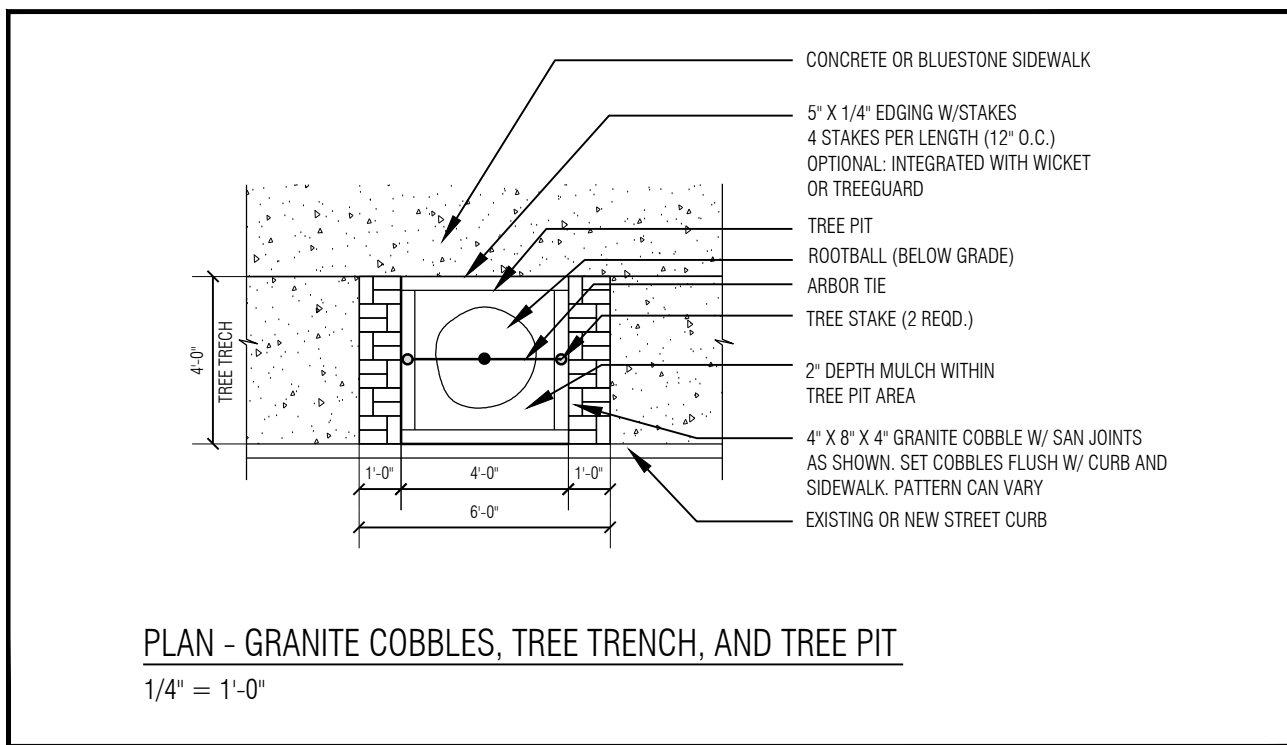
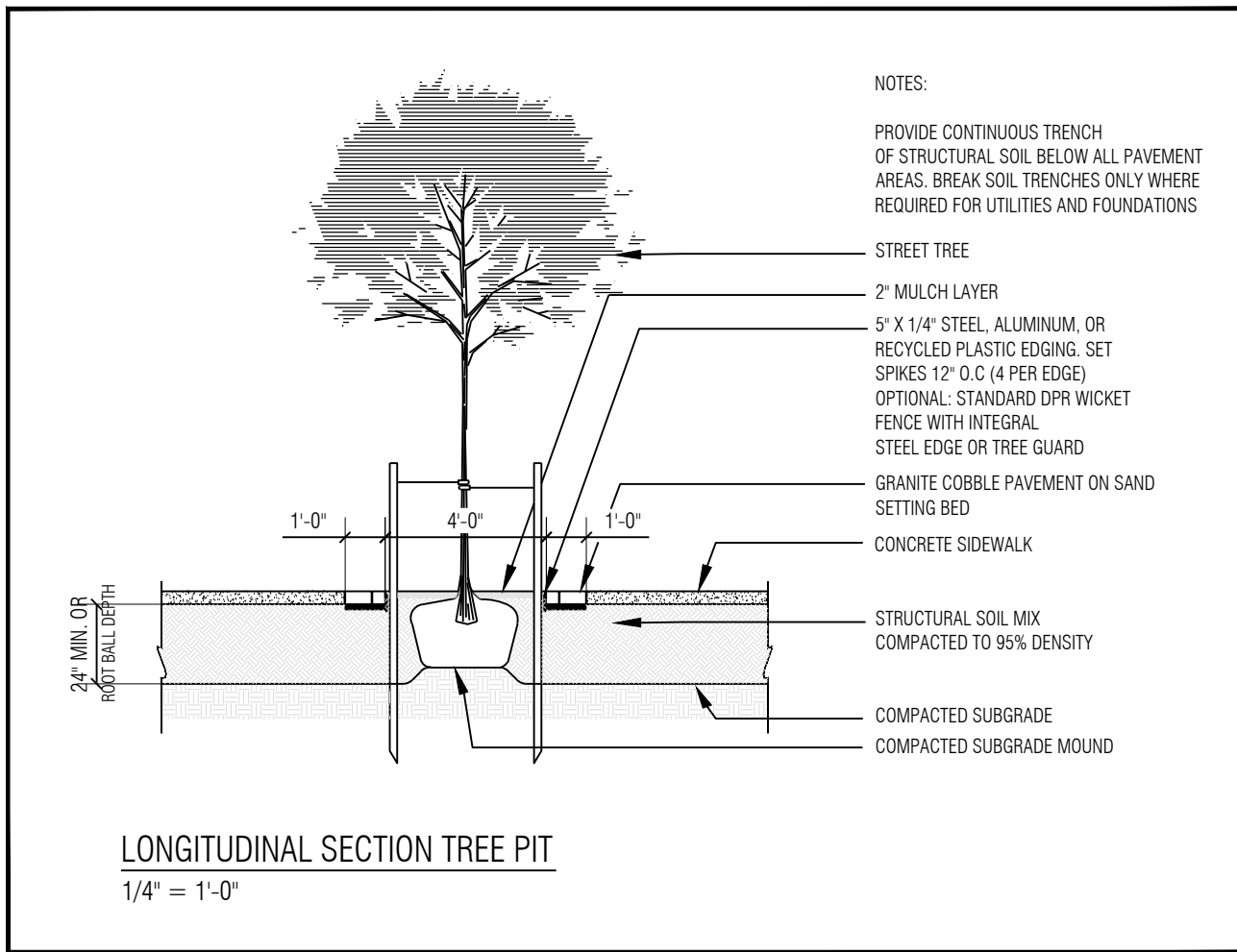
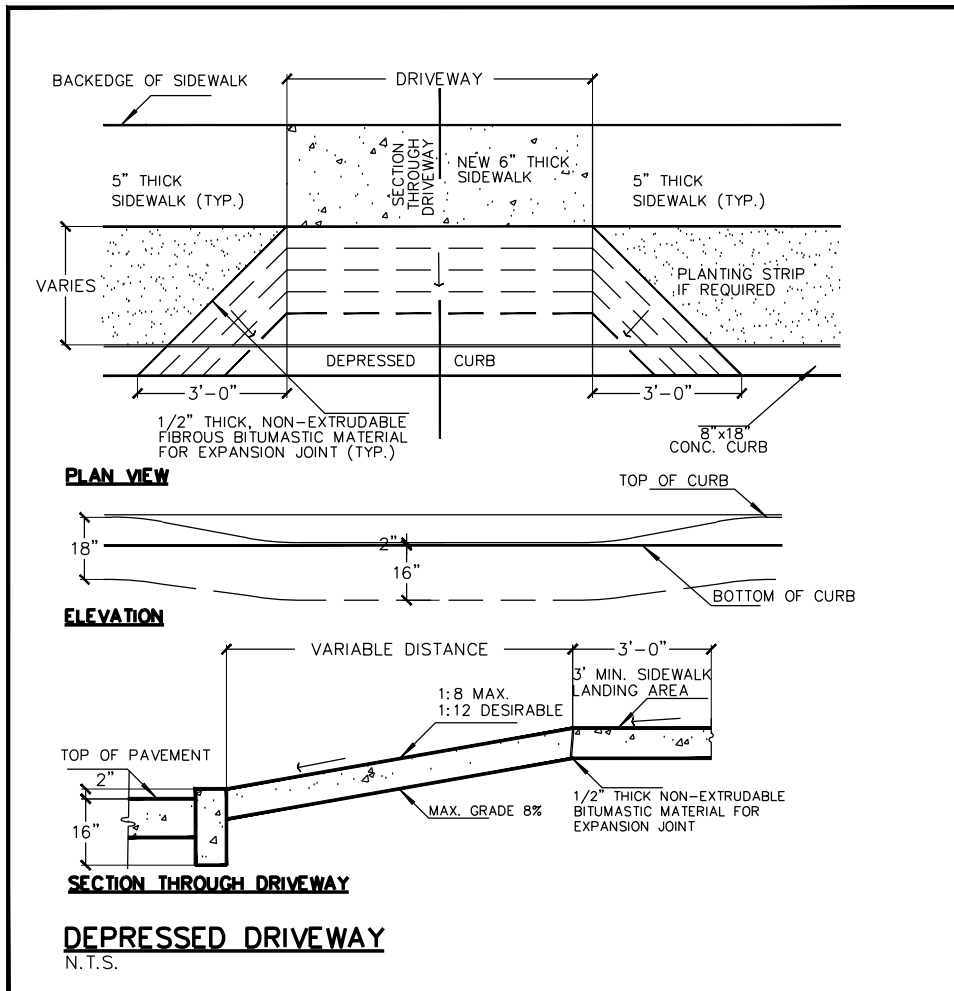


