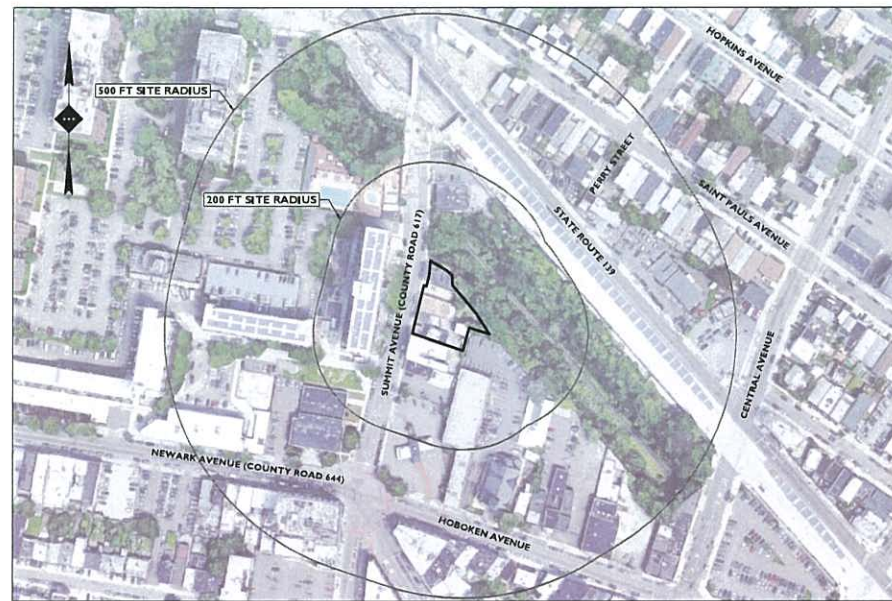


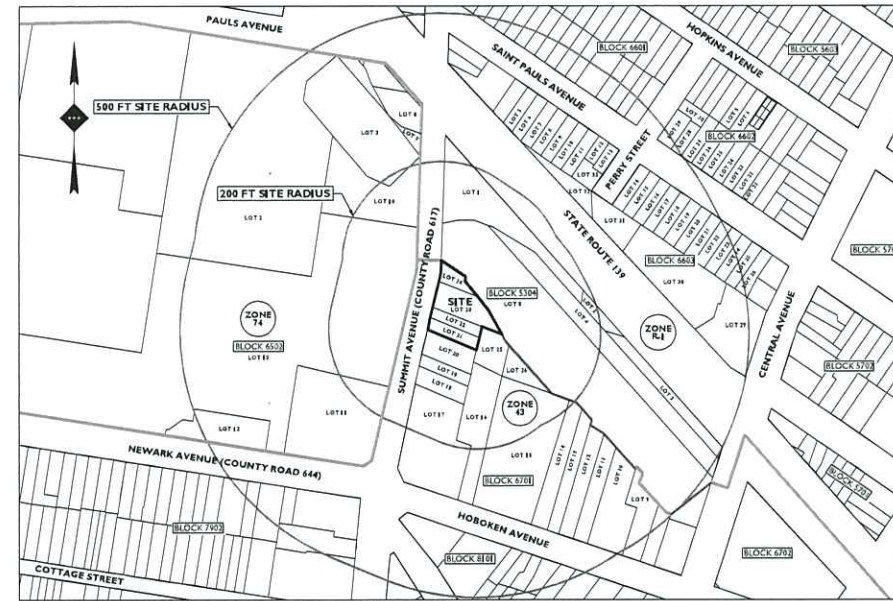
LOCATION MAP

SCALE: 1" = 500'±



AERIAL MAP

SCALE: 1" = 150'±



TAX & ZONING MAP

SCALE: 1" = 150'±

AMENDED FINAL MAJOR SITE PLAN FOR PROPOSED 28-STORY MIXED-USE DEVELOPMENT

BLOCK 6701, LOTS 21-24
622 - 628 SUMMIT AVENUE
CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY

APPLICANT/OWNER

626 SUMMIT AVE LLC
101 HUDSON STREET
JERSEY CITY, NEW JERSEY 07302
(201) 266-0456

ZONING RELIEF TABLE		
CODE SECTION	REQUIRED	PROPOSED
REDEVELOPMENT PLAN	TRANSFORMERS AND PRIMARY AND BACK-UP GENERATORS SHALL BE LOCATED WITHIN THE BUILDING OR VAULTED UNDERGROUND WITHIN THE PAVEMENT AREA OF AN ADJACENT STREET. LOCATION UPON THE SIDEWALK, BETWEEN THE SIDEWALK AND THE BUILDING, OR ANYWHERE OUTSIDE AT GRADE IS NOT PERMITTED.	TRANSFORMER AT GRADE (V)
REDEVELOPMENT PLAN	MAXIMUM BUILDING HEIGHT: 27 STORIES / 285 FT	28 STORIES / 295 FT (V)
(V) VARIANCE		

CITY OF JERSEY CITY 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
6502	3	NEW JERSEY TRANSIT	ONE PENN PLAZA EAST, NEWARK, NJ 07102
6502	10	ST. PAULS SWIM CLUB INC.	318 ST. PAULS AVENUE #11, JERSEY CITY, NJ 07306
6502	11	CITY OF JERSEY CITY	380 GROVE STREET, JERSEY CITY, NJ 07302
6502	13.01	SUMMIT PLAZA ASSOC. UR. LTD. PTN.	1 PORTLAND SQUARE, SUITE 6A, PORTLAND, ME 04101
6502	13.02	SUMMIT PLAZA ASSOC. UR. LTD. PTN.	1 PORTLAND SQUARE, SUITE 6A, PORTLAND, ME 04101
6701	1	634 SAHAJ REALTY LLC	18 BRIGHTON TERRACE, PARIPAPPAN, NJ 07054
6701	2	CONSOLIDATED RAIL CORP. PRTY TAX CP	P.O. BOX 9499, PHILADELPHIA, PA 19104
6701	4	NEW JERSEY TRANSIT	ONE PENN PLAZA EAST, NEWARK, NJ 07102
6701	5	NEW JERSEY TRANSIT	ONE PENN PLAZA EAST, NEWARK, NJ 07102
6701	14	GOKSON PROPERTIES LLC	P.O. BOX 891, HOBOKEN, NJ 07030
6701	15	EVANGELICAL LUTHERAN CHURCH	446 HOBOKEN AVENUE, JERSEY CITY, NJ 07306
6701	16	BOARD OF FREEHOLDERS	135 NEWARK AVENUE, JERSEY CITY, NJ 07302
6701	17	HUDSON CITY SAVINGS BANK, NBT BANK	ONE P&T PLAZA, 18TH FLOOR, BUFFALO, NY 14203
6701	18	CANICO, ALAN	13415 WRIGHT AVENUE, JERSEY CITY, NJ 07306
6701	19	CANICO, ALAN	13415 WRIGHT AVENUE, JERSEY CITY, NJ 07306
6701	20	KENLISON FAMILY LLC, THE	P.O. BOX 4115, UPPER MOUNTAIN, NJ 07093
6701	21	BOARD OF CHOSEN FREEHOLDERS	515 NEWARK AVENUE, JERSEY CITY, NJ 07306
6701	22	EVANGELICAL LUTHERAN CHURCH	446 HOBOKEN AVENUE, JERSEY CITY, NJ 07306

PLANS PREPARED BY:



Rutherford, NJ · New York, NY
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefielddeng.com



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Headquarters: 92 Park Avenue, Rutherford, NJ 07070
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PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, DATED 03/28/2021.
 - ARCHITECTURAL PLANS PREPARED BY MVMK ARCHITECTURE + DESIGN, DATED 06/24/2022.
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, IMAGERY DATED 03/12/2019.
 - LOCATION MAP OBTAINED FROM UNITED STATES GEOLOGICAL SURVEY QUADRANGLE MAP, JERSEY CITY, NEW JERSEY-NEW YORK, 7.5 MINUTE SERIES, DATED 2016.
 - TAX MAP OBTAINED FROM THE CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY, DATED JULY 2010.
 - ZONING MAP OBTAINED FROM THE CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY, DATED JUNE 12, 2015.
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
ZONING TABLES & NOTES	C-2
EXISTING CONDITIONS PLAN	C-3
DEMOLITION PLAN	C-4
SITE PLAN	C-5
GRADING & DRAINAGE PLAN	C-6
UTILITY PLAN	C-7 & C-8
LIGHTING PLAN	C-9
SOIL EROSION & SEDIMENT CONTROL PLAN	C-10
LANDSCAPING PLAN	C-11 & C-12
CONSTRUCTION DETAILS	C-13 to C-16

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9/07/2022	REVISED DRAINAGE
8/04/2022	AMENDED FINAL
8/04/2022	SITE PLAN
7/05/2022	REVISED GRADING
6/04/2022	JCM/JA REVISION
5/03/2022	JCM/JA REVISION
4/09/2021	BILLED FOR BID
3/02/2021	CD 90%
2/04/2021	CD 75%
1/04/2021	CD 50%
	Issue
Project Title	
SUMMIT TOWER	
622-628 SUMMIT AVE JERSEY CITY, NEW JERSEY 07306 BLOCK 6701, LOT 21, 22, 23 & 24	
Project Description	
PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS, 2 RETAIL UNITS, & 2 COMMERCIAL FLOORS	
Architect	
626 SUMMIT AVE, LLC	
Project Number: T-18276	
Drawn by: JK	
Checked by: JK	
Scale: As Noted	
Sheet Title	
COVER SHEET	
Sheet Number	
C-1	

