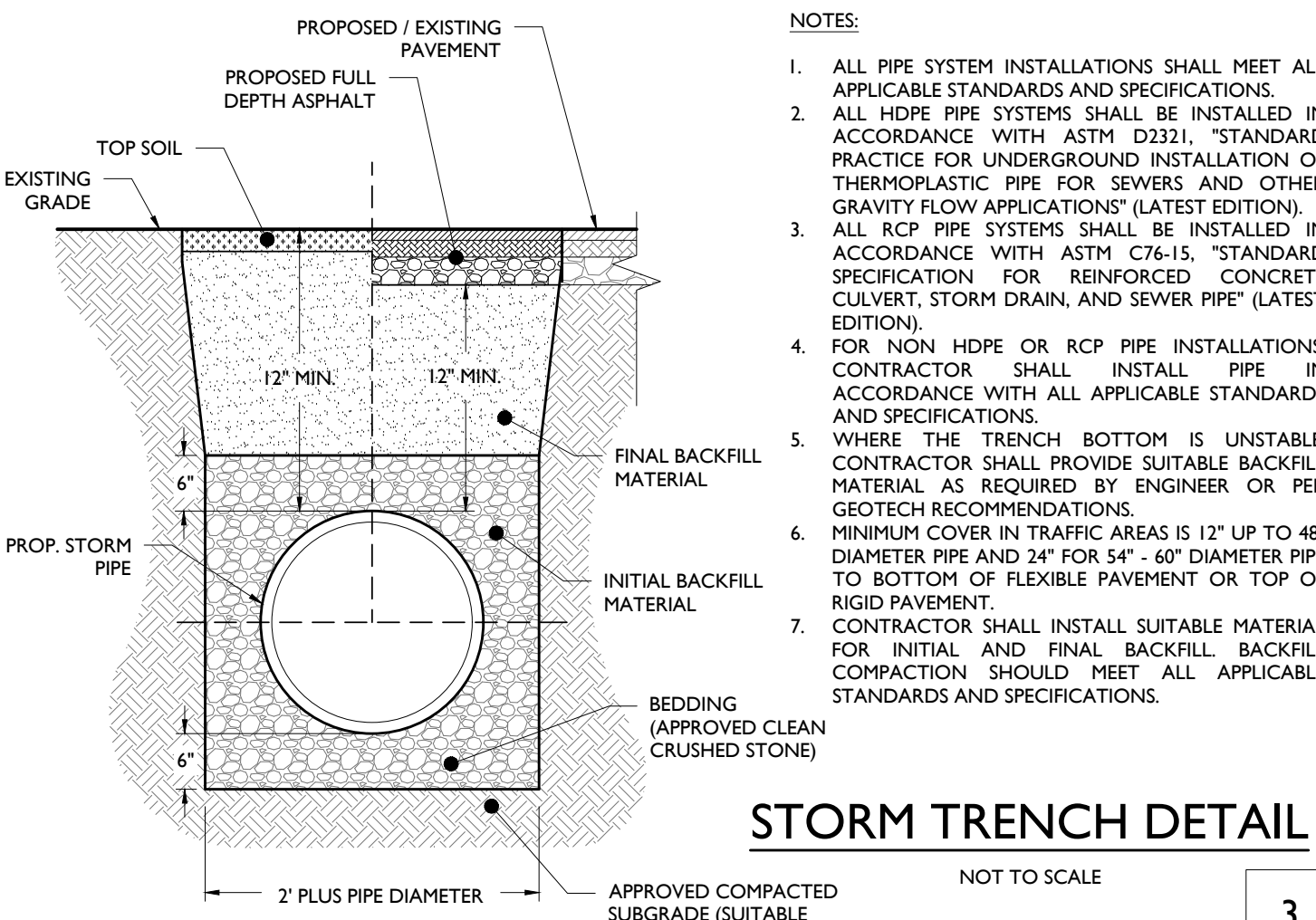
ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE NO. 5374  
 LICENSED PROFESSIONAL ENGINEER



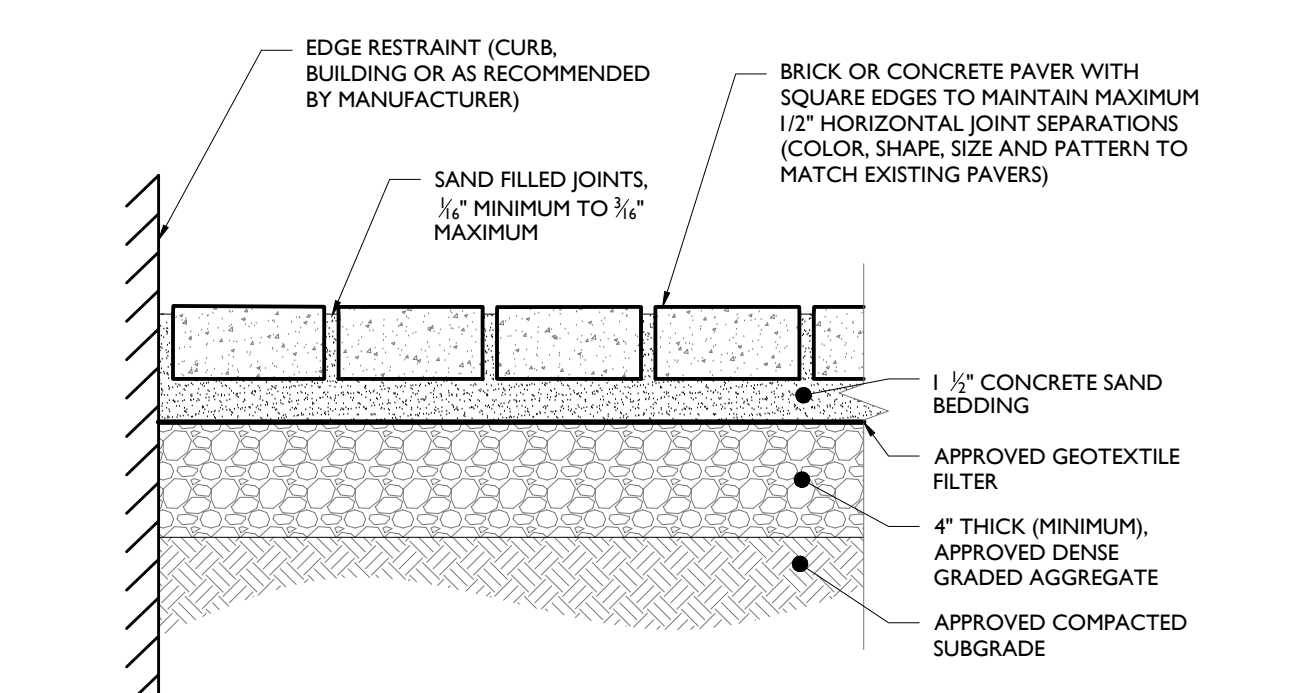
**FULL DEPTH ASPHALT PAVEMENT DETAIL**  
 NOT TO SCALE  
 NOTE: HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