200 FEET DIAGRAM



APPLICABLE CODES	
• 2015 International Residential Code-N.J. Version	
• 2014 National Electrical Code	
• 2015 IECC Energy Subcode	
• 2015 National Standard Plumbing Code	
• 2009 International Mechanical Code	
• 2015 International Fuel Gas Code	

NJUCC 2015 REQUIREMENTS	
USE GROUP	R-5
CONSTRUCTION TYPE	5 B
HEIGHT OF STRUCTURE	30'-8"
NUMBER OF STORIES	3
BASEMENT	718.0 SF
FIRST FLOOR AREA	940.0 SF
SECOND FLOOR AREA	944.0 SF
THIRD FLOOR AREA	944.0 SF
TOTAL AREA	3,546.0 SF
VOLUME	35,460.0 C.F

SURVEY NOTES:	
FOR FURTHER INFORMATION, REFER TO SURVEY PREPARED BY	
PRONESTI SURVEYING, INC. PROFESSIONAL LAND SURVEYOR NJ LIC. NO. 37605	870 POMPOEN AVENUE, SUITE B1 CEDAR GROVE, NJ 07009 TEL: (973) 857-3319 • FAX: (973) 857-3608 WWW.PRONESTISURV.COM MICHAEL PRONESTI, P.L.S. PROFESSIONAL LAND SURVEYOR NJ LIC. NO. 37605 DATE: 11-10-2017