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TABLE OF LAND USE AND ZONING

BLOCK 470, LOTS 11 - 14 JOURNAL SQUARE 2040 REDEVELOPMENT PLAN ZONE (U) ZONE 3: COMMERCIAL CENTER							
PROPOSED USE	PERMITTED USE	EXISTING LOT 11	EXISTING LOT 12	EXISTING LOT 13	EXISTING LOT 14	PREVIOUSLY APPROVED	PROPOSED
RESIDENTIAL	RESIDENTIAL	2,715 SF (0.06 AC)	3,419 SF (0.08 AC)	6,411 SF (0.14 AC)	11,819 SF (0.26 AC)	14,877 SF (0.32 AC)	NO CHANGE
MINIMUM LOT AREA	7,500 SF	2,715 SF	3,419 SF	6,411 SF	11,819 SF	14,877 SF	NO CHANGE
MINIMUM LOT WIDTH	35 FT	23.5 FT	31.2 FT	49.5 FT	49.5 FT	49.5 FT	NO CHANGE
MINIMUM LOT DEPTH	100 FT	100 FT	100 FT	100 FT	100 FT	100 FT	NO CHANGE
MINIMUM SHAPE FACTOR	2.0 (MINIMUM)	3.0	3.0	3.0	3.0	3.0	NO CHANGE
MINIMUM BUILDING HEIGHT	2 STORIES	2 STORIES	2 STORIES	2 STORIES	2 STORIES	2 STORIES	NO CHANGE
MINIMUM BUILDING HEIGHT	25 FT MINIMUM	25 FT	25 FT	25 FT	25 FT	25 FT	NO CHANGE
MINIMUM FRONT BUILDING SETBACK	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT	NO CHANGE
1ST FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
2ND TO 5TH FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
6TH TO 10TH FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
11TH TO 15TH FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
16TH FLOOR AND UP	REFERS TO TOWER ON A BASE SECTION 18.0 (18.0 FT)	N/A	N/A	N/A	N/A	N/A	NO CHANGE
MINIMUM SIDE BUILDING SETBACK	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT	NO CHANGE
1ST FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
2ND TO 5TH FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
6TH TO 10TH FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
11TH TO 15TH FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
16TH FLOOR AND UP	REFERS TO TOWER ON A BASE SECTION 18.0 (18.0 FT)	N/A	N/A	N/A	N/A	N/A	NO CHANGE
MINIMUM REAR BUILDING SETBACK	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT	NO CHANGE
1ST FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
2ND TO 5TH FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
6TH TO 10TH FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
11TH TO 15TH FLOOR	NONE	N/A	N/A	N/A	N/A	N/A	NO CHANGE
16TH FLOOR AND UP	REFERS TO TOWER ON A BASE SECTION 18.0 (18.0 FT)	N/A	N/A	N/A	N/A	N/A	NO CHANGE
MINIMUM SIDE YARD SETBACK	5 FT	5 FT	5 FT	5 FT	5 FT	5 FT	NO CHANGE
MINIMUM REAR YARD SETBACK	5 FT	5 FT	5 FT	5 FT	5 FT	5 FT	NO CHANGE

- (1) VARIANCE
- (2) EXISTING NON-COMFORMITY
- (3) DISTINGUISH LOT AND COMPASSING ACCORDING TO 24.0 (4)
- (4) GROUND FLOOR MAY COVER 100% OF THE LOT
- (5) FRONT YARD SETBACKS BASED ON MINIMUM SIDEWALK WIDTH
- (6) REQUIREMENT
- (7) NOT FORMITTED WITHIN 10 FT OF A RIGHT-OF-WAY

TOWER ON A BASE REQUIREMENTS

CODE SECTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
18.03	MINIMUM FIRST FLOOR HEIGHT REQUIREMENTS: 20 FT	COMPLIES	NO CHANGE
18.03(1)	A VISUAL CUE OR INDICATOR SUCH AS A CORNICE, BELT COURSE, SIGNIFICANT CHANGE IN THE GLASS TO SOLID RATIO	COMPLIES	NO CHANGE
18.03(2)	DECORATIVE FEATURES AND MATERIALS ARE REQUIRED	COMPLIES	NO CHANGE
18.03(3)	BUILDING BASES SHALL BE CONSTRUCTED OF DURABLE MATERIAL OF HIGH QUALITY, INCLUDING BUT NOT LIMITED TO GLASS, STONE, BRICK, TILED CONCRETE, METAL PANELING, ETC.	COMPLIES	NO CHANGE
18.03(4)	A DECORATIVE SCREENING FACIADIA MAY SUBSTITUTE FOR GLASS TO WARP PANELING FACIADIA SUBJECT TO APPROVAL BY THE PLANNING BOARD	COMPLIES	NO CHANGE
18.03(5)	NETAL AND/OR OTHER PERMITTED USES ARE REQUIRED ALONG ALL PUBLIC RIGHT-OF-WAYS WITH A MINIMUM WIDTH OF 20 FEET.	COMPLIES	NO CHANGE
18.03(6)	A VISUAL CUE OR INDICATOR SUCH AS A CORNICE, BELT COURSE, SIGNIFICANT CHANGE IN THE GLASS TO SOLID RATIO	COMPLIES	NO CHANGE
18.03(7)	BUILDING TOWERS SHALL BE CONSTRUCTED OF DURABLE MATERIAL OF HIGH QUALITY, INCLUDING BUT NOT LIMITED TO GLASS, STONE, BRICK, TILED CONCRETE, METAL PANELING, ETC.	COMPLIES	NO CHANGE
18.03(8)	BUILDING TOWERS ARE REQUIRED TO HAVE A MINIMUM SEPARATION DISTANCE OF 5 FT	COMPLIES	NO CHANGE

BICYCLE AND OFF-STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
134-76-01.1	AFTER 1,600 SF OF RETAIL SPACE 1 BICICLE REQUIRED	1 BICICLE	NO CHANGE
134-76-01.2	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.3	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.4	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.5	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.6	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.7	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.8	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.9	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.10	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.11	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.12	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.13	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.14	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.15	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.16	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.17	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.18	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.19	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE
134-76-01.20	MINIMUM SIDEWALK WIDTH 10 FT	10 FT	NO CHANGE

LIGHTING REQUIREMENTS

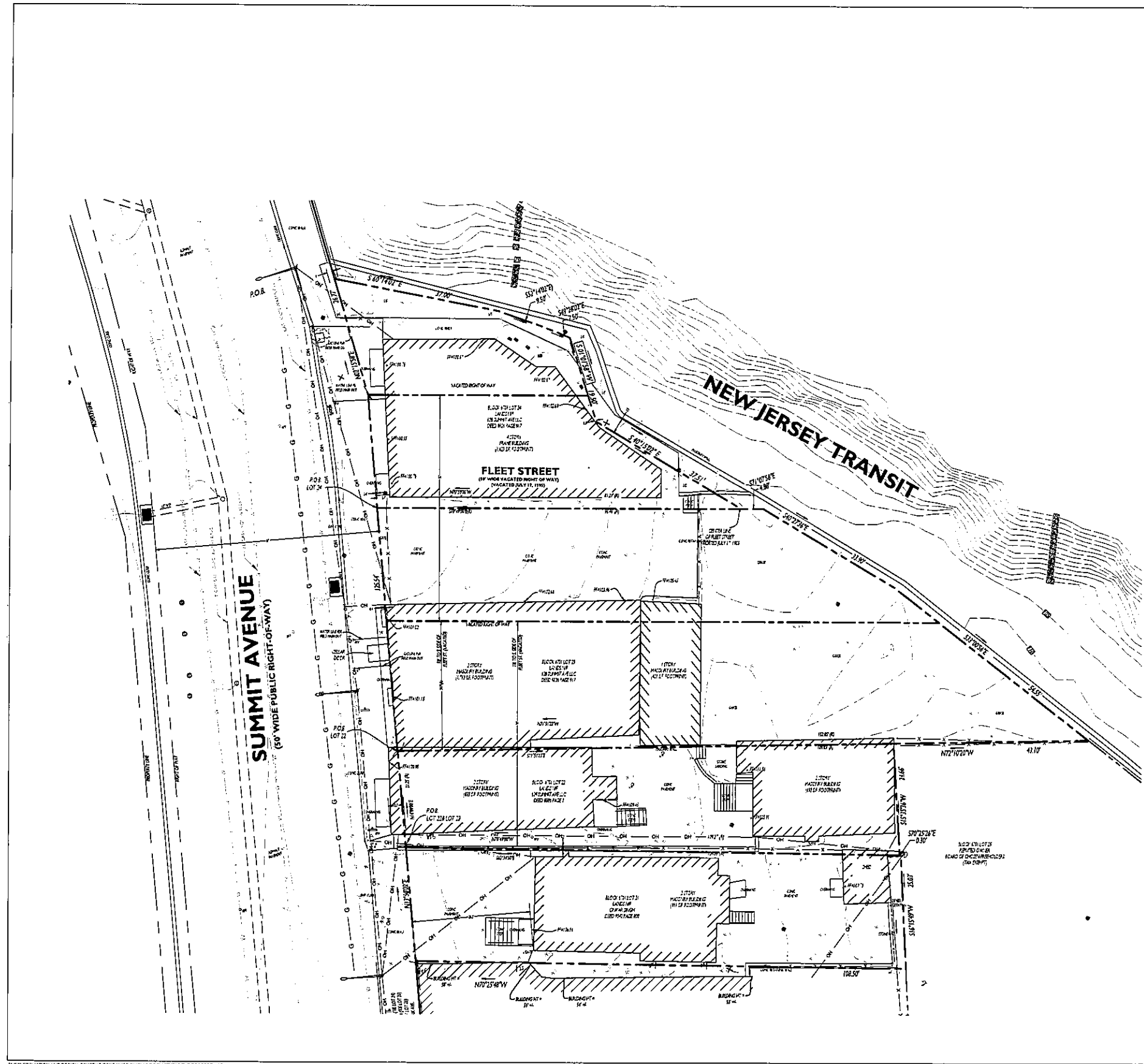
CODE SECTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
18.03	ADAPTED LIGHTING SHALL BE PROVIDED TO DISCOURAGE ACTIVITY AND A SENSE OF SECURITY IN THE OPEN SPACE	COMPLIES	NO CHANGE
18.03	LIGHTING WITHIN THE SITE SHALL BE SUFFICIENT TO ILLUMINATE ALL AREAS INCLUDING THOSE AREAS WHERE BUILDING ARE SETBACK OR OFFSET TO PREVENT DARK CORNERS	COMPLIES	NO CHANGE
18.03	ALL LIGHTING SOURCES MUST BE ABSOLUTELY SHIELDED TO AVOID ANY OFFSITE GLARE. THE AREA OF ILLUMINATION SHALL HAVE A UNIFORM PATTERN OF AT LEAST ONE-HALF (0.5) FOOT CANDLES	1.7 FOOT AVERAGE	NO CHANGE
134-76-01.1	MINIMUM LIGHTING INTENSITY AT PROPERTY LINE SHALL BE 0.5 FOOT CANDLES	0.4 FC	NO CHANGE