**BOLLARD DETAIL**  
 NOT TO SCALE



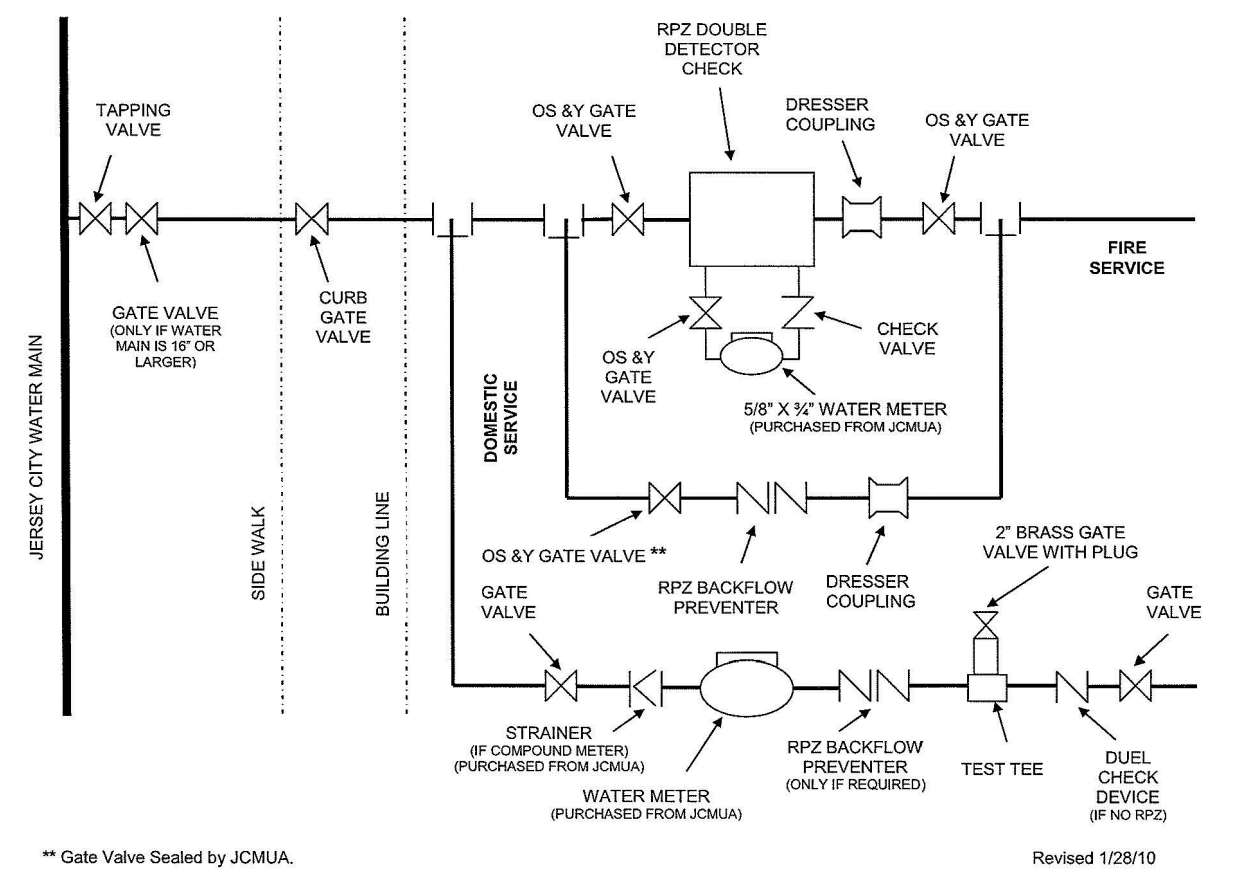
**STORM TRENCH DETAIL**  
 NOT TO SCALE



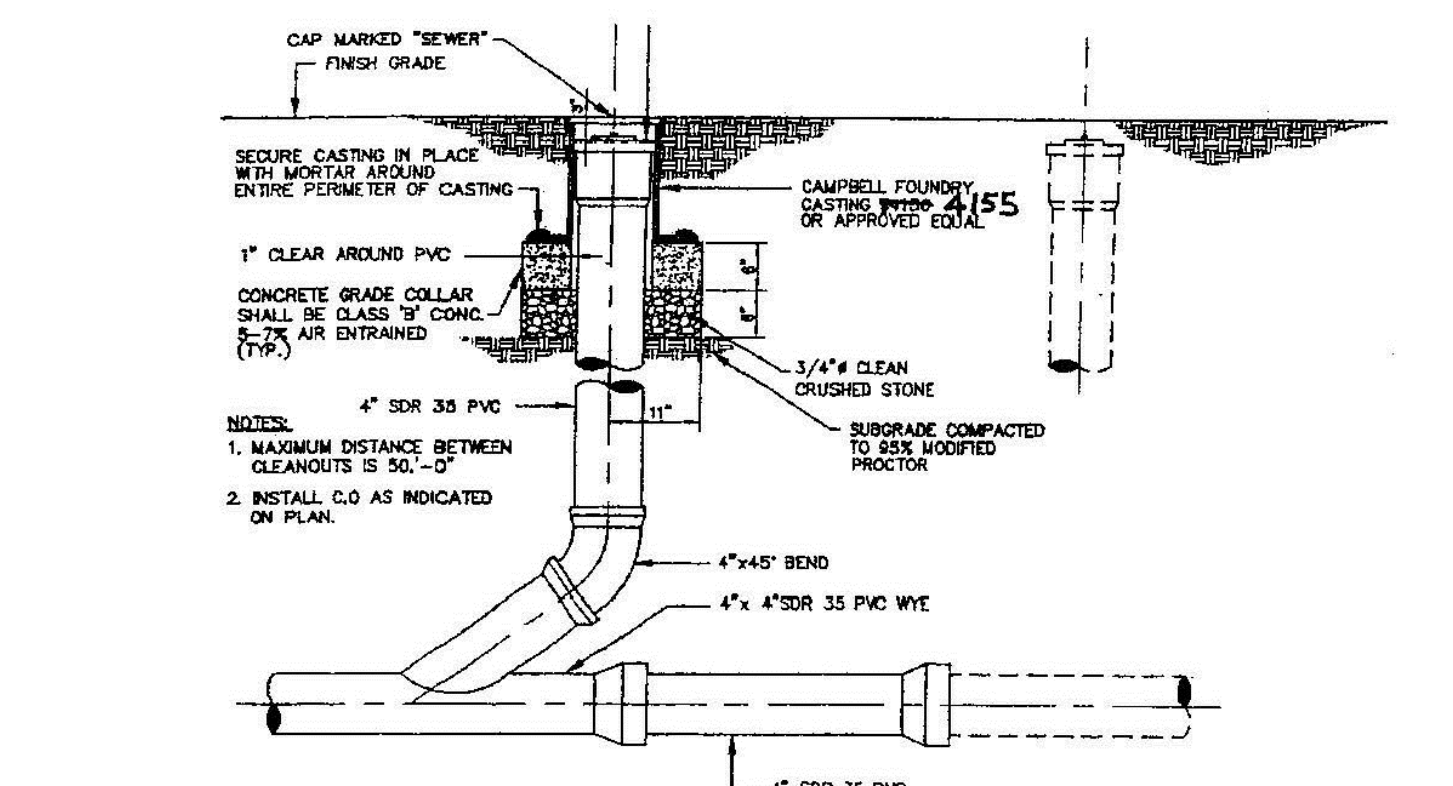
**BRICK PAVER WALKWAY DETAIL**  
 NOT TO SCALE



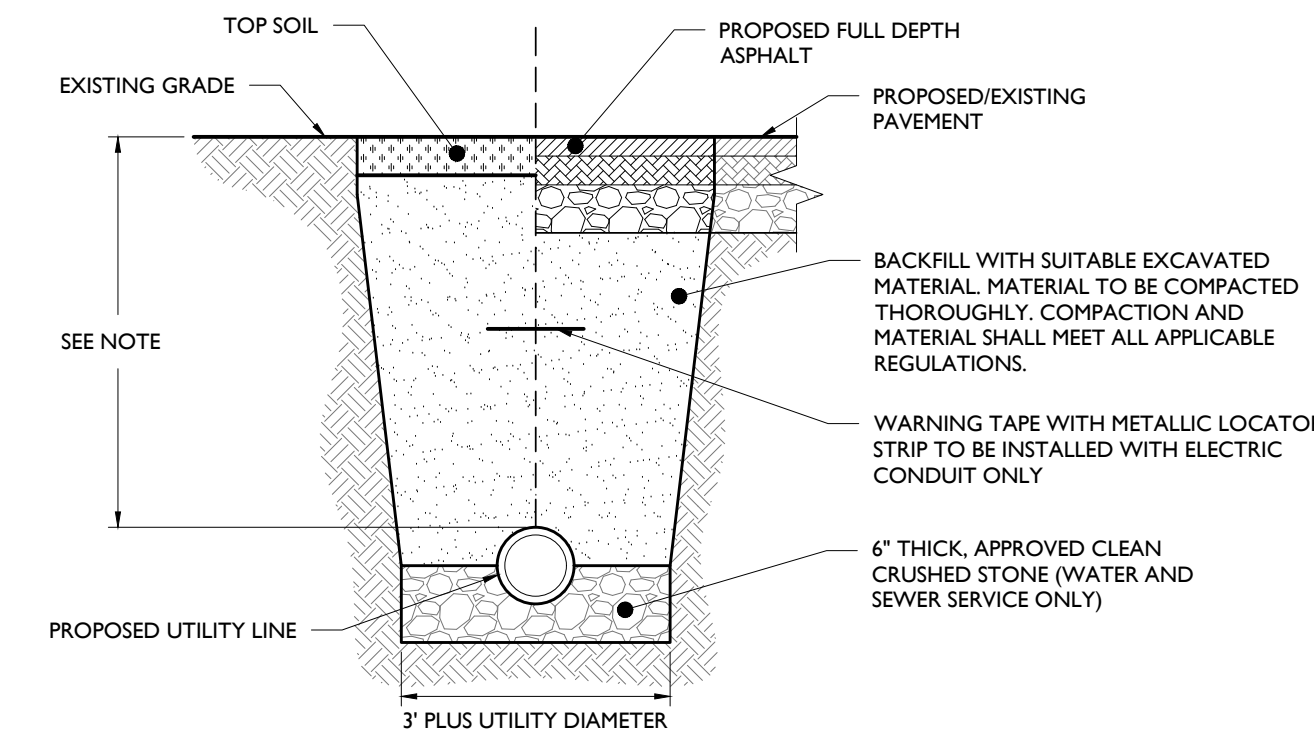
**BIKE RACK DETAILS**  
 NOT TO SCALE  
 CRAFTSMAN HOOK THE VERTICAL BIKE HOOKS FOR VERSATRACK TRACKWALK (OR EQUIVALENT)  
 INTERIOR BIKE RACKS NTS  
 FORMS + SURFACES TWIST BIKE RACK IN ALUMINUM TEXTURE POWDERCOAT  
 EXTERIOR BIKE RACKS NTS



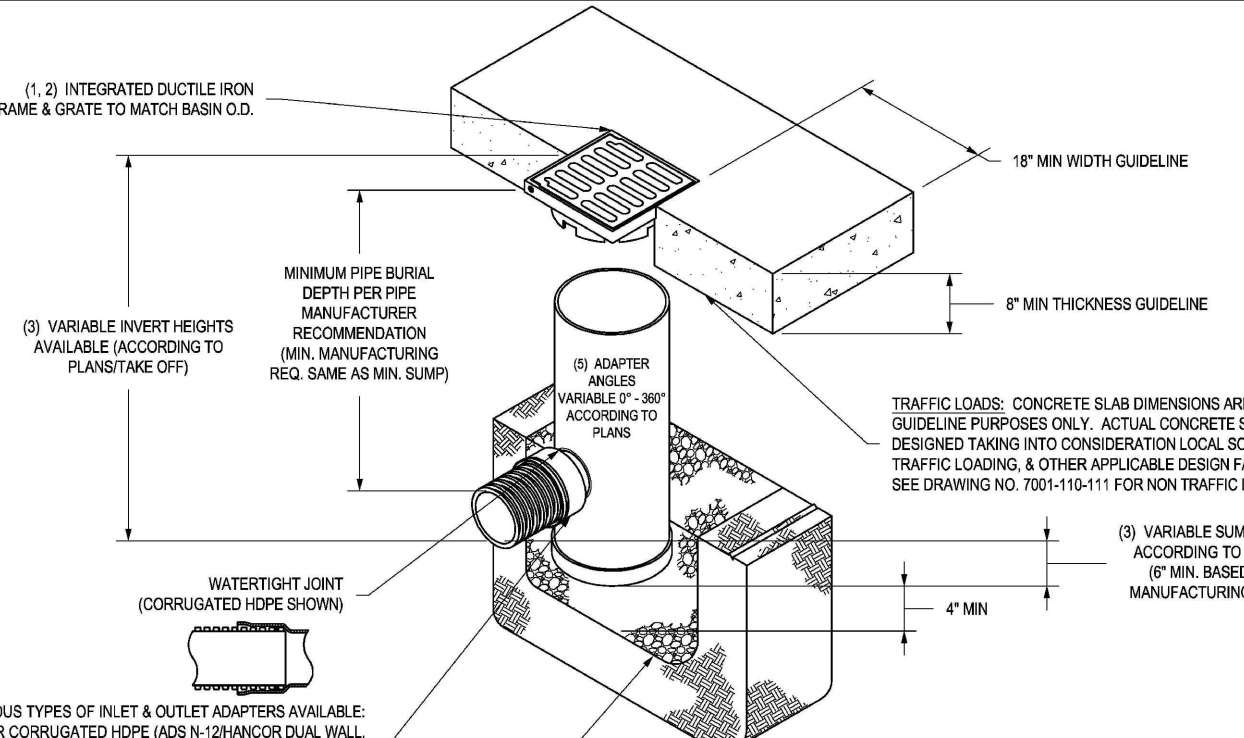
**JCMUA WATER CONNECTION SCHEMATICS**  
 NOT TO SCALE  
 \*\* Gate Valve Sealed by JCMUA.  
 Revised 1/28/10