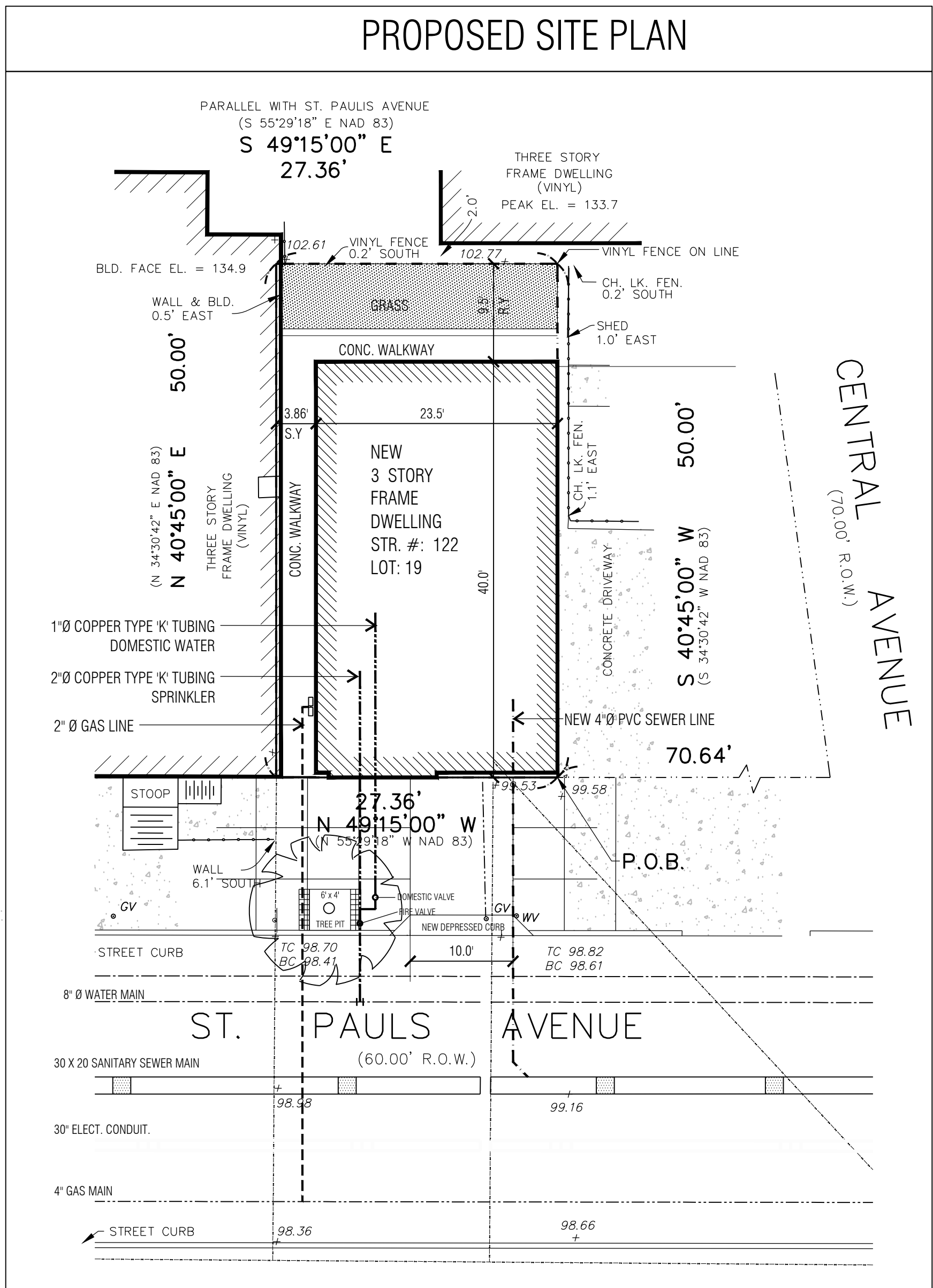
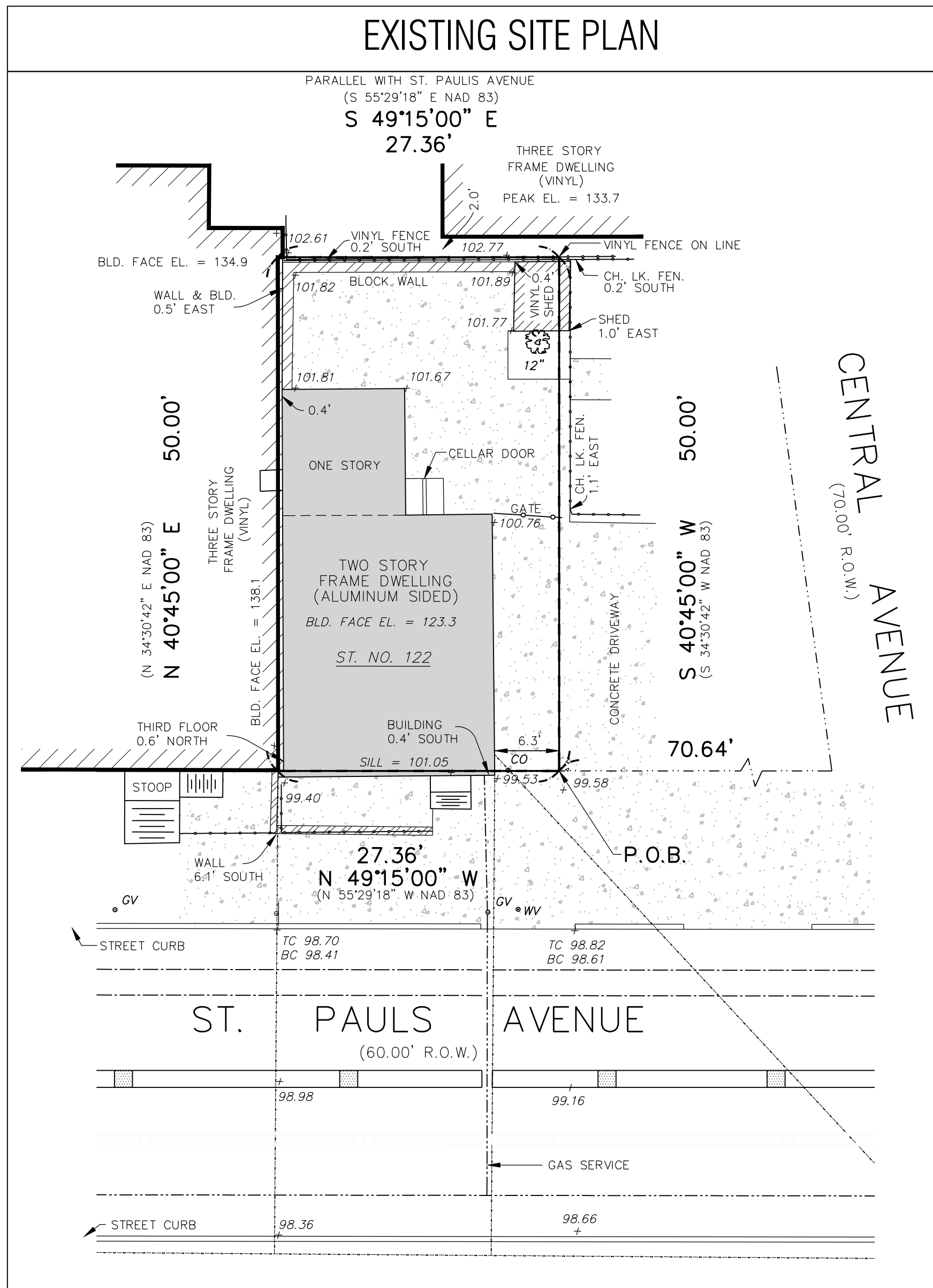
ZONING ANALYSIS : R-1 ZONE DISTRICT				
REGULATION	REQUIRED	EXISTING	PROVIDED	NOTES
MIN. LOT SIZE	2,500.0 SQ.FT	1,368.0 SQ.FT	1,368.0 SQ.FT	PRE-EXISTING NON- CONFORMING
MIN. LOT WIDTH	25.0'	27.36'	27.36'	OK
FRONT YARD	0.0' (PREVAILING)	0.0'	0.0'	OK
REAR YARD	35.0'	12.5'	9.5'	VARIANCE
SIDE YARD	2.0' / 2.0' (5.08)	0.4' / 6.3'	3.0' / 0.0'	VARIANCE
HEIGHT	9 FT CEILING / 30.0'	22'-6"	30'-8"	VARIANCE
BUILDING COVERAGE	60 %	48.5 %	68.0 %	VARIANCE
LOT COVERAGE	85 %	100.0 %	87.8 %	VARIANCE
PARKING	0	0	1	OK