SIGNAGE REQUIREMENTS

CODE SECTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
11V.1	THE BUILDING ADDRESS REQUIRED TO BE PLACED ON THE MAIN ENTRY DOOR	WILL COMPLY	NO CHANGE
11V.4(1)	THE BUILDING ADDRESS REQUIRED TO BE PLACED ON THE MAIN ENTRY DOOR	WILL COMPLY	NO CHANGE
11V.4(10)	EACH USE PROVIDING A PUBLIC STREET MAY BE PERMITTED ONE (1) EXTERIOR SIGN PER STORE FRONT SIGN ON EACH STREET FRONTAGE	WILL COMPLY	NO CHANGE
11V.4(11)	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.4	ALL SIGNS SHALL BE ATTACHED TO THE FIRST FLOOR LEVEL OF THE BUILDING ONLY, ALTHOUGH SIGNS MAY BE ATTACHED TO THE FIRST OR SECOND FLOOR FACADE	WILL COMPLY	NO CHANGE
11V.5	ALL SIGNS SHALL BE FLUSH MOUNTED	WILL COMPLY	NO CHANGE
11V.6	ALL SIGNS SHALL PROJECT NO MORE THAN 20 INCHES FROM THE FACADE AND THE BOTTOM OF THE SIGN MUST BE A MINIMUM OF 7 FEET ABOVE THE DRIVEWAY	WILL COMPLY	NO CHANGE
11V.7	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.8	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.9	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.10	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.11	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.12	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.13	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.14	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.15	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.16	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.17	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.18	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.19	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.20	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.21	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.22	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.23	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.24	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.25	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.26	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.27	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.28	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.29	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.30	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.31	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.32	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.33	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.34	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.35	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.36	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.37	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.38	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.39	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.40	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.41	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.42	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.43	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.44	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.45	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.46	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.47	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.48	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.49	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.50	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.51	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.52	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.53	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.54	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.55	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.56	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.57	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.58	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.59	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.60	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.61	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.62	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.63	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.64	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.65	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.66	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.67	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.68	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.69	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.70	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.71	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.72	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.73	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.74	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.75	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.76	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.77	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.78	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.79	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.80	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.81	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.82	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.83	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.84	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.85	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.86	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.87	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.88	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.89	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.90	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.91	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.92	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.93	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.94	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.95	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.96	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.97	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.98	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.99	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE
11V.100	MINIMUM SIGN HEIGHT SHALL BE 18 INCHES	WILL COMPLY	NO CHANGE

LANDSCAPING REQUIREMENTS

CODE SECTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
18.01	LANDSCAPING SHALL BE REQUIRED FOR ANY PART OF ANY PARCEL NOT USED FOR BUILDINGS, OFF-STREET PARKING, PLAZA AREAS, OR LOADING ZONES	COMPLIES	NO CHANGE
18.02	ALL PLANT MATERIAL USED MUST BE ABLE TO WITHSTAND AN URBAN ENVIRONMENT. ALL PLANT MATERIAL SHALL BE PLANTED AT A MINIMUM OF 4 FEET HIGH AND SHALL BE PLANTED IN A CONTAINER OR ESTABLISHED BY THE AMERICAN ASSOCIATION OF HEDYERIES. PLANT MATERIAL SHALL BE IN PLACE AT THE TIME OF PERMITS	COMPLIES	NO CHANGE
18.03	ALL NEW TREES SHALL BE OF A SPECIES AND GENDER TO ACTO PLANTED TREE AND POLLEN	COMPLIES	NO CHANGE
18.04	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.05	UNDERGROUND WATERING FACILITIES SHALL BE REQUIRED FOR ALL LANDSCAPED AREAS FOR BIRDS AND PLANTS. WATERING FACILITIES SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.06	STREET TREES SHALL BE PLANTED ALONG CURBS UNLESS OTHERWISE SPECIFIED IN THE PLAN SET	COMPLIES	NO CHANGE
18.07	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.08	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.09	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.10	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.11	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.12	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.13	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.14	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.15	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.16	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.17	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.18	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.19	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE
18.20	ALL LANDSCAPING SHALL BE PERMANENT AND MAINTAINED FOR THE LIFE OF THE PROJECT	COMPLIES	NO CHANGE



SYMBOL	DESCRIPTION
— G —	UNDERGROUND GAS LINE
— BTTC —	UNDERGROUND ELECTRIC CABLE & TELEPHONE SERVICE
— SAN —	UNDERGROUND SANITARY LATERAL
— OH —	OVERHEAD ELECTRIC WIRE
— S —	SEWER / SULLY LINE
— CH —	CHIMNEY / FENCE
— BO —	BOARD-ON-BOARD FENCE
— CH —	CHICKEN WIRE
— MA —	MAJOR CONTOUR
— MI —	MINOR CONTOUR
— GS —	GRADE SPOT SHOT
— TS —	TOP OF CURB / BOTTOM OF CURB SPOT SHOT
— TW —	TOP OF WALL / BOTTOM OF WALL SPOT SHOT
— B —	BUILDING
— A —	AREA OF UNCLEAR TITLE
— C —	CONCRETE SIDEWALK / MAT
— AS —	ASPHALT / CONCRETE CURB
— D —	DEPRESSED CURB
— P —	PROPERTY LINE
— I —	INTERIOR PROPERTY LINE
— IN —	INLET
— MW —	MONITORING WELL
— B —	BOLLARD
— W —	WATER VALVE
— G —	GAS VALVE

SURVEY NOTES

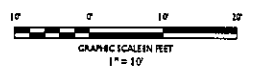
1. THE SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING OCTOBER OF 2018 BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL AGREEMENTS, RIGHTS OF WAY AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY REVEAL.
2. THE SURVEY IS VALID ONLY WHEN AN APPROVED SCALE IS APPLIED HERETO.
3. THE CONTRIBUTION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INFILTRATIONS OR SUBSEQUENT OWNERS.
4. UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 2309 OF THE NEW JERSEY EDUCATION LAW.
5. ANY SURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND OR SANITARY INVERTS ARE DETECTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN CORRESPOND TO ALL UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES BEFORE ANY EXCAVATIONS ARE BEGUN. THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATION.
6. BEARINGS ARE REFERENCED TO THE NAD 83 STATE PLANE COORDINATE SYSTEM, NAD 83 (NAD 83). ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), ESTABLISHED MARITIME GPS OBSERVATIONS.
7. BENCHMARK # MAG NAL ELEVATION # 91.77
8. FIELD DATE OCTOBER 31, 2018

SURVEY REFERENCES

1. DEED BETWEEN PETA R. PATEL (GRANTOR) AND ONGAR SINGH (GRANTEE) RECORDED IN THE HUDSON COUNTY REGISTER OF DEEDS AS BOOK 948 PAGE 890
2. DEED BETWEEN SUSHINDER KAUR (GRANTOR) AND 424 SUNSET AVE LLC (GRANTEE) RECORDED IN THE HUDSON COUNTY REGISTER OF DEEDS AS BOOK 9131 PAGE 315
3. DEED BETWEEN PETER E. JR. BRUCE W., DEBORAH ANN GARNIN, KATHLEEN M. KACHEL, EXECUTRIX OF THE ESTATE OF RICHARD G. KACHEL (GRANTOR) AND JOHN LU CONNELL (GRANTEE) RECORDED IN THE HUDSON COUNTY REGISTER OF DEEDS AS BOOK 8433 PAGE 198
4. DEED BETWEEN SUSHINDER KAUR (GRANTOR) AND 424 SUNSET AVE LLC (GRANTEE) RECORDED IN THE HUDSON COUNTY REGISTER OF DEEDS AS BOOK 9118 PAGE 917

SURVEY NOTES

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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NO.	DATE	DESCRIPTION
1	07/20/2022	REVISED DRAINAGE
2	04/20/2022	AMENDED FINAL SITE PLAN
3	03/22/2022	REVISED GARAGING
4	04/27/2022	SCHEMA REVISIONS
5	03/25/2022	SCHEMA REVISIONS
6	09/03/2021	ISSUED FOR BID
7	10/20/2021	CD 50%
8	08/24/2021	CD 75%
9	04/09/2021	CD 50%
10		Issue