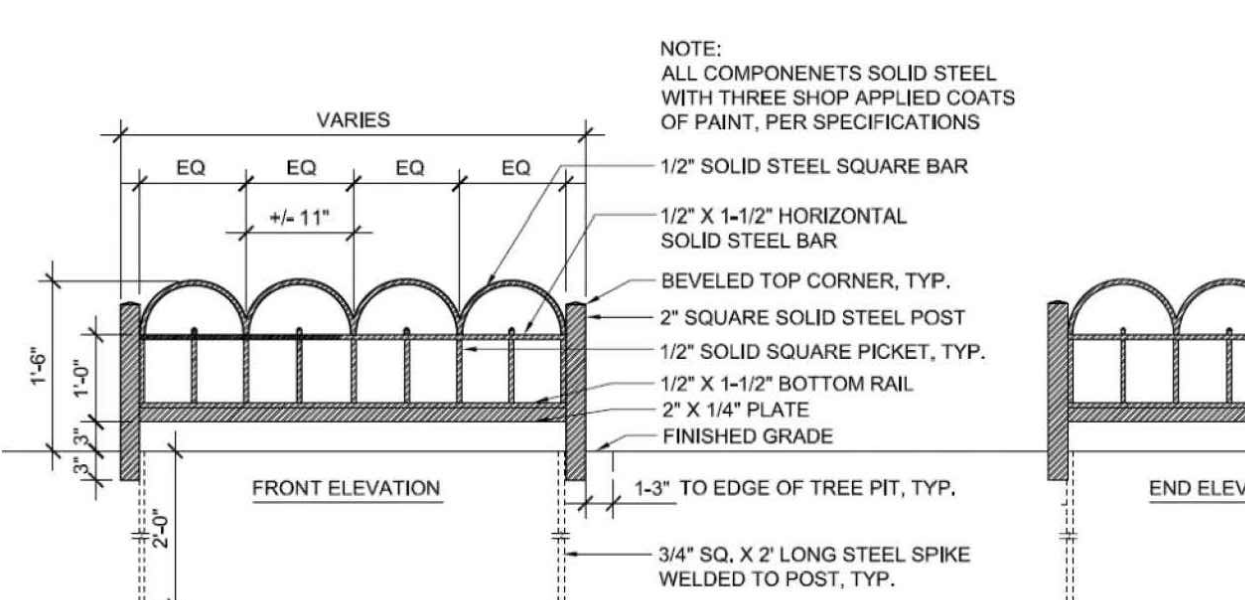
**STANDARD SANITARY CLEANOUT DETAIL**  
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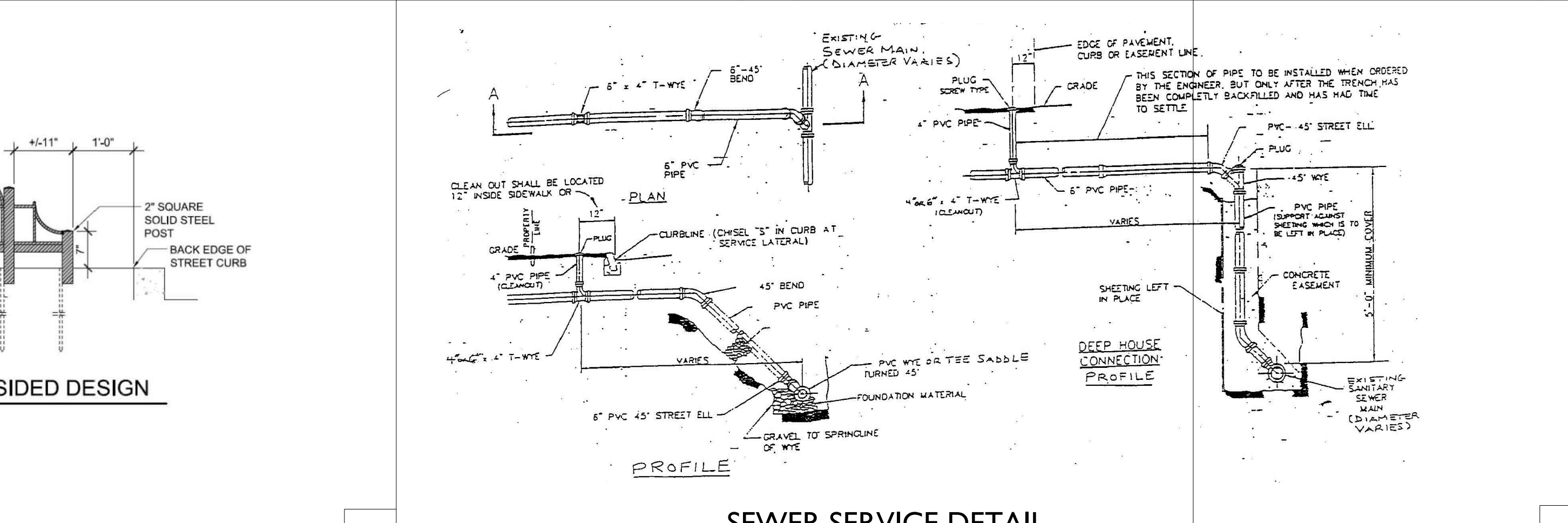
**UTILITY TRENCH DETAIL**  
 NOT TO SCALE  
 NOTE: MINIMUM PIPE COVER SHALL BE AS FOLLOWS:  
 • ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY  
 • GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY  
 • SEWER SERVICE - 36\"/>



**NYLOPLAST 12\"/>
 NOT TO SCALE**



**TREE PIT GUARD TYPE 'A'**  
 NOT TO SCALE  
 NOTE: ALL COMPONENTS SOLID STEEL WITH THREE SHOP APPLIED COATS OF PAINT, PER SPECIFICATIONS  
**TYPE 'A' THREE-SIDED DESIGN**  
 NOT TO SCALE



**SEWER SERVICE DETAIL**  
 NOT TO SCALE

15	01/06/2023	PB RESUBMISSION
14	12/16/2022	JCMUA REVISIONS
13	11/28/2022	FOR BUILDING PERMIT
12	10/31/2022	PSEG REVISION
11	10/05/2022	PER JCMUA COMMENTS
10	08/08/2022	PB RESUBMISSION
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#	Date	Issue

**SUMMIT TOWER**

622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01

Project Description  
 PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
 628 SUMMIT AVE, LLC

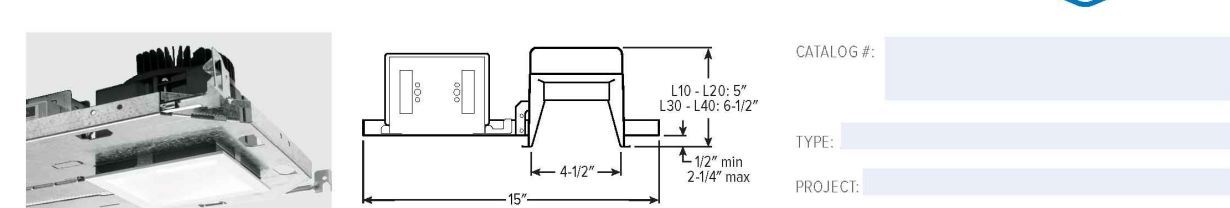
Project Number: T-18276  
 Drawn by: KB  
 Checked by: KB  
 Scale: AS NOTED

Sheet Title  
 CONSTRUCTION DETAILS

Sheet Number



# 4DS LED 4.5" Downlight - Square



NEW CONSTRUCTION AND REMODEL

- Beam angles ranging from 25° narrow to 60° wide for tailored performance
- Die cast trim bezels include flush, recessed or angled fins
- Springy bezel extension system eliminates trim sag
- Industry leading efficiency as high as 97 lm/W
- Fully room-wide accessible

**FEATURES**

- HOUSING - Die cast aluminum trim housing with forged aluminum lens cap. Galvanized steel gasket compartment with drive mounting tabs.
- REFLECTOR - Low reflectance, anodized aluminum with high efficiency.
- LENSED TRIM - Die cast aluminum frame with micro-prismatic, tempered glass lens.
- ELECTRICAL - High performance Class 2 C.O.B. LED array. Modular quick-connect plug-in wire field connection of LED light assembly to driver. Reported 130,000 hours. Reported 100,000 hours.
- MOUNTING - Recessed, 20 gph. galvanized steel mounting pan for new construction or ceiling enclosure. Remodel kit option includes recessed bracket hardware. Minimum 24" C.C. marking spacing required for 140 lumens package.
- LISTINGS - cULe conforms to UL 1787, 508. Certified to CAN/CSA STD C22.2 No. 250 The damp locations. LED light assembly conforms to UL 2108 for remote installation.
- Suitable for wet location under covered ceiling when specified with WE7CIC option.
- C-rated for direct contact with insulation when specified with Mounting Type.
- Class of Change Environment as approved when specified with CP option.
- Complies with ASTM E233 when specified with AH option.
- RoHS compliant.
- Trim 24 (LM) compliant in select configurations, see [www.cammanlighting.com/energy-gpa](#).
- BIOSHIFT™ - Equal ambient, see [www.cammanlighting.com/energy-gpa](#).

**ORDERING EXAMPLE: 4DS-LQ835-OPTIONS-DIM-UNV-UF-OF-WH-TRIM-OPTIONS-N-F1**

HOUSING: DIM: UNV: UF: OF: WH: TRIM: OPTIONS: N: F1

SERIES	LUMENS*	CRI	CCT	OPTIONS	CONTROL**	VOLTAGE
4DS	1000lm	90	3000K	ATH	UNV	120/277V
	2,000lm	90	3000K	SDT	DM1	120/277V
	2,000lm	90	3000K	CP	DM1	120/277V
	4,000lm	90	3000K	CP	DM1	120/277V

**TRIM TYPE**

TRIM TYPE	DISTRIBUTION	FLANGE TYPE	REFLECTOR FINISH	TRIM OPTIONS
1	1	1	1	1
2	2	2	2	2
3	3	3	3	3
4	4	4	4	4
5	5	5	5	5
6	6	6	6	6
7	7	7	7	7
8	8	8	8	8
9	9	9	9	9
10	10	10	10	10
11	11	11	11	11
12	12	12	12	12
13	13	13	13	13
14	14	14	14	14
15	15	15	15	15
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42	42	42	42	42
43	43	43	43	43
44	44	44	44	44
45	45	45	45	45
46	46	46	46	46
47	47	47	47	47
48	48	48	48	48
49	49	49	49	49
50	50	50	50	50

**NOTES**

- Lumen output based on L trim type, W distribution and B reflector finish. Actual lumen may vary +/-5%, see page 2 for FUTURE PERFORMANCE DATA.
- See page 3 for ADDITIONAL CONTROL OPTIONS.
- 2 and 4 trim types require mounting hardware factory for availability.
- May be used for in-line construction only. See page 2 for FLANGE TYPE DETAILS. Not available with ATH or CP options.
- Not available with WH Reflector Finish or T Trim Type.
- Not available with AH or CP options.
- Not available with DM1 or DM2 options.
- Not available with DM3 or DM4 options.
- Not available with DM5 or DM6 options.
- Not available with DM7 or DM8 options.
- Not available with DM9 or DM10 options.
- Not available with DM11 or DM12 options.
- Not available with DM13 or DM14 options.
- Not available with DM15 or DM16 options.
- Not available with DM17 or DM18 options.
- Not available with DM19 or DM20 options.
- Not available with DM21 or DM22 options.
- Not available with DM23 or DM24 options.
- Not available with DM25 or DM26 options.
- Not available with DM27 or DM28 options.
- Not available with DM29 or DM30 options.
- Not available with DM31 or DM32 options.
- Not available with DM33 or DM34 options.
- Not available with DM35 or DM36 options.
- Not available with DM37 or DM38 options.
- Not available with DM39 or DM40 options.
- Not available with DM41 or DM42 options.
- Not available with DM43 or DM44 options.
- Not available with DM45 or DM46 options.
- Not available with DM47 or DM48 options.
- Not available with DM49 or DM50 options.