EDO A. MOLINA & FRANCISCA RODRIGUEZ

122 ST. PAULS
JERSEY CITY, NJ

LOT: 9
BLOCK: 2103

PROPOSED NEW TWO FAMILY DWELLING



LANDSCAPING NOTES:

- ALL MATERIALS TO BE TYPE AND SIZE AS LISTED UNLESS OTHERWISE APPROVED..
- TREES AND SHRUBS TO BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS REGARDING SIZE AND QUALITY.
- CALIPER MEASURED 1 FT. ABOVE TRUNK CROWN.
- EXISTING TREES AND SHRUBS SHALL REMAIN WHEREVER POSSIBLE.
- PLANTS ARE TO BE PLANTED UPRIGHT IN A DIRECTION SO AS TO PROVIDE BEST APPEARANCE IN RELATIONSHIP TO ADJACENT AREAS.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING, (REFER TO DETAILS).
- PLANTING PITS ARE TO BE PREPARED TO A MINIMUM DEPTH OF 12" AND PITS ARE TO HAVE A MINIMUM OF 9" OF GOOD TOPSOIL. LAWN AREAS ARE TO HAVE A MINIMUM OF 6" (4" FOR SOD) OF TOPSOIL.
- TREE PITS, PLANT BEDS, AND GROUND COVER AREAS SHALL BE MULCHED WITH A MINIMUM DEPTH OF 3" (AFTER SETTLEMENT) OF SHREDDED HARDWOOD MULCH.
- PROVIDE NEW OR AMENDED TOPSOIL BACK FILL FOR ALL NEWLY PLANTED MATERIAL. ORGANIC MATTER CONTENT=5% MINIMUM, PH RANGE BETWEEN 5.0 - 6.5 INCLUSIVE, FREE OF STONES 1" OR GREATER AND FREE OF ALL DEBRIS AND EXTRANEOUS MATERIALS.
- CHEMICAL FERTILIZERS TO BE DERIVED FROM ORGANIC SOURCES AND APPLIED IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
- ALL OPEN SPACES SHALL BE SEEDED OR SODDED AS NOTED ON PLAN.
- LANDSCAPING PLAN IS DIAGRAMMATIC. PLANT LOCATIONS MAY BE ADJUSTED FOR FIELD CONDITIONS WITH PRIOR APPROVAL.
- THE CONTRACTOR MUST VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY PLANTATION.
- ANY DISCREPANCIES AND/OR INCONSISTENCIES ARE TO BE BROUGHT TO THE CITY FOR REVIEW AND RESOLUTION.
- ALL LANDSCAPING NOT SURVIVING FOR A PERIOD OF ONE YEAR SHALL BE REPLACED WITH THE SAME OR EQUIVALENT SIZE SPECIES.
- STREET TREES SHALL BE BRANCHED AT 7 FT.
- ALL LANDSCAPE SHALL BE MAINTAINED BY OWNER.
- TREES SHALL BE PLANTED AT A MIN. INITIAL SIZE OF 3" CALIPER BALLED AND BURLAPPED.

REVISIONS:

ARTEK
STUDIO, LLC.

Daniel A. Roma RA
Registered Architect
NJ License No. 17915
NY License No. 030082-1

LOT : 19
BLOCK: 6602

EDO A. MOLINA & FRANCISCA RODRIGUEZ
122 SAINT PAUL AVENUE
JERSEY CITY, NJ

DATE : 08-21-18

DRAWN BY : MP

CHECKED BY : DAR

PROJECT DRAWING

18034

1 OF 5

PROPOSED NEW TWO FAMILY DWELLING

UTILITY NOTES:

- BUILDING IS TO HAVE NEW SANITARY AND STORM SEWER PIPING, WITH CONNECTION TO CITY SEWER UNDER PRINCETON AVENUE. COORDINATE STREET OPENING, LATERAL CONNECTION LOCATIONS AND METHOD WITH JCMUA REPRESENTATIVE.
- PROVIDE CLEANOUTS WITH FLUSH ACCESSIBLE COVERS AT GRADE FOR ALL CHANGES IN DIRECTION OF SEWER LATERALS. THE STORM INTO SANITARY WITHIN RIGHT OF WAY AREA.
- SEWER LATERAL PIPING IS TO BE SCH. 35 PVC PIPE WITHIN THE R.O.W.
- BUILDING IS TO HAVE NEW 1-1/2" DOMESTIC WATER SERVICE AS INDICATED. COORDINATE WATER SERVICE REQUIREMENTS AND INSTALLATION WITH JERSEY CITY WATER DEPARTMENT/UNITED WATER REPRESENTATIVE.
- COORDINATE GAS AND ELECTRICAL SERVICES WITH PSE&G MARKETING REPRESENTATIVE.
- GAS METERS ARE TO BE LOCATED AT FIRST FLOOR WHERE INDICATED.
- ELECTRIC METERS ARE TO BE LOCATED AT FIRST FLOOR WHERE INDICATED.
- CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL SERVICE CONNECTION PERMITS AND APPROVALS, AND ALL STREET OPENING PERMITS.
- ELECTRICAL SERVICE SHALL BE BROUGHT IN TO BUILDING BY NEW OVERHEAD SERVICE. 200 AMP, 1 PHASE, 3 WIRE, 120/240V.
- GRADE OF PROPOSED STORM & SANITARY LATERALS TO BE DETERMINED AFTER OPENING OF SIDEWALK & STREET.

JCMUA STANDARD REQUIREMENTS FOR NEW
SANITARY AND STORM SEWERS AND SERVICE LATERALS

REVISION DATED NOVEMBER 3, 2005

ALL APPLICATIONS SUBMITTED TO THE JERSEY CITY PLANNING BOARD MUST BE PRESENTED TO THE JCMUA FOR REVIEW AND COMMENTS ON THE PROPOSED SANITARY AND STORM SEWER CONNECTIONS. ALL PLANS MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY AND SUBMITTED TO THE JCMUA'S SEWER ENGINEERING, DESIGN, AND CONSTRUCTION DIVISION FOR APPROVAL.

THE FOLLOWING TECHNICAL REQUIREMENTS SHALL BE ADDRESSED IN PREPARATION OF SITE/UTILITY PLANS. (UNDERLINED TEXT IS JCMUA TEXT VERBATIM. NON-UNDERLINED TEXT IS PROJECT CHAIRMAN'S COMMENT AS TO HOW IT IS ADDRESSED IN THIS APPLICATION.)

- BEHIND AND BACKFILL MATERIAL SHALL COMPLY WITH THE JCMUA'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS. ASSET MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 77, 1993, IS APPLICABLE.