SUMMIT TOWER
 622-628 SUMMIT AVE
 JERSEY CITY, NEW JERSEY 07306
 810 CK 4701, LOT 21.22.23 & 24
 Project Description
 PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS, 2 RETAIL UNITS, & 2 COMMERCIAL FLOORS
 Applicant
 626 SUMMIT AVE, LLC

Project Number: 1-18176
 Drawn By: ES
 Checked by: AE
 Scale: 1" = 10'
 Sheet Title
 EXISTING CONDITIONS

Sheet Number
C-3

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SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SAWCUT LINE
=====	PROPOSED CURB
=====	PROPOSED DEPRESSED CURB
[Hatched Box]	PROPOSED BUILDING
[Stippled Box]	PROPOSED CHARCOAL GREY TINTED CONCRETE SIDEWALK
[Dotted Box]	PROPOSED ASPHALT OVERLAY
[Diagonal Lines]	PROPOSED FULL-DEPTH ASPHALT
[Horizontal Lines]	PROPOSED PEDESTAL PAVEMENT DECKING
[Vertical Lines]	PROPOSED PEDESTRIAN CROSSWALK
[Wavy Line]	PROPOSED RETAINING WALL
[Door Symbol]	PROPOSED BUILDING DOORS
[Bike Rack Symbol]	PROPOSED BIKE RACK
[Glass Railing Symbol]	PROPOSED PROTECTIVE GLASS RAILING

ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL BE REINSTALLED UPON COMPLETION OF CONSTRUCTION

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND MAINTAIN THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK INCLUDING DIMENSIONS LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONERIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONERIELD ENGINEERING & DESIGN, LLC AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEMATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THE PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONERIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDEVELOPED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONERIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET CLOSING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEPENDENT ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONERIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT REMOVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THE PLAN SET.

Date	Issue
07/20/2022	REVISED DRAINAGE
04/20/2022	AMENDED FINAL SITE PLAN
03/12/2022	REVISED GRADING
04/22/2022	JCMALIA REVISIONS
03/23/2022	JCMALIA REVISIONS
09/03/2021	ISSUED FOR BIDD
02/02/2021	CD 75%
04/07/2021	CD 75%
04/09/2021	CD 50%
	Do Not Issue

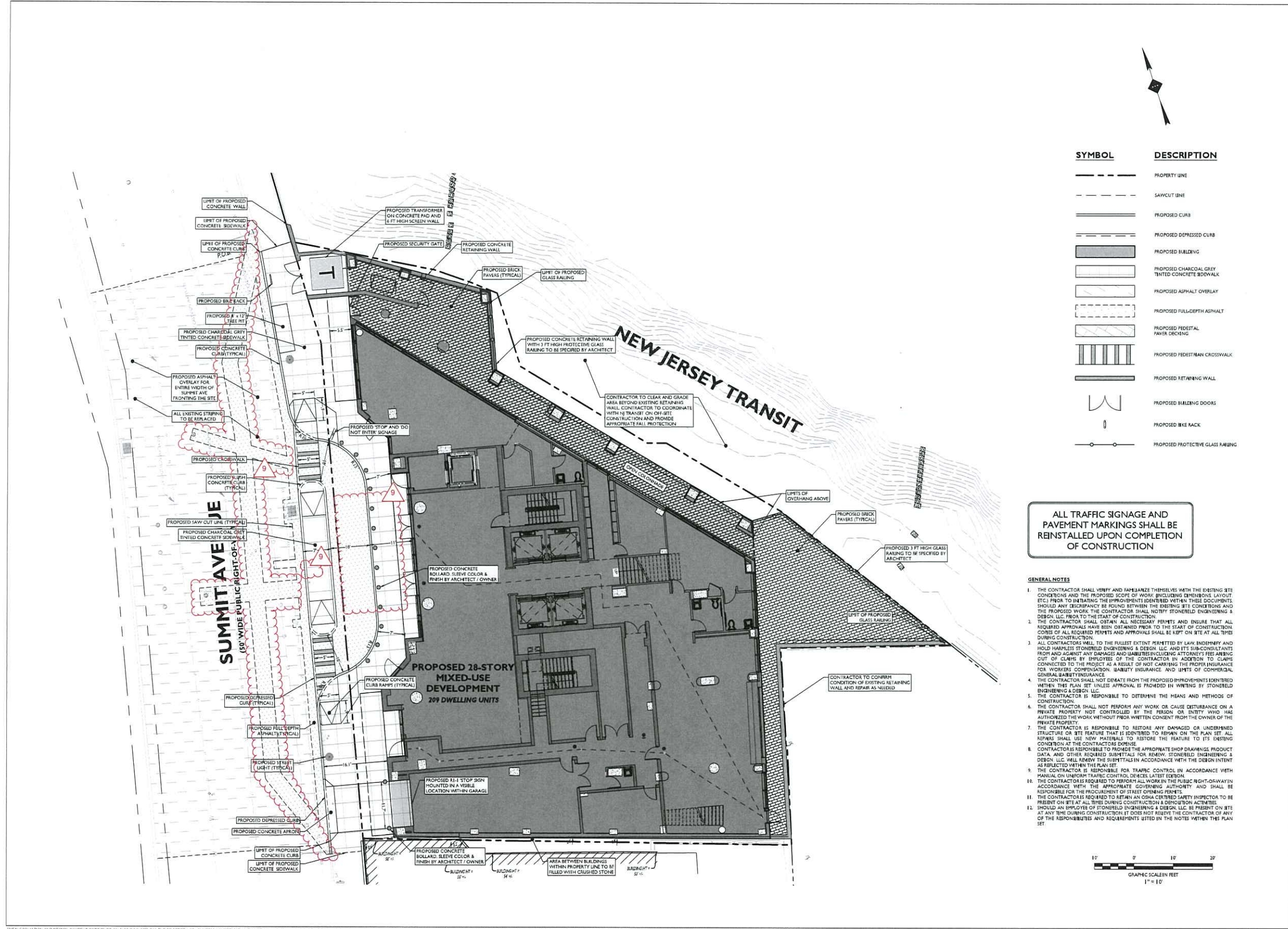
SUMMIT TOWER
 626 SUMMIT AVE
 JERSEY CITY, NEW JERSEY 07306
 BLOCK 4701, LOT 21.22.23 & 24

Project Description
 PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS, 2 RETAIL UNITS, & 2 COMMERCIAL FLOORS

Client
 626 SUMMIT AVE, LLC

Project Number: T-18276
 Drawn by: EB
 Checked by: AK
 Scale: As Noted
 Sheet Title: SITE PLAN

Sheet Number
C-5



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NOTES

- AREAS BETWEEN EXISTING RETAINING WALLS AND PROPOSED SITE TO BE BACKFILLED TO MEET EXISTING SLOPES OFF-SITE.
- TOP OF PROPOSED RETAINING WALL AROUND PROPOSED OUTDOOR AREA TO BE BACKFILLED TO GRADE.

DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UPGRADIENT.
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CORRECT THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DETECTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROMISING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PROTECTED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS AS REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES

- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- UNDERGROUND BAGS SHALL UTILIZE A STONE BAGGILL WITH A MINIMUM VOID RATIO OF 40%.
- NO CONSTRUCTION LOADING OVER UNDERGROUND BAGS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BAGS.