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Fixture Number	Project Title	Type	Qty



## OW610 | Carlisle

- Metal Body with Indirect Lighting
- ADA
- Wet Location

**Dimensions and Lamping:**

OW610-24	2.75" x 24" x 3" D x 1.1" MC	Weight: 7 lbs.
LN	LED: Nominal 20W, 1400 Delivered Lumens	
OW610-36	2.75" x 36" x 3" D x 1.1" MC	Weight: 8.5 lbs.
LN	LED: Nominal 30W, 2400 Delivered Lumens	
OW610-48	2.75" x 48" x 3" D x 2.4" MC	Weight: 10 lbs.
LN	LED: Nominal 40W, 3400 Delivered Lumens	
OW610-60	2.75" x 60" x 3" D x 3.0" MC	Weight: 11.5 lbs.
LN	LED: Nominal 50W, 4400 Delivered Lumens	

**LED Color Temperature:**

35K	3500K	30K	3000K	40K	4000K
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**Control:**

CLV: Integral Power Supply, 0-10V Dimming to 1%

**Voltage:**

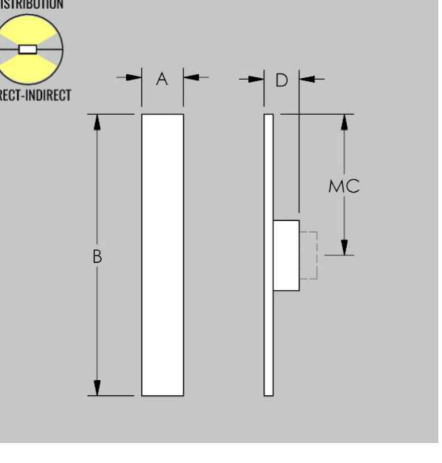
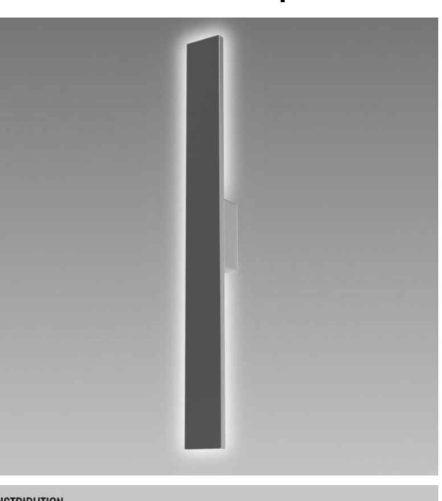
1	120V	2	277V	MV	Multi-Volt
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**Standard Finishes:**

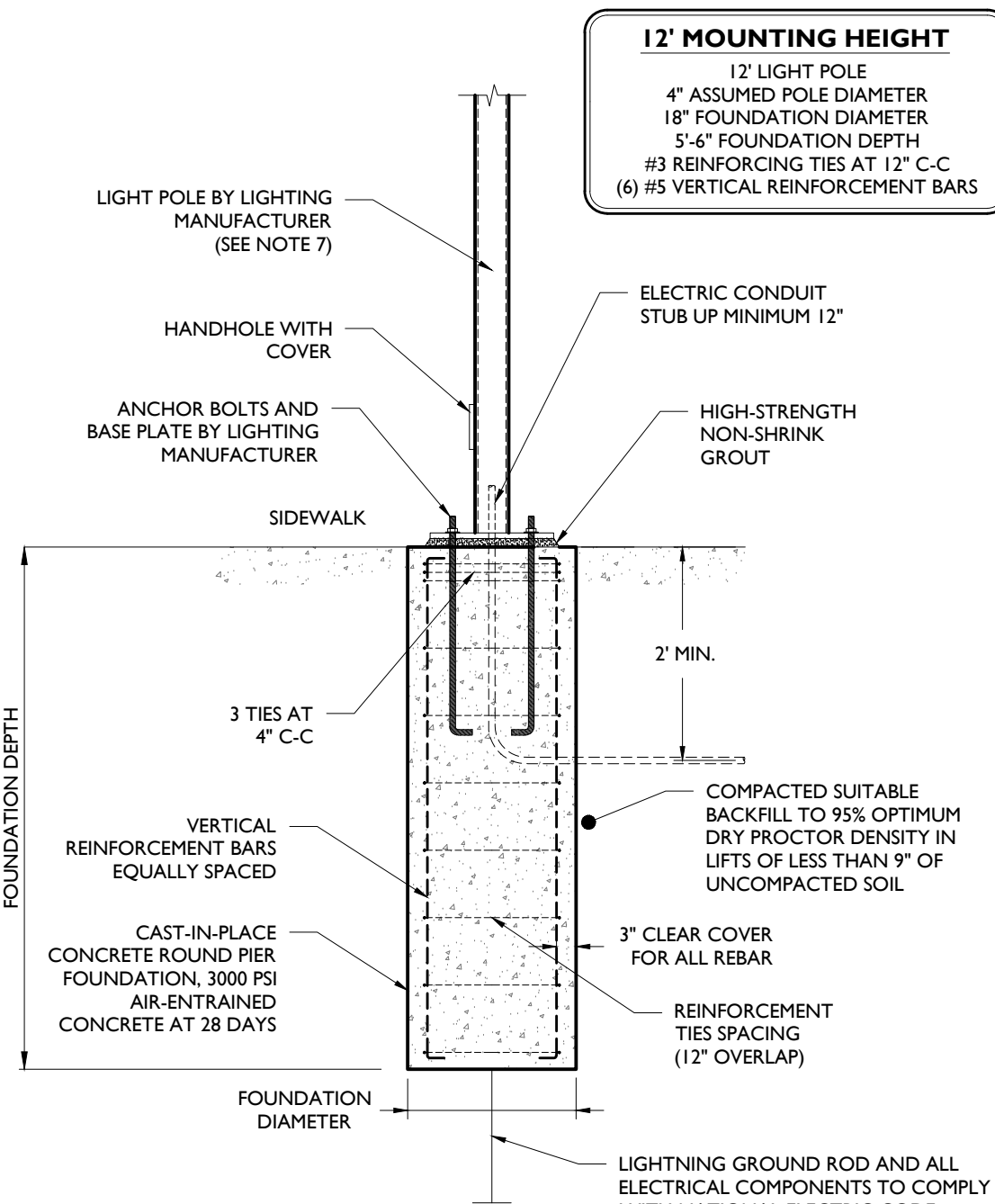
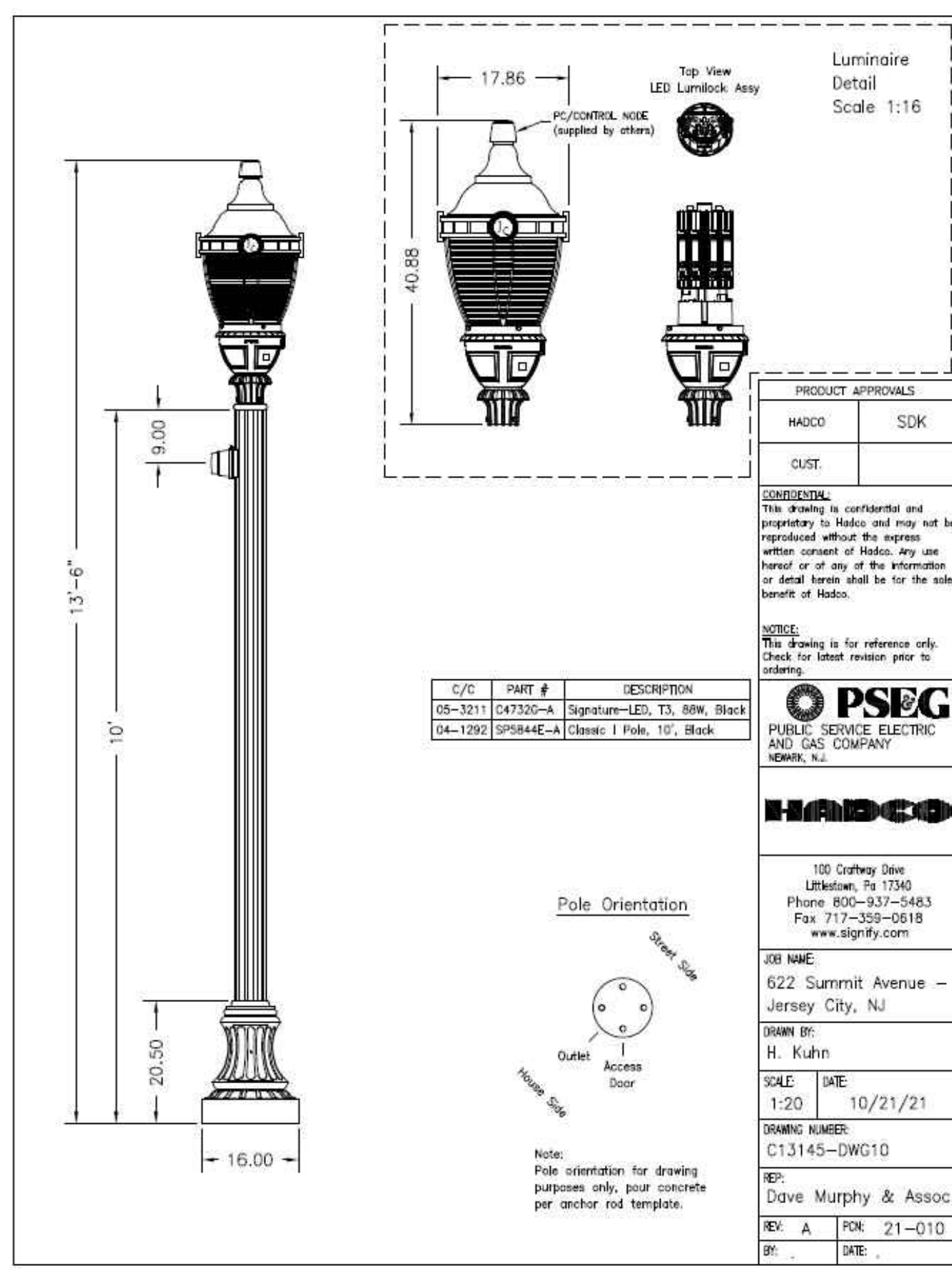
FINISH	DESCRIPTION	FINISH	DESCRIPTION
PAL	Aluminum	PSB	Satin Black
PNL	Nickel	PSB	Brushed Brass
PBR	Brass	PSB	Antique Brass
PLB	Light Bronze	PSB	Hammered Brass
PMB	Medium Bronze	PSB	Hammered Copper
PDB	Dark Bronze	PSB	Hammered Silver
PFB	Oil Rubbed Bronze	PSG	Satin Gold
PFW	Matte White	PPA	Patina
PRD	Traffic Red (RAL 3003)	POR	Pure Orange (RAL 2004)
PYL	Traffic Yellow (RAL 2003)	PGR	Emerald Green (RAL 6001)
PBL	Signal Blue (RAL 5005)	STB	To Be Determined