- SEE ATTACHED TRENCHING DETAIL FOR NOTES ABOUT BEDDING AND BACKFILL.
- ALL SEWER SERVICE CONNECTIONS 6 INCHES IN SIZE OR SMALLER MUST BE MADE DIRECTLY TO THE SEWER MAIN AND ALL CONNECTIONS 8 INCHES IN SIZE OR LARGER MUST BE MADE TO A MANHOLE.

- NEW 4" SANITARY LATERAL IS SHOWN CONNECTED TO THE NEW MAIN.

- THE JCMUA RECOMMENDS THAT SEWER SERVICE CONNECTIONS TO BE RE-USED BE DELIVERED TO TO VERIFY THEIR INTEGRITY.

- THIS DOES NOT APPLY. BOTH MAIN EXTENSION AND LATERAL PROPOSED ARE NEW.

- EACH BUILDING CONNECTION REQUIRES A CURB CLEANOUT (REFER TO ATTACHED DETAIL DRAWING). A T-WYE CLEANOUT SHOULD BE INSTALLED ON BOTH THE STORM AND SANITARY LATERAL.

- CONTRACTOR SHALL PROVIDE CURB CLEANOUT AS SHOWN.

- PROPOSED SEWER LATERAL CONNECTION TO JCMUA'S SEWER MAIN SHALL BE MADE ABOVE HORIZONTAL CENTER LINE OF PIPE (REFER TO ATTACHED SEWER SERVICE CONNECTION DETAILS).

- DETAIL FOR SEWER CONNECTION IS PROVIDED ON THE SHEET.

- THE SIZE, MATERIAL, DEPTH, CONDITION, DIRECTION OF FLOW AND ANY OTHER RELEVANT CONDITIONS OF THE EXISTING JCMUA SEWER TO WHICH YOU PLAN TO CONNECT MUST BE FIELD VERIFIED BY DEVELOPER TO DETERMINE IF SAID CONNECTION IS PHYSICALLY POSSIBLE AND PRACTICAL. THIS VERIFICATION IS TO BE INCLUDED ON THE PLANS FOR THE PROJECT. ALSO, THE CONDITION, INVERTS AND THE ELEVATION OF ANY EXISTING MANHOLE TO WHICH CONNECTION IS PROPOSED MUST BE FIELD VERIFIED.

- THE PROJECT ENGINEER PERFORMED AN INSPECTION OF THE SEWER WHERE THE PROPOSED EXTENSION IS TO BEGIN AND FIELD VERIFIED THE INDICATED R/W AND INVERT ELEVATIONS.

- CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS WILL BE USED TO MAKE THE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE LATERAL. BACKHOES, SKIDSTEERS, AND OTHER EQUIPMENT SHALL BE USED TO EXCAVATE THE LATERAL. THE JCMUA'S SERIES SHALL NOT ALLOWED TO BE USED TO MAKE THE LATERAL OPENINGS. ALL OTHERS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO THE PIPE.

- THIS APPLIES IN THIS APPLICATION TO THE CUTTING OF THE EXISTING SEWER TO RECEIVE THE NEW 4" SEWER EXTENSION AND THE CONTRACTOR SHALL COMPLY.

- A DETAIL OF ANY PROPOSED MANHOLE OR CATCH BASIN SHOWING ALL DIMENSIONS IN ADDITION TO R/W, GRADE AND INVERT ELEVATIONS OF THE STRUCTURE AND ALL CONNECTIONS TO THE STRUCTURE MUST BE SHOWN ON PLANS. REFER TO JCMUA STANDARD DETAIL DRAWINGS FOR MANHOLES AND CATCH BASINS.

- NO MANHOLES OR CATCH BASINS ARE PROPOSED AS A PART OF THIS PROJECT.

- PROPOSED MANHOLES CONSTRUCTED IN THE PUBLIC R.O.W. ON EXISTING OR PROPOSED JCMUA SEWERS SHALL BE FURNISHED WITH CONCENTRIC MANHOLE COVERS AS MANUFACTURED BY CAMPBELL FOUNDRY PATTERN #4428 OR EQUAL WITH OUTSIDE COVER DIAMETER OF 31-3/4 INCHES AND INSIDE COVER DIAMETER OF 24 INCHES.

- THE LETTERS "JCMUA" AND "SEWER" SHALL BE CAST IN THE INSIDE COVER. MANHOLE FRAMES SHALL BE CAMPBELL FOUNDRY CO. PATTERN # 4428 OR 1206 OR EQUAL FURNISHED WITH A PATTERN #4428 CONCENTRIC COVER AS SPECIFIED IN THE PRECEDING PARAGRAPH.

- REFER TO THE JCMUA'S STANDARD DETAIL FOR MANHOLE FRAMES AND COVERS.

- NO MANHOLES ARE PROPOSED AS A PART OF THIS PROJECT.

- STORM INLETS WHICH ARE CONNECTED DIRECTLY TO JCMUA COMBINED SEWERS MUST BE FURNISHED WITH:

- NO INLETS ARE PROPOSED AS A PART OF THIS PROJECT.

- THE JCMUA HAS A COMBINED SEWER SYSTEM WHICH SUBCHARGES DURING WET-WEATHER PERIODS, RESULTING IN POSSIBLE SEWER BACKUPS THROUGH PLUMBING FIXTURES (SINKS, TUBS, FLOOR DRAINS, ETC.) BELOW STREET LEVEL. THIS POSSIBILITY MUST BE ADDRESSED DURING THE DESIGN/CONSTRUCTION PHASE.

- THE APPLICANT IS AWARE OF THE LIMITATIONS OF THE CITY'S INFRASTRUCTURE. THIS HOUSE HAS BEEN DESIGNED WITH A SLAB ON GRADE LOWEST FLOOR WHICH IS ABOVE THE STREET LEVEL.

- A DROP MANHOLE CONNECTION SHALL BE USED WHERE THERE IS A DIFFERENCE IN ELEVATION OF TWO (2) FEET OR GREATER BETWEEN THE INVERT OF A SANITARY OR COMBINED INLET PIPE TO MANHOLE AND THE CROWN OF THE COLLECTOR PIPE FROM MANHOLE. REFER TO ATTACHED JCMUA'S STANDARD DETAIL FOR DROP MANHOLE CONNECTION WHICH MUST BE SHOWN ON THE PLANS IF REQUIRED.

- NO DROP MANHOLES ARE REQUIRED OR PROPOSED AS A PART OF THIS PROJECT.

- TEST PITS MUST BE PERFORMED AT THE DEVELOPER'S EXPENSE DURING THE DESIGN PHASE OF THE PROJECT TO ENSURE THAT PROPOSED SEWERS AND SEWER SERVICES MAY BE CONSTRUCTED AS PROPOSED WITHOUT CONFLICTING WITH OTHER UNDERGROUND UTILITIES OR STRUCTURES.