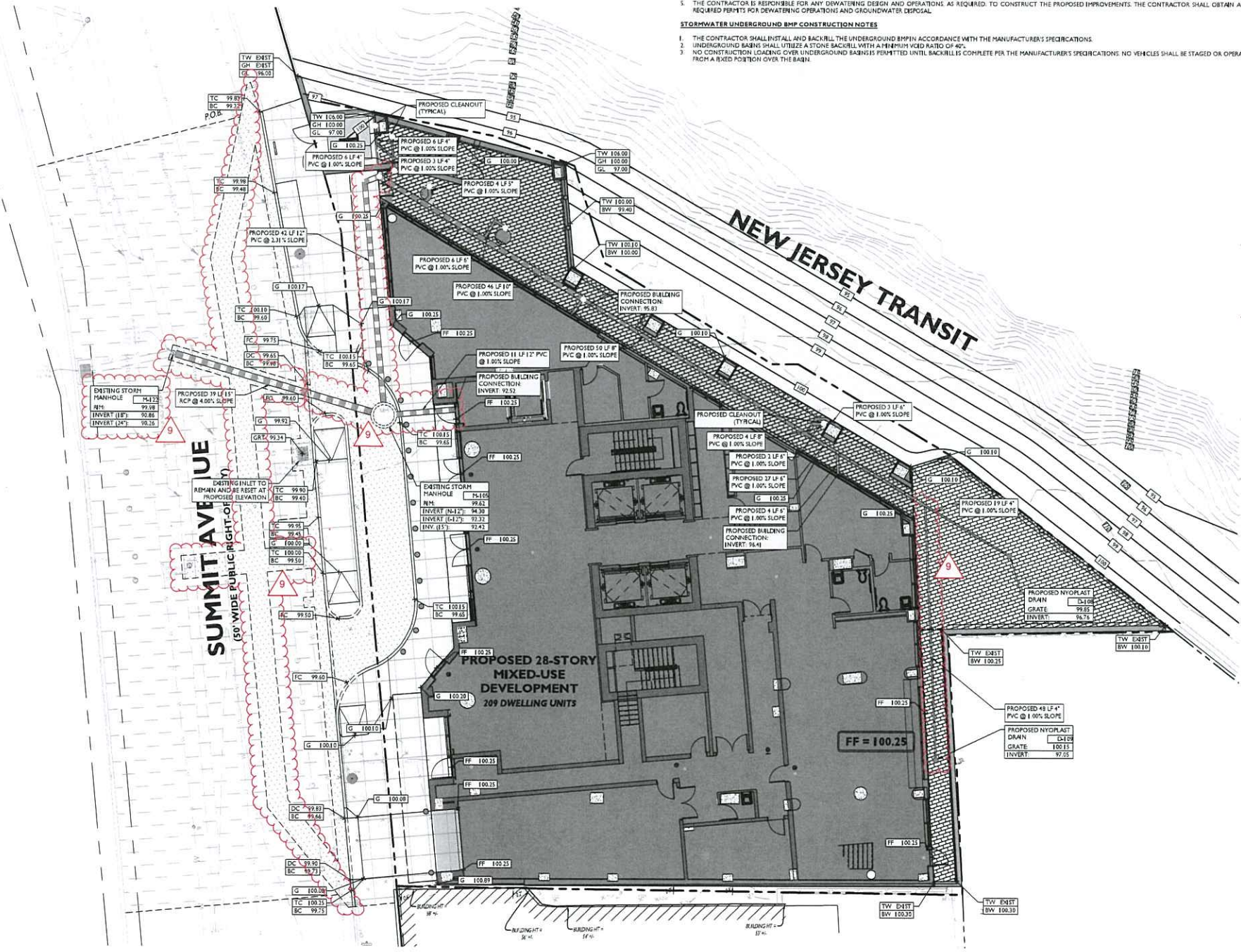
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRAZING CONTOUR
---	PROPOSED GRAZING RIDGELINE
---	PROPOSED DIRECTION OF DRAINAGE FLOW
X	PROPOSED GRADE SPOT SHOT
X	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X	PROPOSED FLUSH CURB SPOT SHOT
X	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
X	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT
○	PROPOSED STORMWATER STRUCTURES
---	PROPOSED STORMWATER BRING

GRAZING NOTES

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DEPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE SEACHARGE OF DEWATERED GROUNDWATER. ALL SILLIMENTS TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROMOTE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE FINISH GRADE UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT FLOODING SHALL BE AS FOLLOWS:
 - CURB CUTTERS: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDINGS AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
- PROJECTS WHERE SACRAMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

- THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE REGULATIONS.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MINIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE BUT ARE NOT LIMITED TO THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALKUP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 0.33% RUNNING SLOPE AND A MINIMUM 1.00% CROSS SLOPE ON ANY CURB RAMP ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 1:8 (12.5%) UNLESS OTHERWISE INDICATED. THE TOP OF THE RAMP FOR ALTERNATIONS A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8:1 (12.5%) UNLESS OTHERWISE INDICATED. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 4 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT BE MORE THAN 36 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- A SLP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELLED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1) SLOPE.
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENING, GAPS OR HORIZONTAL SEPARATIONS ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



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Rev	Date	Description
1	07/26/2022	REVISED DRAINAGE
2	04/26/2022	AMENDED FINAL
3	03/12/2022	REVISION
4	04/22/2022	REVISED GRADING
5	03/25/2022	JCM/MA REVISIONS
6	09/03/2021	ISSUED FOR BID
7	07/02/2021	CD 90%
8	04/09/2021	CD 75%
9	04/09/2021	CD 50%

Project Title: **SUMMIT TOWER**
 626 SUMMIT AVE
 JERSEY CITY, NEW JERSEY 07310
 BLOCK 6701, LOT 21.22.23 & 24
 Project Description: PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS, 2 RETAIL UNITS, & 2 COMMERCIAL FLOORS
 Applicant: 626 SUMMIT AVE, LLC
 Project Number: T-18274
 Drawn by: EB
 Checked by: AK
 Scale: As Shown
 Sheet Title: GRADING & DRAINAGE PLAN
 Sheet Number: C-6

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DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/RECAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 18 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN LLC.
6. THE CONTRACTOR TO PERFORM A TEST 8" FROM CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRANT SEWER AT THE LOWEST INVERT AND WORK UPGRADE IT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED OR RELOCATED BASED ON THE DISCUSSION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DETECTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

JCHUA NOTES

1. BEDDING AND BACKFILL MATERIAL SHALL CONFORM WITH THE REQUIREMENTS OF THE JCHUA STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS. SEE MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 71. 1993 AS APPLICABLE.
2. ALL SEWER SERVICE CONNECTIONS 4 INCHES IN SIZE OR SMALLER MUST BE MADE DIRECTLY TO THE SEWER MAIN AND ALL CONNECTIONS 6 INCHES IN SIZE OR LARGER MUST BE MADE TO A MANHOLE WHERE A CONNECTION TO A MANHOLE IS REQUIRED. MANHOLE BENCH AND CHANNEL MAY REQUIRE MODIFICATION.
3. THE JCHUA REQUIRES THAT SEWER SERVICE CONNECTIONS TO BE ADJUSTED TO VERIFY THEIR INTEGRITY AND THAT THE RISES BE FREE FROM ANY DEFECTS.
4. EACH BUILDING CONNECTION REQUIRES A CURB CLEANOUT (REFER TO ATTACHED DETAIL DRAWINGS). CURB CLEANOUTS WHICH ENABLE SEWER SERVICE CONNECTIONS TO BE MADE TO THE SEWER MAIN SHALL BE CLEANED IN BOTH DIRECTIONS SHOULD BE INSTALLED ON BOTH THE STORM AND SANITARY LATERAL.
5. PROPOSED SEWER LATERAL CONNECTION TO JCHUA SEWER MAIN SHALL BE MADE ABOVE HORIZONTAL CENTER LINE OF RISE (REFER TO ATTACHED SEWER SERVICE CONNECTION DETAIL).
6. THE SIZE, MATERIAL, DEPTH, CONNECTION DIRECTION OF FLOW AND ANY OTHER RELEVANT CONDITIONS OF THE EXISTING JCHUA SEWER TO WHICH RISE PLAN TO CONNECT MUST BE FIELD VERIFIED BY DEVELOPER TO DETERMINE IF SAID CONNECTION IS PHYSICALLY FEASIBLE AND PRACTICAL.
7. AN ANTI-SIPHON DEVICE SHALL BE INSTALLED ON ALL SANITARY LATERALS TO PREVENT THE LATERALS FROM BEING USED AS A Siphon. THE ANTI-SIPHON DEVICE SHALL BE INSTALLED ON ALL SANITARY LATERALS TO PREVENT THE LATERALS FROM BEING USED AS A Siphon. THE ANTI-SIPHON DEVICE SHALL BE INSTALLED ON ALL SANITARY LATERALS TO PREVENT THE LATERALS FROM BEING USED AS A Siphon.
8. A DETAIL OF ANY PROPOSED MANHOLE OR CATCH BASIN SHOWING ALL DIMENSIONS IN ADDITION TO RISE, GRATE AND INVERT ELEVATIONS OF THE STRUCTURE AND ALL RISES CONNECTED TO THE STRUCTURE MUST BE SHOWN ON RISE PLANS. REFER TO JCHUA STANDARD DETAIL DRAWINGS FOR MANHOLES AND CATCH BASINS.
9. PROPOSED MANHOLES CONSTRUCTED IN THE PUBLIC R.O.W. ON EXISTING OR PROPOSED JCHUA SEWERS SHALL BE FURNISHED WITH CONCENTRIC MANHOLE COVERS AS MANUFACTURED BY CAMPBELL ROUNDY CO. PATTERN #4428 OR EQUAL WITH OUTSIDE COVER DIAMETER OF 30.34 INCHES AND INSIDE COVER DIAMETER OF 24 INCHES. THE LETTERS "JCHUA" AND "SEWER" SHALL BE CAST IN THE INSIDE COVER. MANHOLE FRAMES SHALL BE CAMPBELL ROUNDY CO. PATTERN #4428 FOR 30" INCH OPENING OR #4428 FOR 36" INCH OPENING OR EQUAL FURNISHED WITH A PATTERN #4428 CONCENTRIC COVER AS SPECIFIED IN THE PRECEDING PARAGRAPH. REFER TO JCHUA STANDARD DETAIL FOR MANHOLE FRAME AND COVERS.
10. STORM INLETS WHICH ARE CONNECTED DIRECTLY TO JCHUA CONCENTRIC SEWERS MUST BE FURNISHED WITH A SUMP AND TRAP AS PER JCHUA STANDARD DETAIL.
11. THE JCHUA HAS A COMBINED SEWER SYSTEM WHICH SURCHARGES DURING WET WEATHER PERIODS RESULTING IN POSSIBLE SEWAGE BACKUPS THROUGH PLUMBING FIXTURES (SINKS, TOILETS, FLOOR DRAINS, ETC.) BELOW STREET LEVEL. THIS POSSIBILITY MUST BE ADDRESSED DURING THE DESIGN/CONSTRUCTION PHASE.
12. A DROP MANHOLE CONNECTION SHALL BE USED WHERE THERE IS A DIFFERENCE IN ELEVATION OF TWO (2) FEET OR GREATER BETWEEN THE INVERT OF A SANITARY OR COMBINED INLET PIPE TO MANHOLE AND THE CROWN OF THE OUTLET PIPE FROM MANHOLE REFER TO ATTACHED JCHUA STANDARD DETAIL FOR DROP MANHOLE CONNECTION WHICH MUST BE SHOWN ON SITE PLANS/RISE REQUIRED.
13. TEST RITS MUST BE PERFORMED AT THE DEVELOPER'S EXPENSE DURING THE DESIGN PHASE OF THE PROJECT TO ENSURE THAT PROPOSED SEWER AND SEWER SERVICES MAY BE CONSTRUCTED AS PROPOSED WITHOUT CONFLICTING WITH OTHER UNDERGROUND UTILITIES OR STRUCTURES.
14. ALL EXISTING SEWER MAINS AND SANITARY LATERALS TO BE ABANDONED MUST BE UNDERMINED BY THE CONTRACTOR TO DISBURSE CONCRETE AND OTHER MATERIALS DO NOT ENTER THE MAIN AND CREATE OBSTRUCTIONS.