**Other Options:**

REM: Remote Emergency Power Supply



- Custom sizes and finishes available upon request.
- Camman reserves the right to make design changes without prior notice.
- Mounting is for a 2 x 4 inch rectangular junction box.
- Photometric information is available at [cammanlighting.com](#)



## LIGHT POLE INSTALLATION DETAIL

- NOT TO SCALE
- NOTES:**
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF. SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
  - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
  - ALL REBAR TO BE NEW GRADE 60 STEEL.
  - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
  - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
  - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
  - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSI/ASCE 7-93.
  - POUR TO BE TERMINATED AT A FORM.
  - WORK SHALL CONFORM TO ALL BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
  - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

## LIGHT FIXTURE TYPE 'A' DETAILS

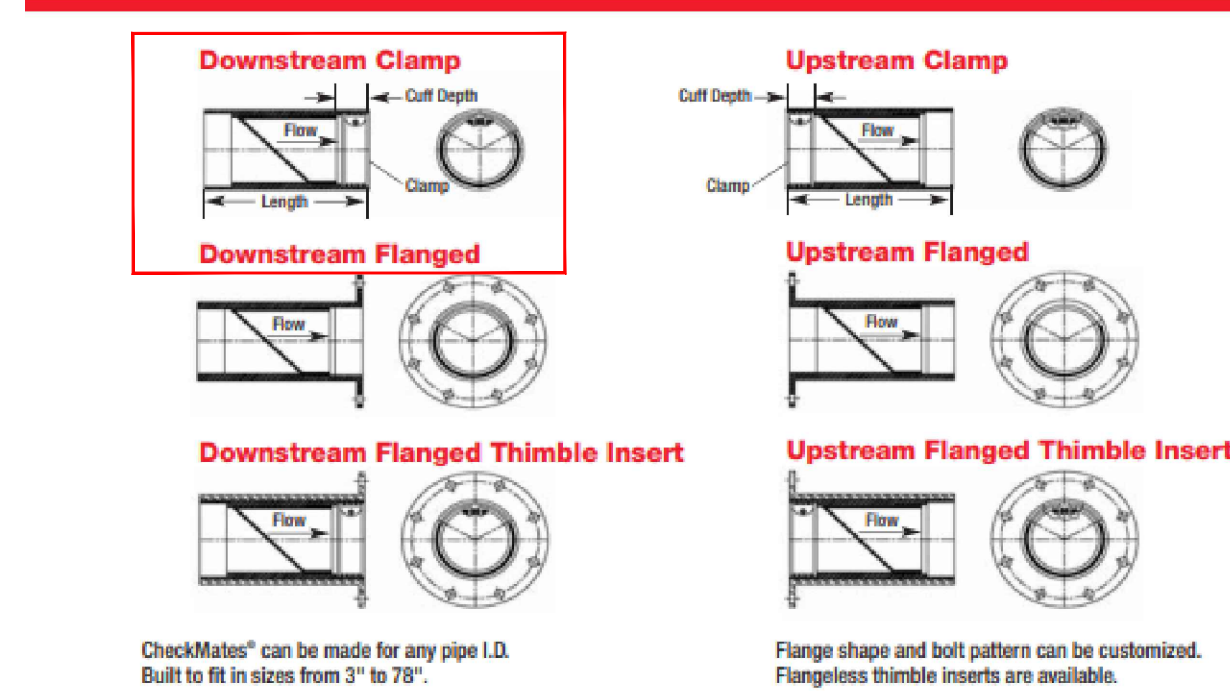
NOT TO SCALE

## LIGHT FIXTURE TYPE 'B' DETAILS

NOT TO SCALE

## CITY OF JERSEY CITY TYPE 'C' LIGHT DETAIL

NOT TO SCALE



CheckMate® can be made for any pipe I.D. Built to fit in sizes from 3" to 78".

Flange shape and bolt pattern can be customized. Flangeless thimble inserts are available.

NOMINAL PIPE SIZE I.D.	OVERALL LENGTH		NUMBER OF CLAMPS	GIRTH	BACK PRESSURE RATING		WEIGHT		
	Inches	Millimeters			Inches	Millimeters		Feet	Meters
3	75	5.1	130	1	1.5	38	5	1.5	0.7
4	100	7.9	201	1	1.5	38	5	1.5	0.7
3	75	5.1	130	1	1.5	38	85	26.0	3
4	100	7.9	201	1	1.5	38	85	26.0	3
5	125	8.5	241	1	1.5	38	83	25.3	2
6	150	11.0	279	1	2.0	51	83	25.3	9
7	175	12.8	325	1	2.0	51	79	24.1	11
8	200	14.6	363	1	2.0	51	79	24.1	13
9	225	15.4	391	1	2.0	51	75	22.9	17
10	250	16.1	409	1	2.0	51	71	21.6	20
12	300	19.8	493	1	2.0	51	68	20.1	27
14	350	25.8	655	1	4.0	102	54	20.0	110
16	400	28.6	726	1	4.0	102	60	18.3	133
18	450	31.0	787	1	4.0	102	66	17.1	143
20	500	42.1	1099	2	8.0	203	53	16.2	223
24	600	47.5	1207	2	8.0	203	45	13.7	304
30	750	54.9	1396	2	8.0	203	38	11.6	500
36	900	62.3	1582	2	8.0	203	30	9.1	828
42	1050	70.6	1783	2	8.0	203	26	7.9	1423
48	1200	79.0	2007	2	8.0	203	23	7.0	1881
54	1350	86.4	2196	2	8.0	203	17	5.2	2700
60	1500	96.8	2499	2	8.0	229	15	4.6	3315
72	1800	119.0	3023	3	12.0	305	13	4.0	6160
78	1950	119.0	3023	3	12.0	305	13	4.0	7000

\* Shorter lengths available.

\*\* Back pressure measured from pipe inlet.

\*\*\* Higher back pressure ratings available. Consult factory.

## INLINE CHECKMATE ULTRAFLEX CHECK VALVE DETAIL

NOT TO SCALE

## 'PURPLE-ROOF CONCEPT' GREEN ROOF WITH DETENTION

NOT TO SCALE

## 'PURPLE-ROOF CONCEPT' DETENTION PAVER

NOT TO SCALE

## 'PURPLE-ROOF CONCEPT' CONDITIONAL DETAILS

NOT TO SCALE

SEAL

Frank J. Minervini, AIA  
NJ License # 12576  
NJ License # 03-0297-63

Anthony C. Vandermark, Jr. AIA  
NJ License # 17698  
NJ License # 32710-1

Adrian Mella, AIA  
NJ License # 18738

Claran Kelly, AIA  
NJ License # 18864



Arthur Kujan, P.E.  
NEW JERSEY LICENSE NO. 5374  
LICENSED PROFESSIONAL ENGINEER

15	01/06/2023	PB RESUBMISSION
14	12/16/2022	JCMJUA REVISIONS
13	11/28/2022	FOR BUILDING PERMIT
12	10/31/2022	PSEG REVISION
11	10/05/2022	PER JCMJUA COMMENTS
10	08/08/2022	PB RESUBMISSION
9	07/20/2022	REVISED DRAINAGE
8	04/20/2022	AMENDED FINAL SITE PLAN
7	05/12/2022	REVISED GRADING
6	04/22/2022	JCMJUA REVISIONS
5	03/23/2022	JCMJUA REVISIONS
4	09/03/2021	ISSUED FOR BID
3	07/02/2021	CD 90%
2	06/07/2021	CD 75%
1	04/09/2021	CD 50%
#	Date	Issue

## SUMMIT TOWER

622-628 SUMMIT AVE  
JERSEY CITY, NEW JERSEY 07306  
BLOCK 6701, LOT 21.01

Project Description  
PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
628 SUMMIT AVE, LLC