- PROFILES STORM TYPICAL SEWER ARE PROVIDED ON THE SHEET.

- ALL EXISTING SEWER MAINS AND STORM AND SANITARY LATERALS TO BE ABANDONED MUST BE FILLED WITH CONCRETE CURB OR REMOVED FROM THE GROUND. CATCH BASINS AND MANHOLES MUST BE REMOVED FROM THE GROUND. CONNECTIONS MUST BE CUT AND SEALED AT THE MAIN AND PRECAUTIONS MUST BE UNDERTAKEN BY THE CONTRACTOR TO ENSURE CONCRETE AND OTHER MATERIALS DO NOT ENTER THE MAIN AND CREATE OBSTRUCTIONS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT IF ANY EXISTING SEWER LATERALS ARE UNCOVERED DURING EXCAVATION. NONE ARE KNOWN TO EXIST.

- ALL PROPOSED INLETS/CATCH BASINS MUST BE CONSTRUCTED WITH A BICYCLE SAFE GRATE AND CAMPBELL FOUNDRY CO. TYPE "N" CURB/EDGE WHEN REQUIRED.

- NO INLETS ARE PROPOSED AS A PART OF THIS PROJECT.

- PROPOSED WATER SERVICES REQUIRE THE REVIEW AND APPROVAL OF THE DIVISION OF WATER ENGINEERING.

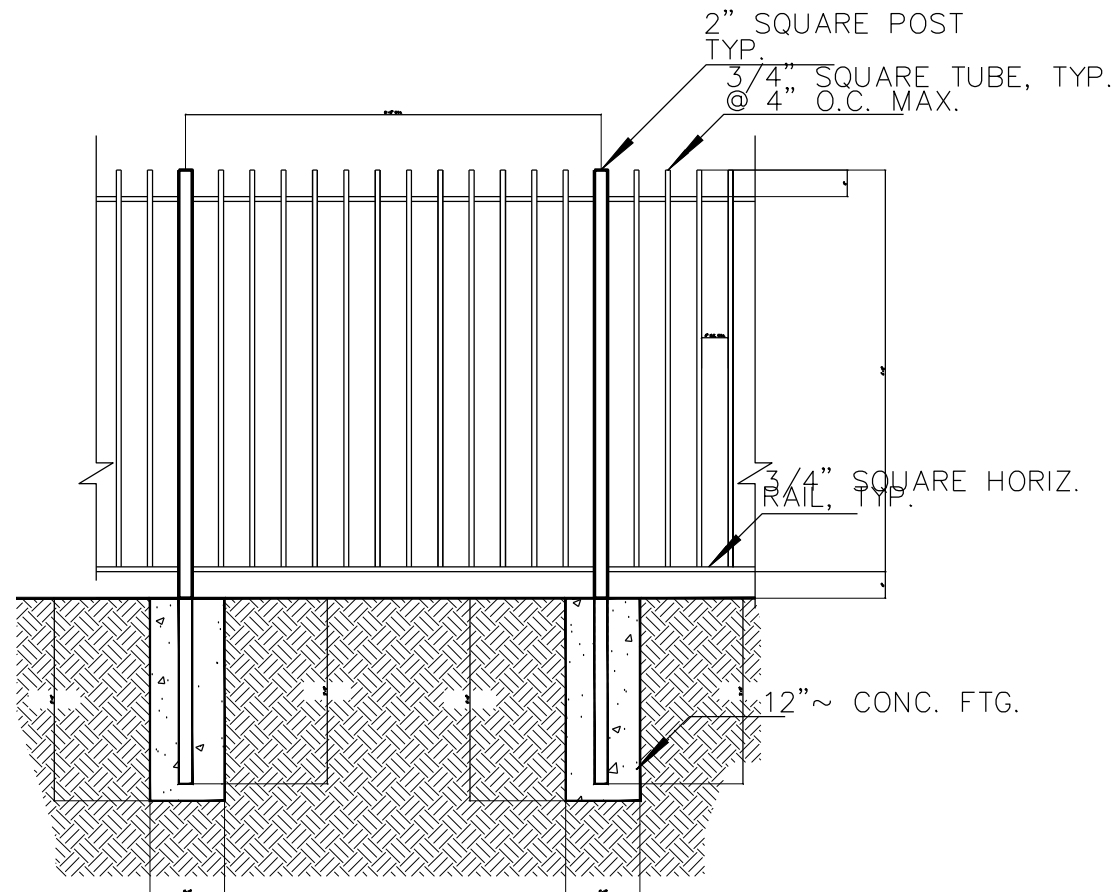
- THE APPLICANT IS AWARE OF THIS REQUIREMENT AND HAS APPLIED SEPARATELY FOR THEIR WATER SERVICE CONNECTION.

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR STREET OPENINGS (EXCAVATIONS) AND SEWER SERVICE CONNECTIONS FROM THE JERSEY CITY BUILDING DEPARTMENT LOCATED AT 30 MONTGOMERY STREET, JERSEY CITY, NJ.

- THE APPLICANT IS AWARE OF THIS REQUIREMENT AND MUST APPLY FOR ALL REQUIRED STREET OPENING PERMITS.

- THE SYSTEM DESIGNER IS ALSO RESPONSIBLE FOR COMPLIANCE WITH THE APPLICABLE REGULATIONS OF THE NEW JERSEY ADMINISTRATIVE CODE, NADP RULES AND REGULATIONS GOVERNING TREATMENT WORKS APPROVAL PROGRAM, PROGRAM LOCAL CODES AND ORDINANCES, FEDERAL AND STATE REGULATIONS, ETC. IN ADDITION TO OTHER REQUIREMENTS THAT MAY BE IMPOSED BY THE JCMUA.