15. ALL PROPOSED INLETS/CATCH BASINS MUST BE CONSTRUCTED WITH A BICYCLE SAFE GRATE AND CAMPBELL ROUNDY CO. TYPE "N" CURBFACE WHERE REQUIRED.
16. PROPOSED WATER SERVICE REQUIRE THE REMOVAL AND TYPICAL OF THE EXISTING WATER ENGINEERING.
17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR STREET OPENINGS FROM THE JERSEY CITY BUILDING DEPARTMENT LOCATED AT 30 MOHLEWY STREET (JERSEY CITY, NJ) AND ALL OTHER APPLICABLE PERMITS FROM AGENCIES HAVING JURISDICTION.

NOTE: JCHUA SHALL BE NOTIFIED TWO DAYS IN ADVANCE PRIOR TO MAKING ANY SANITARY AND STORM LATERAL CONNECTIONS.

NOTE: ALL ROOF LEADERS TO BE CONVEYED TO UNDERGROUND DETENTION BASIN (B-1)

NOTE: ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH THE JCHUA STANDARDS AND SPECIFICATIONS

JCHUA REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND INSTALLATIONS (CONT.)

1. ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JCHUA BUREAU OF WATER ENGINEERING FOR APPROVAL. RISE (S) SETS OF PLANS SHALL BE SUBMITTED FOR APPROVAL. ALL PLANS SHALL BE SIGNED AND SEALED BY PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY.
2. SUBMITTED PLANS SHALL BE STANDARD ENGINEERING DRAWINGS, SIZE 24 INCHES X 36 INCHES INCLUDED SHALL BE A SITE PLAN SHOWING ADJACENT STREETS WITH WATER, MAIN, SERVICE, AND DETAILS INDICATED. ALSO INCLUDED SHALL BE A KEY MAP SHOWING GENERAL LOCATION WITHIN THE CITY.
3. INDICATED ON THE SUBMITTED PLANS SHALL BE THE SIZE OF TAP LOCATION OF TAPPING AND CURB GATE VALVES, DETAILED METER SET-UP, AND SIZE OF FACILITY'S METER, ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF OCCUPANCY OF THE FACILITY RECEIVING THE WATER SERVICE (E.G. HORIZONTAL WAREHOUSE, APARTMENT BUILDING, ETC.).
4. ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN IN ACCORDANCE WITH JCHUA STANDARDS, AND INSPECTED WITHIN 24 HOURS AFTER INSTALLATION OF NEW TAP. THE MAIN OF ONE (1) INCH SHALL BE MADE FOR BOTH DOMESTIC AND FIRE SERVICE PER FACILITY. THE TAP SHALL BE THE MAIN OF ONE (1) INCH SMALLER THAN THE CITY'S WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT BY UNITED WATER JERSEY CITY (UWC) UNLESS SPECIALLY APPROVED BY JCHUA. WATER JERSEY CITY (UWC).
5. ONLY ONE DOMESTIC FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL CHECK METERS ON INDIVIDUAL BRANCH CONNECTIONS DOWNSTREAM OF DOMESTIC METER SETUP WHERE THERE IS MORE THAN ONE CHIMNEY TRIBUTARY FOR A FACILITY. HOWEVER, ONLY ONE WATER BILL WILL BE ISSUED FOR THE FACILITY.
6. A SOLID DUCTILE IRON TAPPING SLAVE SUCH AS MUELLER 1485 TAPPING SLAVE OR APPROVED EQUAL SHALL BE UTILIZED FOR ALL TAP JUNCTIONS AND LARGER. THE TAPPING SLAVE SHALL PASS PRESSURE TESTING BASED ON AWWA STANDARDS BEFORE TAPS MADE.

JCHUA REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND INSTALLATIONS (CONT.)

1. FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT. A TAPPING VALVE LOCATED AT THE TAP AND CURB VALVE LOCATED AT THE SIDEWALK ARE REQUIRED. TAPPING GATES SHALL BE FURNISHED OPENED RIGHT. ALL TAPPING AND CURB VALVES SHALL BE DOUBLE GATE VALVES AND MEET AWWA STANDARDS. THE TAPPING VALVE TO BE INSTALLED BY THE APPLICANT SHALL BE PERMITTED TO HAVE LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATIVE WATER SOURCE AND SPECIAL WRITTEN APPROVAL ISSUED BY THE JCHUA.
2. VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE APPLICANT. ALL TAPPING GATE VALVES LARGER THAN 4 INCHES AND ALL CURB VALVES/STOPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED CORPORATION VALVES/STOPS SHALL BE USED AT THE TAP FOR CLASS C COVER SERVICES 4 INCHES AND SMALLER.
3. ALL SERVICE RISES 2 INCHES THROUGH 18 INCHES SHALL BE PRESSURE CLASS 350 PSI CEMENT LINED DUCTILE IRON PIPE WITH MECHANICAL JOINTS. THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING IF THE BUILDING UNDER CONSTRUCTION IS 75 FEET FROM THE MAIN. THE APPLICANT SHALL PLACE THE METER IN A 12" NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP.
4. FOR A REGULAR RISE SUPPRESSION SYSTEM (COMBINED SERVICE LINE LARGER THAN 2 1/2" A COMBINED REDUCED PRESSURE DETECTOR ASSEMBLY (APES 1000) SHALL BE APES 1000 R90A OR WATTS R90 R90A. SHALL BE INSTALLED ON THE MAIN RISE SERVICE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER ON THE BYPASS (APES 4000 SS OR WATTS R90) (REFER TO FIGURE 1). ON THE LIMITED RISE SUPPRESSION SYSTEM (COMBINED SERVICE LINE 1 1/2" OR A RISE LINE DETECTOR CHECK WITH A SINGLE CHECK VALVE (APES 1000 DCV) SHALL BE INSTALLED ON THE MAIN RISE SERVICE LINE. A REDUCED PRESSURE BACKFLOW PREVENTER (APES 4000 SS OR WATTS R90) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS (REFER TO FIGURE 2). ALL REGULAR RISE SUPPRESSION SYSTEMS MUST HAVE GATE VALVES (COMBINED SERVICE LINE 1 1/2" OR A RISE LINE) BYPASS BYPASS METERS SHALL BE JERSEY CITY STANDARD SINGLE DISAPPOINTMENT (SDS) METERS WITH TOUCHPAD AND RADIO READ CAPABLE. THE SAME GATE VALVE UNIT SHALL BE USED FOR A COMBINED DOMESTIC AND FIRE SERVICE.
5. FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (APES 4000 SS OR WATTS R90) IS REQUIRED WHEN THE JCHUA DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PRESENTS A THREAT TO THE CITY'S DISTRIBUTION WATER MAIN QUANTITY IN ACCORDANCE WITH THE PLUMBING SUBCODE OF THE NEW JERSEY STATE WATER CONSTRUCTION CODE, NAC 12:27-3.13 AND THE NEW JERSEY SAFE DRINKING WATER ACT, NAC 17:44B PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL BY CONTAINMENT. SOME SERVICES WHICH REQUIRE SUCH DEVICES INCLUDE: HORIZONTAL CHEMICAL PLANT, FACTORY AND FACILITY WITH SEWAGE EJECTOR.
6. IF REDUCED PRESSURE BACKFLOW PREVENTER IS NOT REQUIRED ON THE CONNECTION, A CHECK VALVE SHOULD BE INSTALLED DOWNSTREAM OF THE TEST TEE.
7. ALL METERS 2 INCHES THROUGH 4 INCHES SHALL BE SINGLE COMPOUND METERS AND ALL METERS 6 INCHES AND LARGER SHALL BE DUPLEX COMPOUND MANHOLE METERS.
8. ALL METERS SHALL BE ADEQUATELY RESTRAINED WITH METAL BRACKETS FASTENED TO THE FLOOR OR
9. WALL OR OTHER APPROVED MEDIUM SUCH AS UNPLASTERED WHERE INTERNAL FIRE RESISTANCE IS REQUIRED. METERS SHALL BE INSTALLED APPROXIMATELY 3" ABOVE FLOOR GRADE.
10. ALL METERS SHALL BE SEATED ON CONCRETE BLOCK AND TAPPED METERS SHALL BE INSTALLED APPROXIMATELY 3" ABOVE FLOOR GRADE.
11. ALL METERS SHALL BE SEATED ON CONCRETE BLOCK AND TAPPED METERS SHALL BE INSTALLED APPROXIMATELY 3" ABOVE FLOOR GRADE.
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20. ALL METERS SHALL BE SEATED ON CONCRETE BLOCK AND TAPPED METERS SHALL BE INSTALLED APPROXIMATELY 3" ABOVE FLOOR GRADE.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED SANITARY LATERAL
---	PROPOSED DOMESTIC WATER SERVICE
---	PROPOSED FIRE SERVICE
---	PROPOSED ELECTRICAL/DATA CONDUITS
---	PROPOSED GAS LINE
○	PROPOSED SANITARY MANHOLE / CLEANOUT

JCHUA WATER DISTRIBUTION SYSTEM STANDARDS (CONT.)