Project Number : T-18276  
Drawn by : KB  
Checked by : KB  
Scale : As Noted

Sheet Title  
CONSTRUCTION DETAILS

Sheet Number

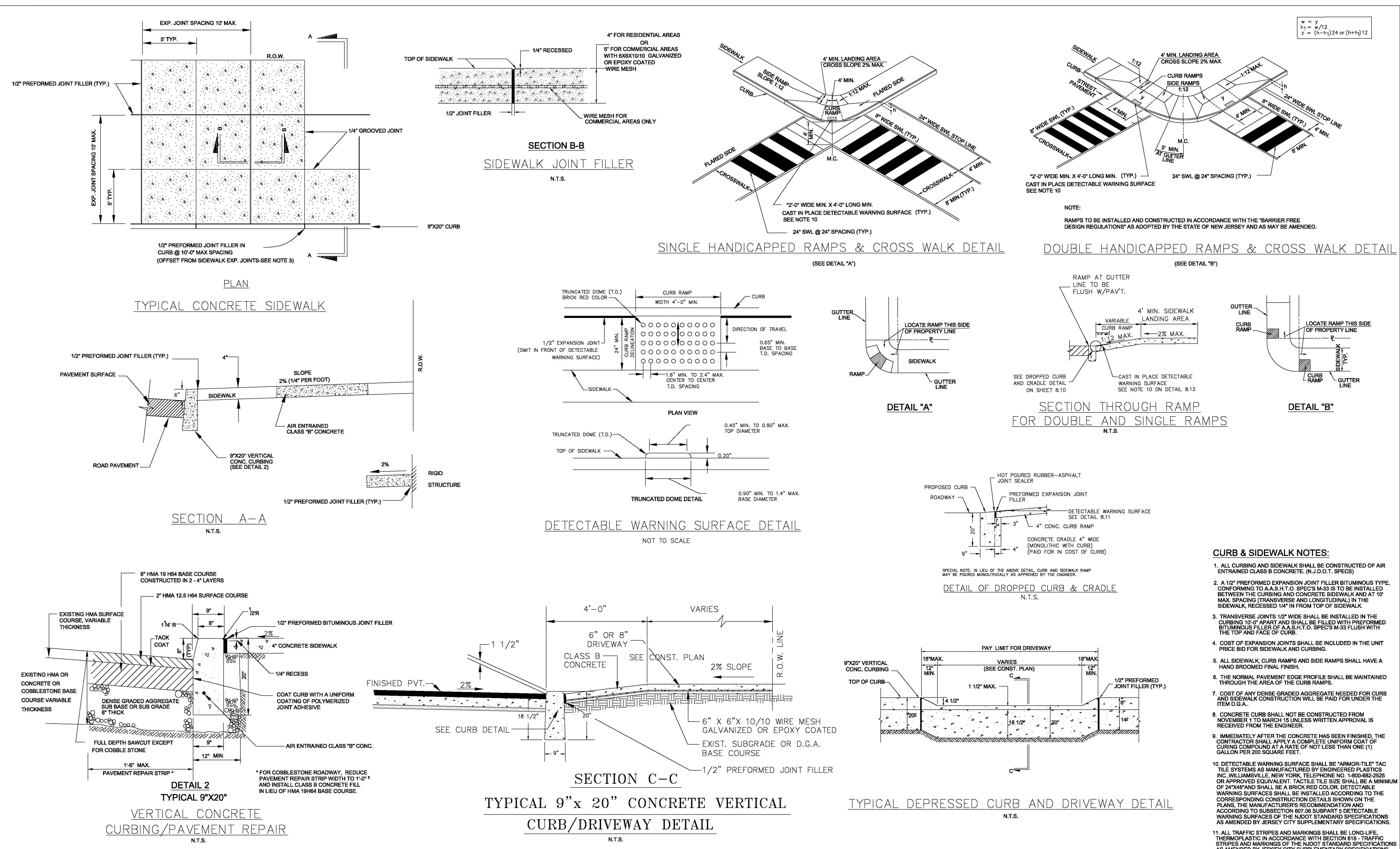
C-14



SEAL  
 Frank J. Minervini, AIA  
 NJ License # 12576  
 NY License # 03-0297-63  
 Anthony C. Vandermark, Jr. AIA  
 NJ License # 17698  
 NY License # 32710-1  
 Adrian Mella, AIA  
 NJ License # 18738  
 Claran Kelly, AIA  
 NJ License # 18864

**STONEFIELD**  
 engineering & design  
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 Princeton, NJ • Tampa, FL • Denver, CO  
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 Phone: 201-346-6668 • Fax: 201-346-6672

ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE NO. 5374  
 LICENSED PROFESSIONAL ENGINEER



- CURB & SIDEWALK NOTES:**
1. ALL CURBING AND SIDEWALK SHALL BE CONSTRUCTED OF AIR ENTRAINED CLASS B CONCRETE. (N.J.D.O.T. SPECS)
  2. A 1/2" PREFORMED EXPANSION JOINT FILLER BITUMINOUS TYPE, CONFORMING TO A.A.S.H.T.O. SPECS M-33 IS TO BE INSTALLED BETWEEN THE CURBING AND CONCRETE SIDEWALK AND AT 10' MAX. SPACING (TRANSVERSE AND LONGITUDINAL) IN THE SIDEWALK, RECESSED 1/4" IN FROM TOP OF SIDEWALK.
  3. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURBING 10'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS FILLER OF A.A.S.H.T.O. SPECS M-33 FLUSH WITH THE TOP AND FACE OF CURB.
  4. COST OF EXPANSION JOINTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR SIDEWALK AND CURBING.
  5. ALL SIDEWALK, CURB RAMPS AND SIDE RAMPS SHALL HAVE A HAND BROOMED FINAL FINISH.
  6. THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE CURB RAMPS.
  7. COST OF ANY DENSE GRADED AGGREGATE NEEDED FOR CURB AND SIDEWALK CONSTRUCTION WILL BE PAID FOR UNDER THE ITEM D.G.A.
  8. CONCRETE CURB SHALL NOT BE CONSTRUCTED FROM NOVEMBER 1 TO MARCH 15 UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE ENGINEER.
  9. IMMEDIATELY AFTER THE CONCRETE HAS BEEN FINISHED, THE CONTRACTOR SHALL APPLY A COMPLETE UNIFORM COAT OF CURING COMPOUND AT A RATE OF NOT LESS THAN ONE (1) GALLON PER 200 SQUARE FEET.
  10. DETECTABLE WARNING SURFACE SHALL BE "ARMOR-TILE" TAC TILE SYSTEMS AS MANUFACTURED BY ENGINEERED PLASTICS INC., WILLIAMSVILLE, NEW YORK, TELEPHONE NO. 1-800-862-2625 OR APPROVED EQUIVALENT. TACTILE TILE SIZE SHALL BE A MINIMUM OF 24"x48" AND SHALL BE A BRICK RED COLOR. DETECTABLE WARNING SURFACES SHALL BE INSTALLED ACCORDING TO THE CORRESPONDING CONSTRUCTION DETAILS SHOWN ON THE PLANS. THE MANUFACTURER'S RECOMMENDATION AND ACCORDING TO SUBSECTION 607.06 SUBPART 5 DETECTABLE WARNING SURFACES OF THE NCDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.
  11. ALL TRAFFIC STRIPES AND MARKINGS SHALL BE LONG-LIFE, THERMOPLASTIC IN ACCORDANCE WITH SECTION 818 - TRAFFIC STRIPES AND MARKINGS OF THE NCDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.

**City of Jersey City**  
 Division of Architecture, Engineering,  
 Traffic and Transportation  
 13-15 LINDEN AVE. EAST  
 JERSEY CITY, NEW JERSEY 07305  
 (201) 547-4412



NO.	REVISIONS	DATE
2	Director Name Changed	6/10
1	Extensive Changes Made	7/09

CITY OF JERSEY CITY  
**STANDARDS**

NO.	REVISIONS	DATE

DRAWING

**Curb and Sidewalk**

SHEET

7/17

Date

PROJECT NO. CADD FILE SCALE

DRAWN BY DESIGNED BY CHECKED BY

Date	Issue
15/01/06/2023	PB RESUBMISSION
14/12/16/2022	JCM/JUA REVISIONS
13/11/28/2022	FOR BUILDING PERMIT
12/10/31/2022	PSEC REVISION
11/10/05/2022	PER JCM/JUA COMMENTS
10/08/08/2022	PB RESUBMISSION
9/07/20/2022	REVISED DRAINAGE AMENDED FINAL SITE PLAN
8/04/20/2022	AMENDED FINAL SITE PLAN
7/05/12/2022	REVISED GRADING
6/04/22/2022	JCM/JUA REVISIONS
5/03/23/2022	JCM/JUA REVISIONS
4/09/03/2021	ISSUED FOR BID
3/07/02/2021	CD 90%
2/06/07/2021	CD 75%
1/04/09/2021	CD 50%

**SUMMIT TOWER**

622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01  
 Project Description  
 PROPOSED NEW MIXED USE  
 BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
 628 SUMMIT AVE, LLC