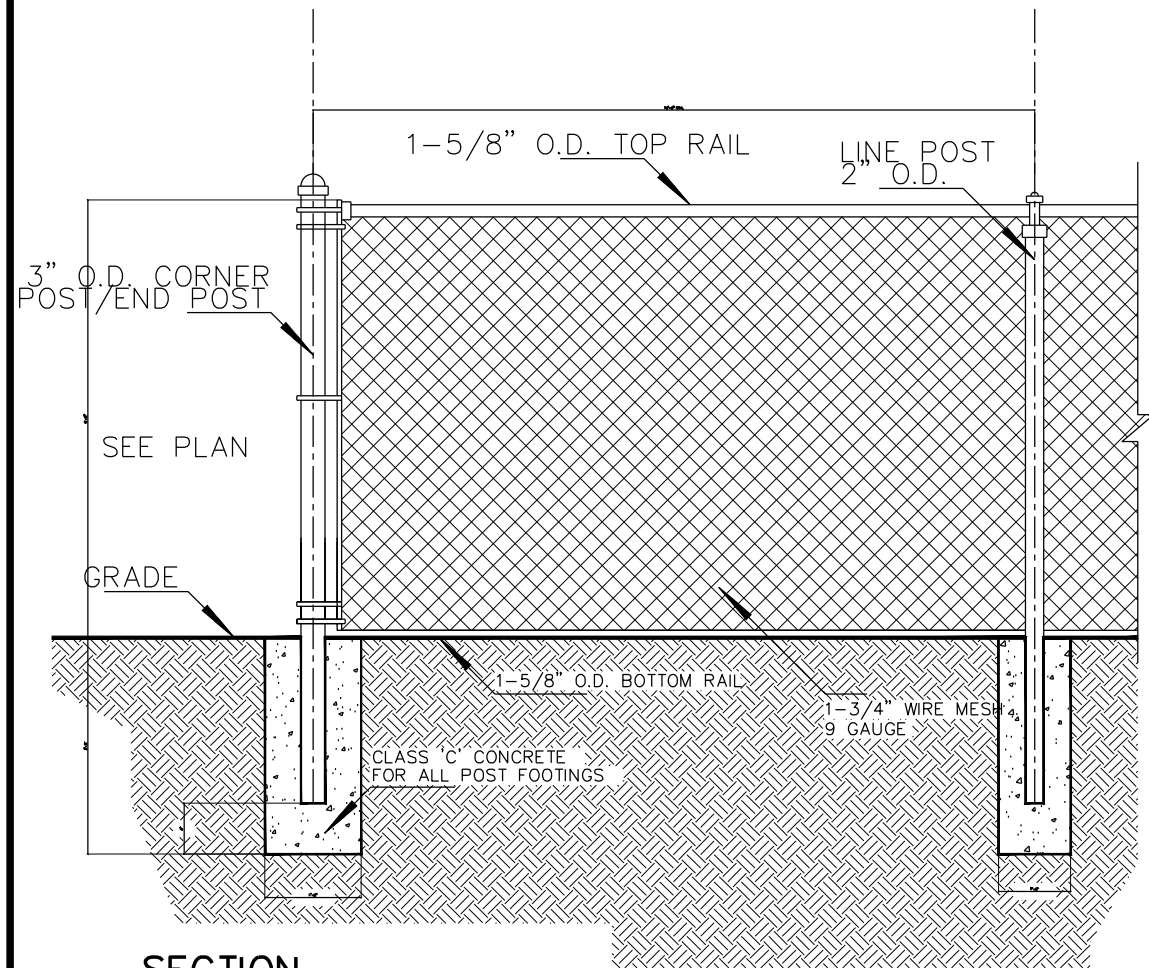
- THE ENGINEER CERTIFIES THAT THIS PLAN COMPLIES WITH ALL REGULATIONS OF OTHER PUBLIC AGENCIES HAVING JURISDICTION.



SECTION

WROUGHT IRON FENCE DETAIL

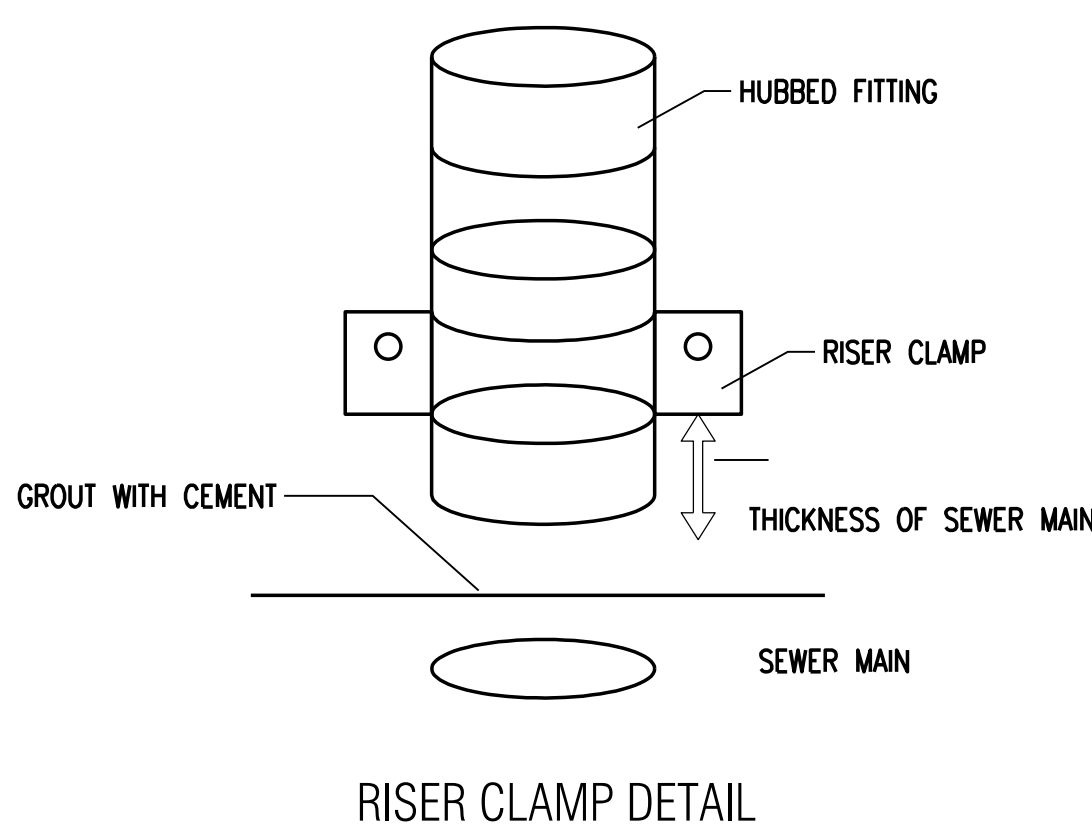
N.T.S.