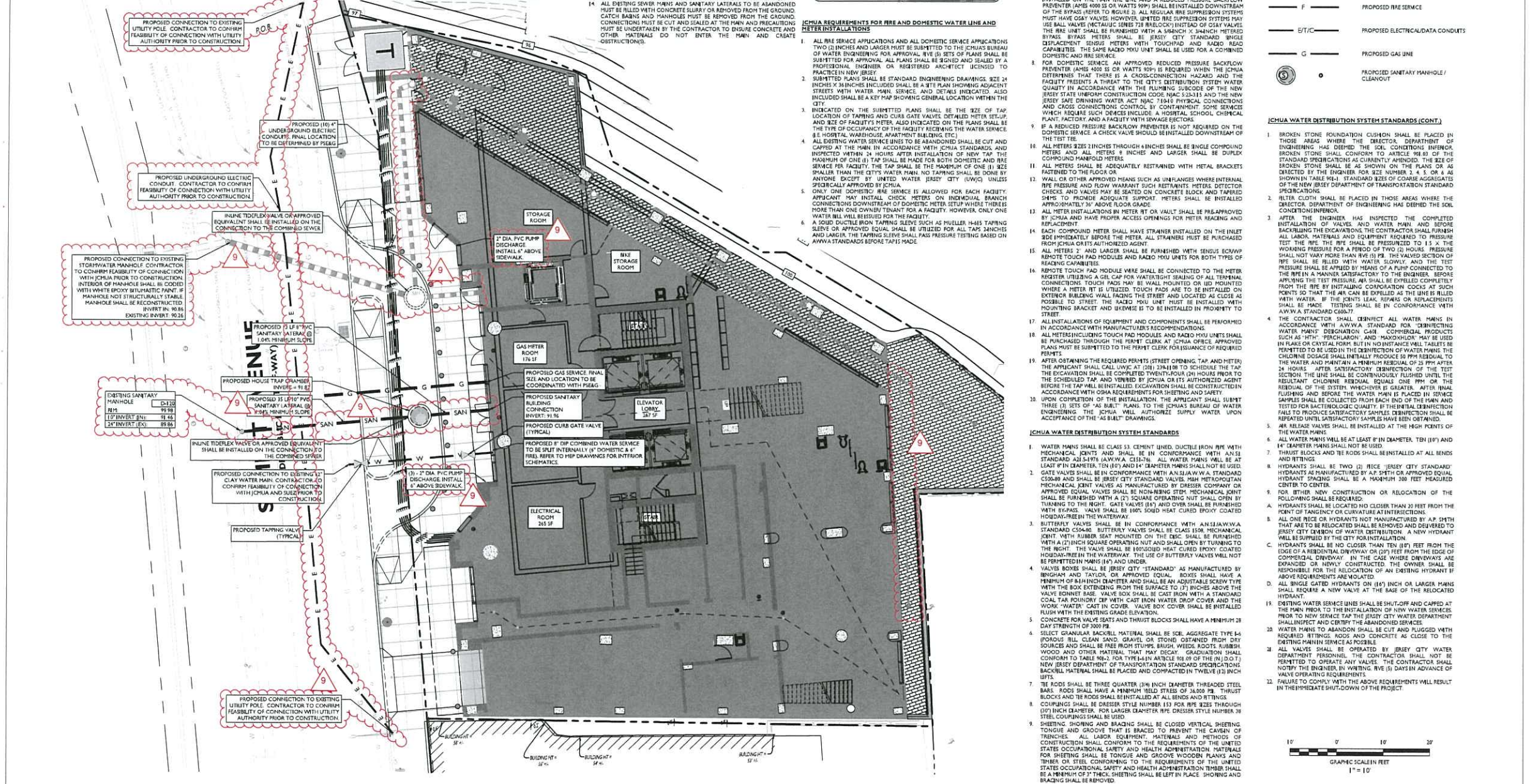
1. BROKEN STONE FOUNDATION CUSHION SHALL BE PLACED IN THOSE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DETERMINED THE SOIL CONDITIONS INFERRED BY BROKEN STONE SHALL CONFORM TO ARTICLE 166 OF THE STANDARD SPECIFICATIONS AS CURRENTLY AMENDED. THE SIZE OF BROKEN STONE SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER FOR SIZE NUMBER 2, 4, 5, OR 6 AS SHOWN IN THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. FILTER CLOTH SHALL BE PLACED IN THOSE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DETERMINED THE SOIL CONDITIONS INFERRED.
3. AFTER THE ENGINEER HAS INSPECTED THE COMPLETED INSTALLATION OF VALVES AND WATER MAIN AND BEFORE BACKFILLING THE CONNECTION, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PRESERVE THE TEE. THE TEE SHALL BE PRESERVED TO 15 X THE WORKING PRESSURE FOR A PERIOD OF TWO (2) HOURS. PRESERVE SHALL NOT VARY MORE THAN FIVE (5) PSI. THE VALVED SECTION OF THE TEE SHALL BE FILLED WITH WATER. WATER AND THE TEST PRESSURE SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE TEE IN A MANNER SATISFACTORY TO THE ENGINEER. BEFORE APPLYING THE TEST PRESSURE, AIR SHALL BE EXHAUSTED COMPLETELY FROM THE TEE BY INSTALLING CORPORATION COCKS AT SUCH POINTS SO THAT THE AIR CAN BE DEPLETED AS THE LINE IS FILLED WITH WATER. IF THE JOINTS LEAK, REPAIRS OR REPLACEMENTS SHALL BE MADE. TESTING SHALL BE IN CONFORMANCE WITH AWWA STANDARD C607.
4. THE CONTRACTOR SHALL IDENTIFY ALL WATER MAINS IN ACCORDANCE WITH AWWA STANDARD FOR IDENTIFYING WATER MAIN DESIGNATION. GAS, COMMERCIAL PRODUCTS SUCH AS HEAT, REFRIGERATION, AND MAXIMUM ALLOWED PRESSURE SHALL BE IDENTIFIED IN BLOCK OR CRYSTAL FORM. IN NO INSTANCES WILL TABLETS BE PERMITTED TO BE USED IN THE IDENTIFICATION OF WATER MAINS. THE CHLORINE DOSSAGE SHALL BE 100 MG PER GALLON OF WATER. THE WATER AND MAINTAIN A MINIMUM RESIDUAL OF 35 PPM AFTER 24 HOURS. AFTER SATISFACTORY IDENTIFICATION OF THE TEST WATER MAIN, THE CONTRACTOR SHALL CONTINUOUSLY FLUSH UNTIL THE RESULTANT CHLORINE RESIDUAL EQUALS ONE PPM OR THE RESIDUAL OF THE SYSTEM IS GREATER. AFTER THE WATER MAIN IS IDENTIFIED AND BEFORE THE WATER MAIN IS PLACED IN SERVICE, SAMPLES SHALL BE COLLECTED FROM EACH END OF THE MAIN AND TESTED FOR BACTERIOLOGICAL QUALITY. IF THE INITIAL IDENTIFICATION FAILS TO PRODUCE SATISFACTORY SAMPLES, IDENTIFICATION SHALL BE REPEATED UNTIL LABORATORY ANALYSIS HAS BEEN OBTAINED.
5. AIR RELEASE VALVES SHALL BE INSTALLED AT THE HIGH POINTS OF THE WATER MAINS.
6. ALL WATER MAINS SHALL BE AT LEAST 8" IN DIAMETER, TEN (10) AND 14" DIAMETER MAINS SHALL NOT BE USED.
7. THRUST BLOCKS AND TIE RODS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS.
8. HYDRANTS SHALL BE TWO (2) INCH (JERSEY CITY STANDARD) HYDRANTS AS MANUFACTURED BY A.P. SMITH OR APPROVED EQUAL. HYDRANT SPACING SHALL BE A MAXIMUM 300 FEET MEASURED CENTER TO CENTER.
9. FOR OTHER NEW CONSTRUCTION OR RELOCATION OF THE FOLLOWING SHALL BE REQUIRED:
- A. HYDRANTS SHALL BE LOCATED AND CLOSER THAN 35 FEET FROM THE POINT OF TANGENCY OR CURVATURE AT INTERSECTIONS.
- B. ALL ONE INCH OR HYDRANTS NOT MANUFACTURED BY A.P. SMITH THAT ARE TO BE RELOCATED SHALL BE REMOVED AND DELIVERED TO THE JERSEY CITY DEPARTMENT OF WATER DISTRIBUTION. A NEW HYDRANT WILL BE SUPPLIED BY THE CITY FOR INSTALLATION.
- C. HYDRANTS SHALL BE NO CLOSER THAN TEN (10) FEET FROM THE EDGE OF A RESIDENTIAL DRIVEWAY OR (20) FEET FROM THE EDGE OF COMMERCIAL DRIVEWAY. IN THE CASE WHERE DRIVEWAYS ARE EXPANDED OR NEWLY CONSTRUCTED, THE OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION OF AN EXISTING HYDRANT IF ABOVE REQUIREMENTS ARE VIOLATED.
- D. ALL SINGLE GATED HYDRANTS ON (6) INCH OR LARGER MAINS SHALL REQUIRE A NEW VALVE AT THE BASE OF THE RELOCATED HYDRANT.
10. EXISTING WATER SERVICE LINES SHALL BE SHUT-OFF AND CAPPED AT THE MAIN PRIOR TO THE INSTALLATION OF NEW WATER SERVICE. PRIOR TO NEW SERVICE TAP THE JERSEY CITY WATER DEPARTMENT SHALL INSPECT AND CERTIFY THE ABANDONED SERVICE.
11. WATER MAINS TO BE ABANDONED SHALL BE CUT AND PLUGGED WITH REQUIRED FITTINGS, RODS AND CONCRETE AS CLOSE TO THE EXISTING MAIN SERVICE AS POSSIBLE.
12. ALL VALVES SHALL BE OPERATED BY JERSEY CITY WATER DEPARTMENT PERSONNEL. THE CONTRACTOR SHALL NOT BE PERMITTED TO OPERATE ANY VALVE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING FIVE (5) DAYS IN ADVANCE OF VALVE OPERATING REQUIREMENTS.
13. FUTURE TO CONFORM WITH THE ABOVE REQUIREMENTS WILL RESULT IN THE IMMEDIATE SHUT-DOWN OF THE PROJECT.