Project Number: T-18276  
 Drawn by: KB  
 Checked by: KB  
 Scale: As Noted

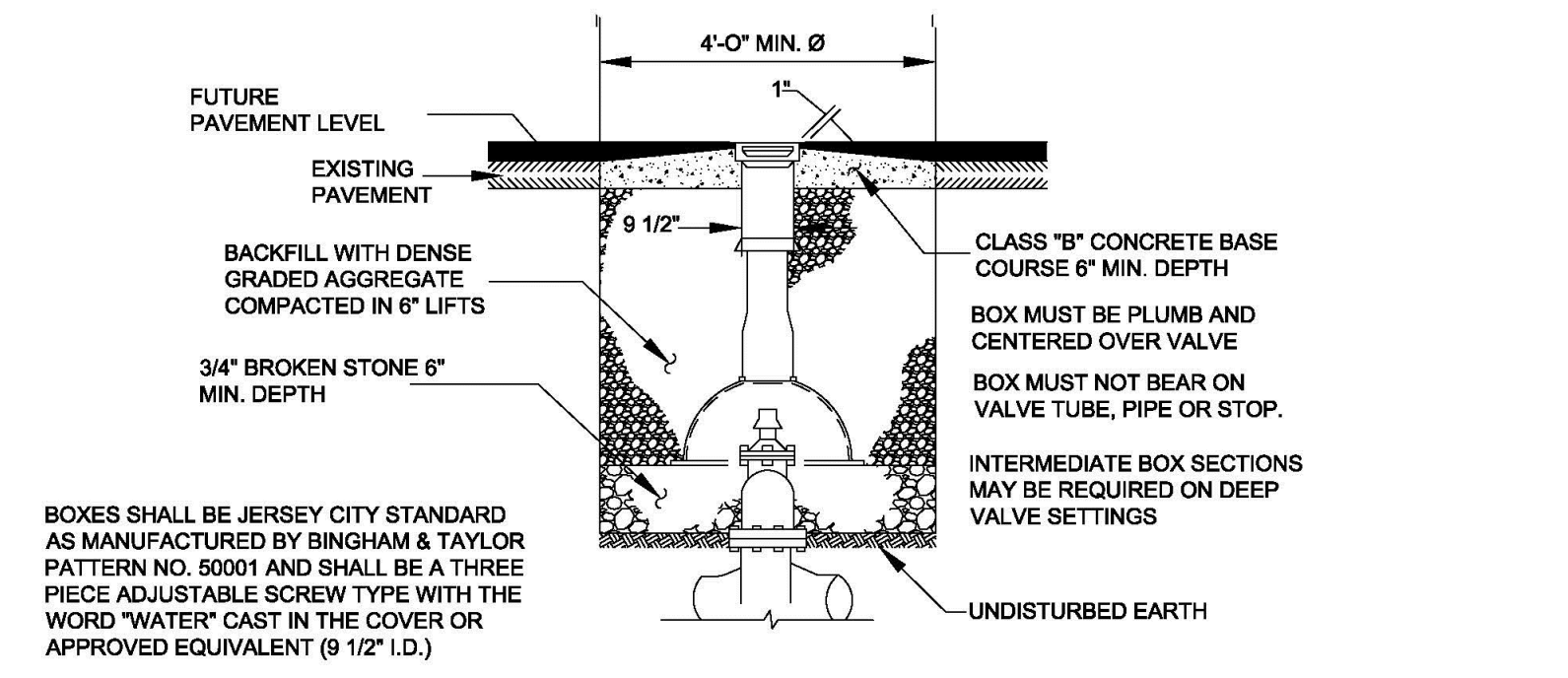
Sheet Title  
 CONSTRUCTION DETAILS



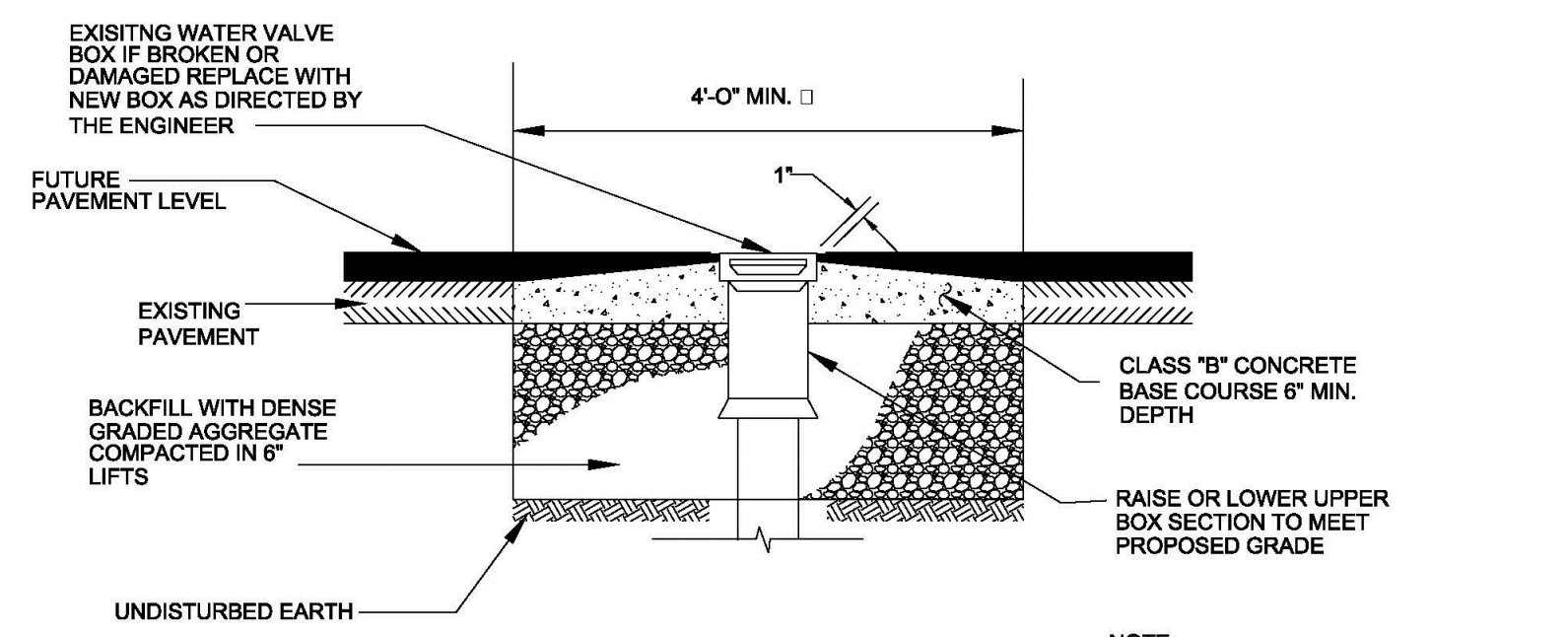
SEAL  
 Frank J. Minervini, AIA  
 NJ License # 12576  
 NY License # 03-0297-63  
 Anthony C. Vandermark, Jr. AIA  
 NJ License # 17699  
 NY License # 32710-1  
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 NJ License # 18864

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 Phone 201-946-6668 Fax 201-946-6672

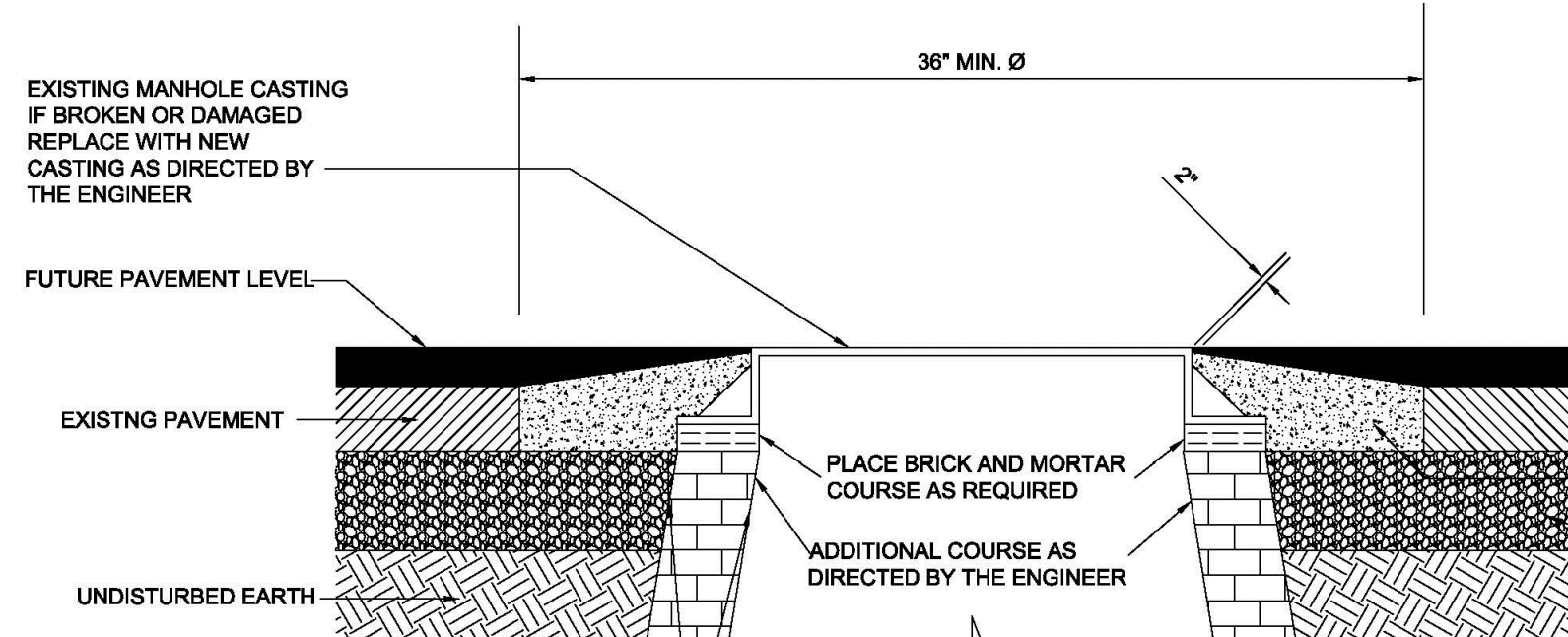
ARTHUR KUYAN, P.E.  
 NEW JERSEY LICENSE No. 53741  
 LICENSED PROFESSIONAL ENGINEER



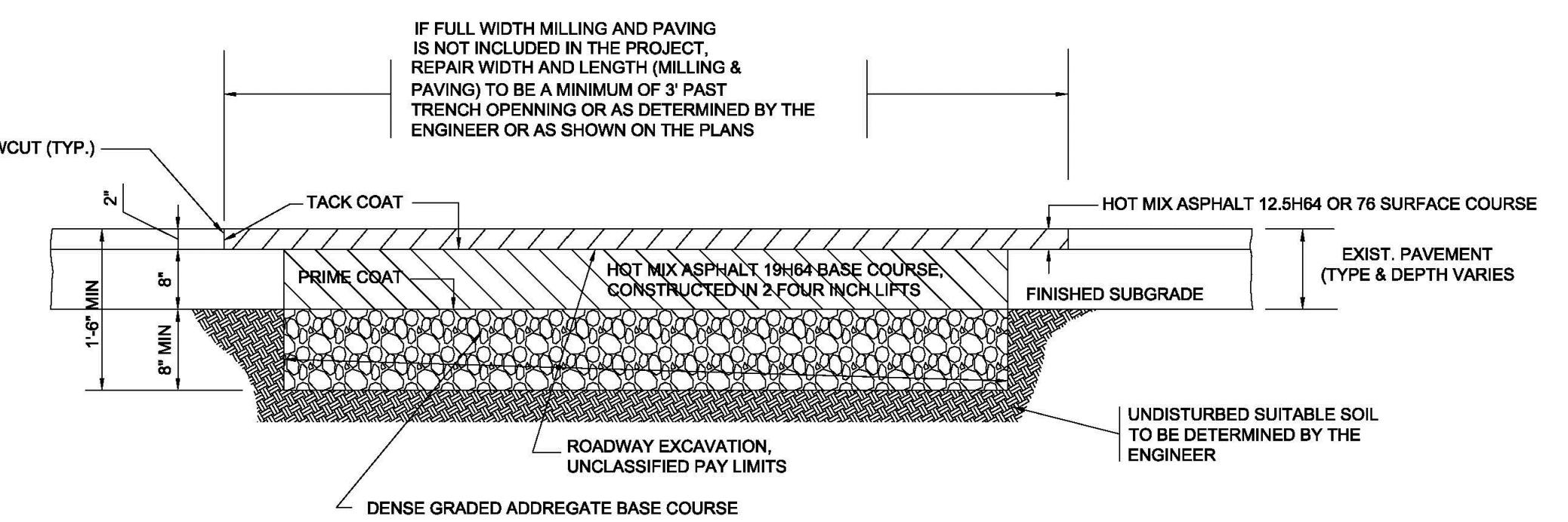
**NEW WATER VALVE BOX DETAIL**  
 N.T.S.



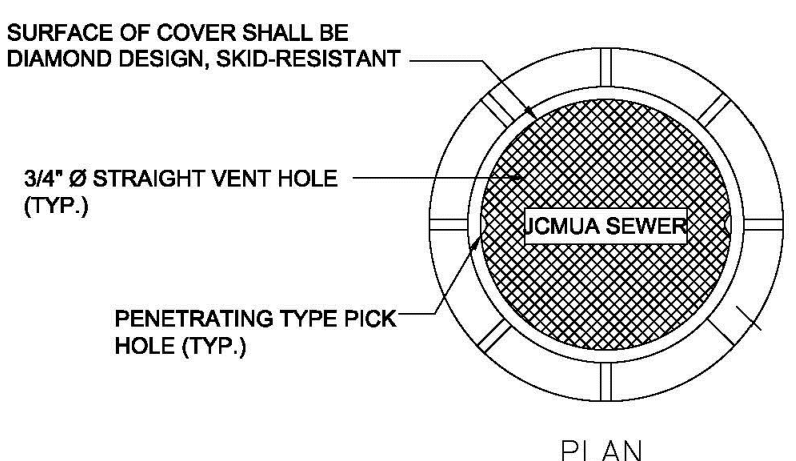
**RESET WATER VALVE BOX**  
 N.T.S.