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NO.	DATE	DESCRIPTION
1	07/20/2022	REVISED DRAINAGE
2	04/20/2022	AMENDED FINAL SITE PLAN
3	02/12/2022	REVISED GRADING
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SUMMIT TOWER
622-308 SUMMIT AVE
JERSEY CITY, NEW JERSEY 07306
BLOCK 6701, LOT 21.22.23 & 24
Project Description
PROPOSED NEW MIXED USE BUILDING WITH 209 RESIDENTIAL UNITS, 2 RETAIL UNITS, & 2 COMMERCIAL FLOORS
Project Title
626 SUMMIT AVE, LLC
Project Number: T-18576
Drawn by: EB
Checked by: AK
Scale: As Noted
Sheet Number
C-8

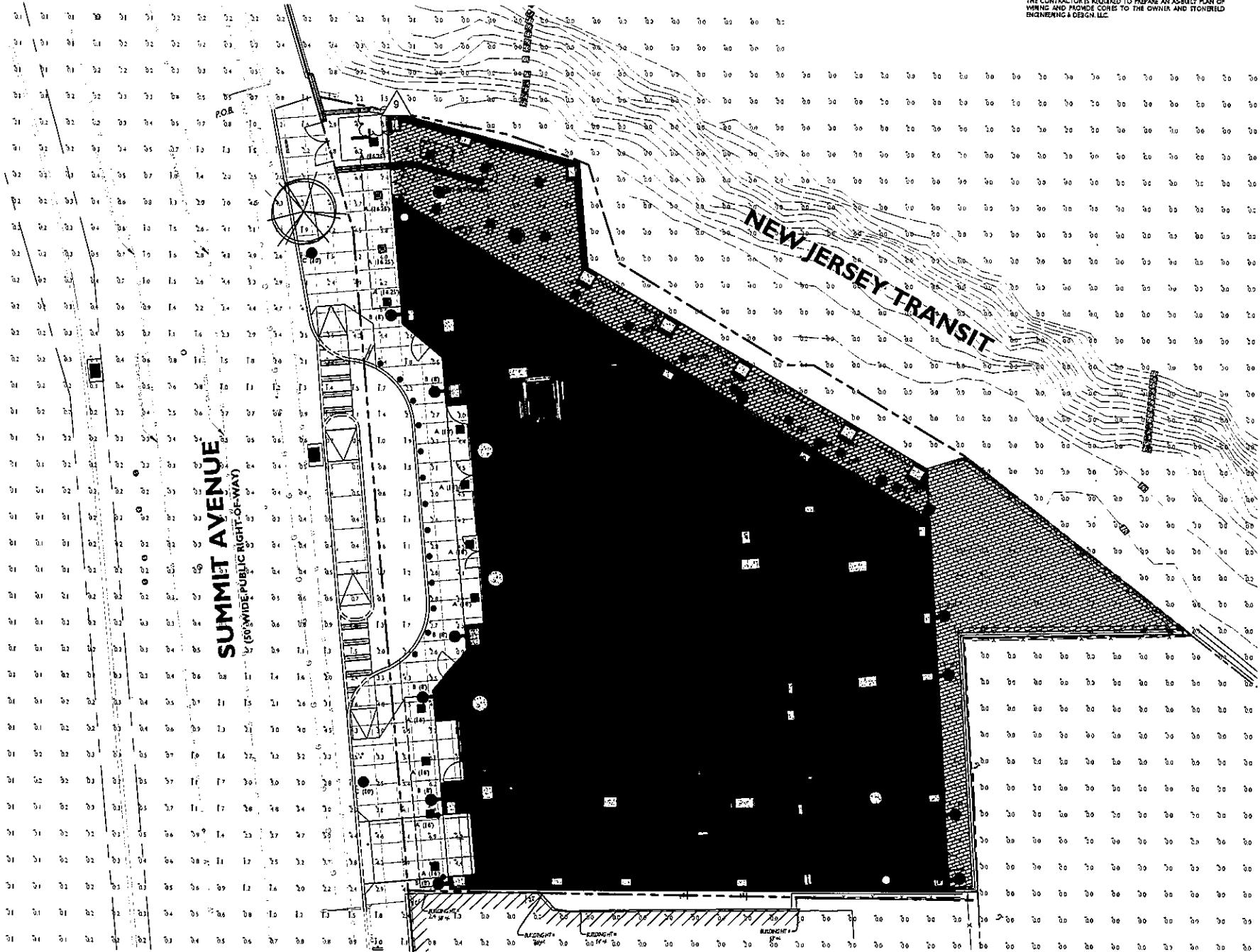
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PROPOSED LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	IES FILE
☐	A	25	WILLIAMS 4DS DOWNLIGHT LI0 OW-DF-CS 3000K	OW	0.90	HE WILLIAMS, INC. 10541188.DIN.LAMP.OW.3000K.CS
●	B	14	CANNON LIGHTING OW610-24 CARLISE 3000K	N/A	0.90	CANNON CANNON OW610-24-LN15
⊙	C	2	PHILIPS HACCO SIGNATURE LED, T3, BRW, BLACK FINISH	TYPE III	0.90	PHILIPS HACCO ALL3121000W3000K000000000000

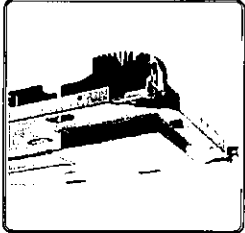
LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
1802	ADDITIONAL LIGHTING SHALL BE PROVIDED TO ENCOURAGE ACTIVE USAGE AND A SENSE OF SECURITY IN THE OPEN SPACE	COMPLIES
1803	GRADING WITHIN THE SITE SHALL SUFFICIENTLY ILLUMINATE ALL AREAS INCLUDING THOSE AREAS WHERE BUILDINGS ARE SETBACK OR OFFSET TO PREVENT DARK CORNERS	COMPLIES
1804	ALL LIGHTING SOURCES MUST BE ADEQUATELY SHIELDED TO AVOID ANY GLOMERATION OF LIGHT. THE AREA OF ILLUMINATION SHALL HAVE A UNIFORM PATTERN OF AT LEAST ONE-HALF (0.5) FOOT CANDLES	37 FC AVERAGE
1805	MAXIMUM LIGHTING INTENSITY AT PROPERTY LINE SHALL BE 0.3 FOOT CANDLES	0.4 FC

GENERAL LIGHTING NOTES

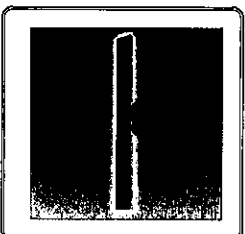
1. THE LIGHTING LEVEL DERIVED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WHEN APPLICABLE, THE EXISTING LIGHT LEVELS DERIVED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED OTHERWISE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT FIXTURE DUST COEF: 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE UTILITY OR OTHER IMPROVEMENTS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



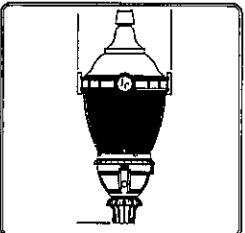
SYMBOL	DESCRIPTION
A (XX)	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
---	PROPOSED LIGHTING INTENSITY (FOOT CANDLES)
☐	PROPOSED BUILDING MOUNTED LIGHT



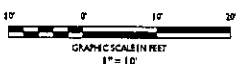
CANOPY LIGHTING FIXTURE TYPE 'A'



WALL LIGHTING FIXTURE TYPE 'B'



AREA LIGHTING FIXTURE TYPE 'C'



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No.	Date	Description
1	07/20/2022	REVISED DRAINAGE
2	04/29/2022	AMENDED FINAL
3	03/15/2022	REVISED GRADING
4	04/29/2022	SCALIA REVISIONS
5	03/25/2022	SCALIA REVISIONS
6	09/03/2021	REVISED FOM REG
7	07/02/2021	CD 90%
8	04/09/2021	CD 75%
9	04/09/2021	CD 50%
10		Issue

SUMMIT TOWER
 624 SUMMIT AVE
 JERSEY CITY, NEW JERSEY 07304
 BLOCK 6701, LOT 21.22.23 & 24
 Project Description:
 PROPOSED NEW MIXED USE
 BUILDING WITH 209 RESIDENTIAL
 UNITS, 2 RETAIL UNITS, & 2
 COMMERCIAL FLOORS
 Applicant:
 624 SUMMIT AVE, LLC

Project Number: T-18276
 Drawn by: KB
 Checked by: AK
 Scale: AS NOTED

Sheet Title:
 LIGHTING PLAN
 Sheet Number:
 C-9

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