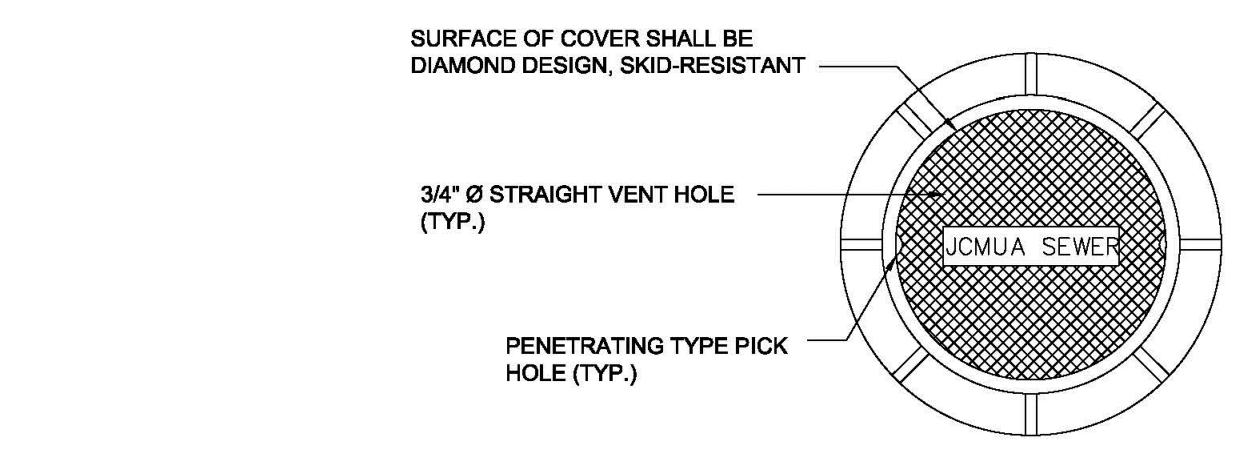
**RESET MANHOLE CASTING**  
 N.T.S.



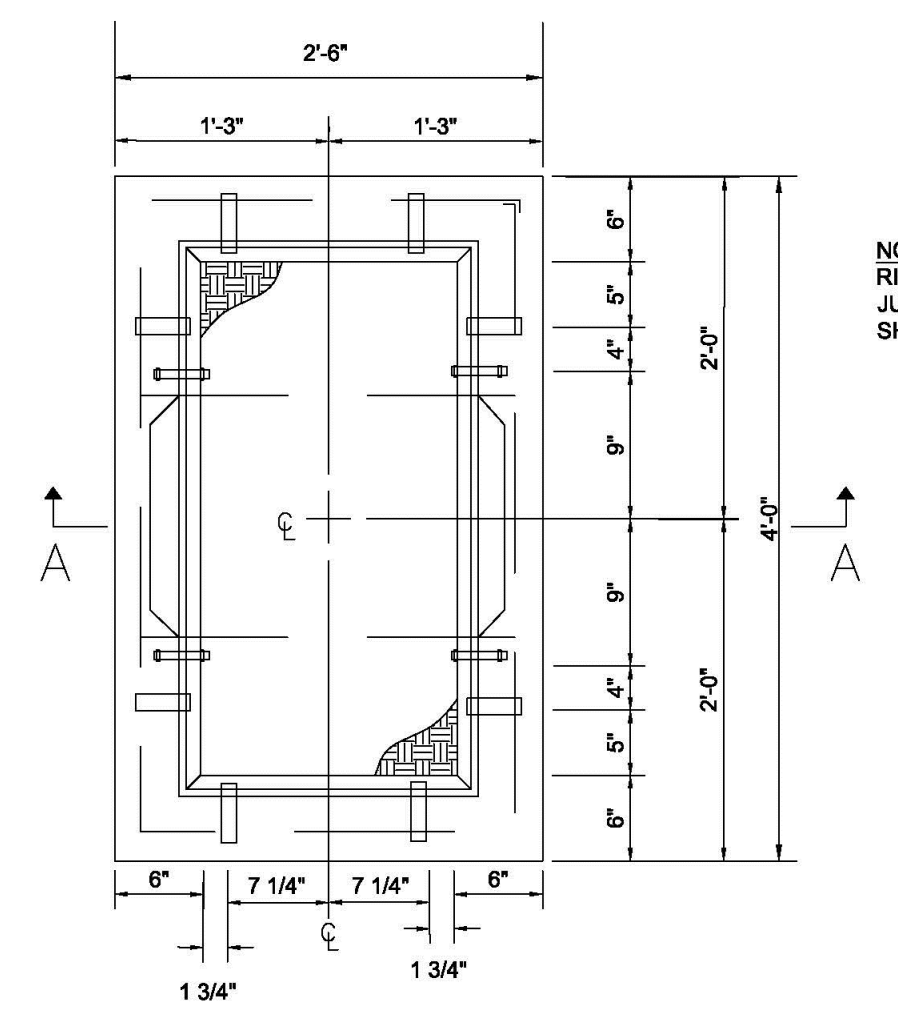
**HOT MIX ASPHALT PAVEMENT REPAIR**  
 N.T.S.



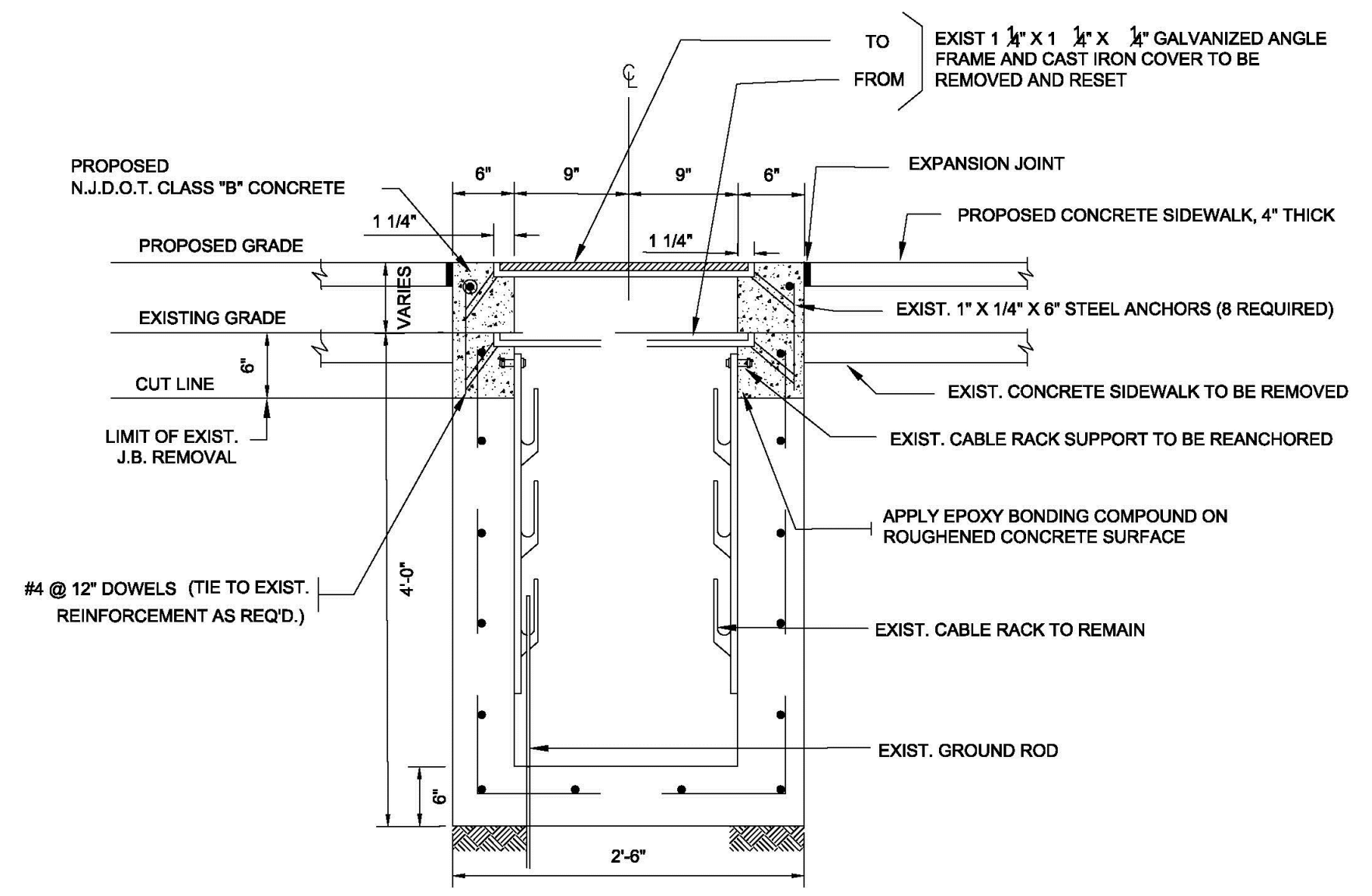
**STANDARD J.C.M.U.A. MANHOLE FRAME AND COVER**  
 (FOR EXISTING MANHOLE CASTING REPLACEMENT ON MANHOLES WITH 24" OPENING)  
 N.T.S.



**STANDARD J.C.M.U.A. MANHOLE FRAME AND COVER**  
 (FOR NEW MANHOLE CONSTRUCTION WITH STANDARD 30" OPENING)  
 N.T.S.

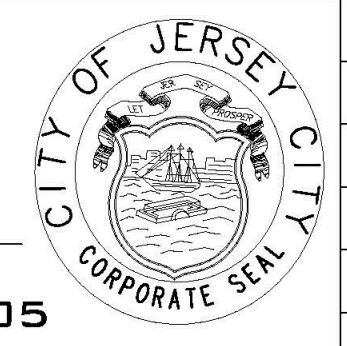


**RESET JUNCTION BOX CASTING**  
 N.T.S.



**SECTION A-A RESET JUNCTION BOX CASTING**  
 N.T.S.

**City of Jersey City**  
 Division of Architecture, Engineering,  
 Traffic and Transportation  
 13-15 LINDEN AVE. EAST  
 JERSEY CITY, NEW JERSEY 07305  
 (201) 547-4412



2	Director Name Changed	6/10
1	Roadway Excavation Detail Changed. Equal Changed to Equivalent	7/09
NO.	REVISIONS	DATE

CITY OF JERSEY CITY  
**STANDARDS**

NO.	REVISIONS	DATE
-----	-----------	------

**Valve Box, Manhole Covers and Pavement Repairs**

DRAWN BY	DESIGNED BY	CHECKED BY
PROJECT NO.	CADD FILE	SCALE

Date

DRAWING  
 SHEET  
 6  
 17

15	01/06/2023	PB RESUBMISSION
14	12/16/2022	JCMUA REVISIONS FOR BUILDING PERMIT
13	11/28/2022	PSEG REVISION PER JCMUA COMMENTS
12	10/31/2022	PB RESUBMISSION REVISED DRAINAGE
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7	05/12/2022	CD 90%
6	04/22/2022	CD 75%
5	03/25/2022	CD 50%
4	09/03/2021	Issue
3	07/02/2021	
2	06/07/2021	
1	04/09/2021	
#	Date	Issue

Project Title  
**SUMMIT TOWER**  
 622-628 SUMMIT AVE  
 JERSEY CITY, NEW JERSEY 07306  
 BLOCK 6701, LOT 21.01  
 Project Description  
 PROPOSED NEW MIXED USE  
 BUILDING WITH 209 RESIDENTIAL UNITS

Applicant  
 628 SUMMIT AVE, LLC  
 Project Number: T-18276  
 Drawn by: KB  
 Checked by: KB  
 Scale: As Noted

Sheet Title  
 CONSTRUCTION DETAILS

Sheet Number  
**C-16**