SECTION

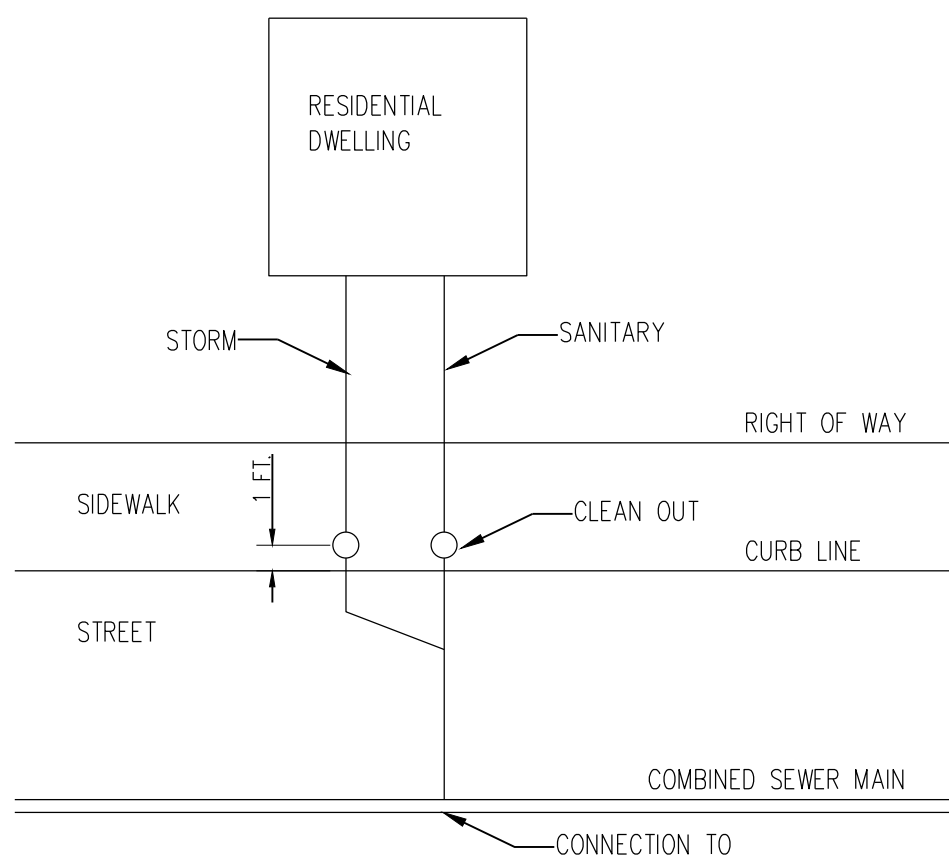
CHAIN LINK FENCE DETAIL

N.T.S.



NOTES:

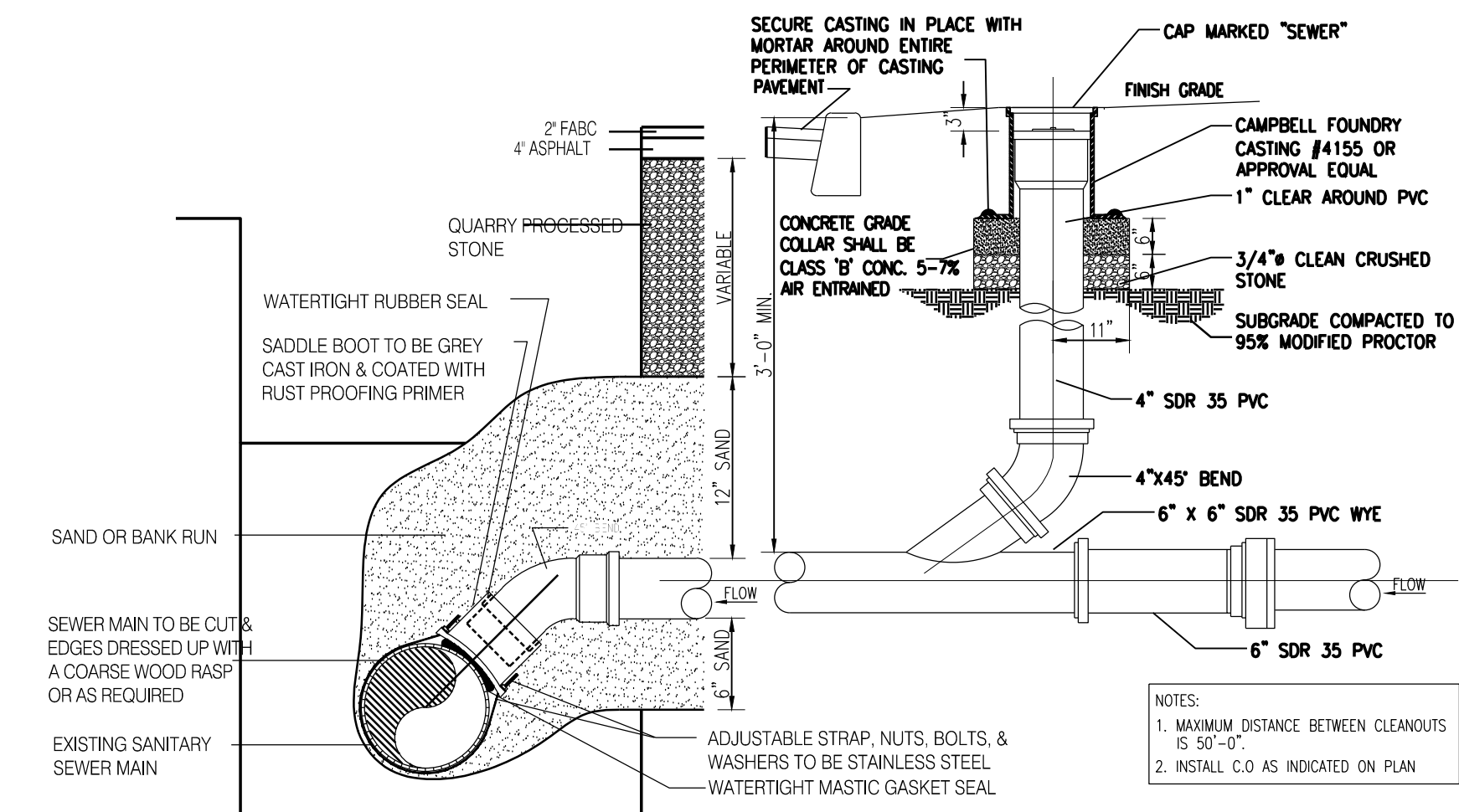
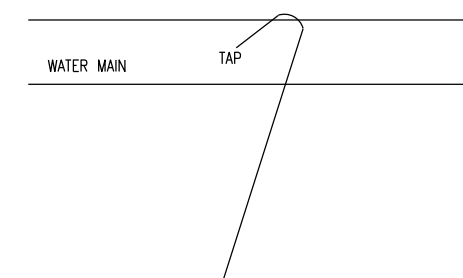
- WHERE A SEWER LATERAL IS TO CONNECT TO A JCMUA SEWER CONSTRUCTED OF BRICK OR OTHER SUITABLE MATERIAL, AN ASSEMBLY CONSISTING OF A HUBBED FITTING AND A RISER CLAMP WILL BE USED. THE RISER CLAMP SHALL BE SET SO THAT THE LENGTH OF PIPE INSERTED INTO THE JCMUA'S SEWER IS EQUAL TO THE THICKNESS OF THE MAIN AS SHOWN IN THE ABOVE DETAIL. THE ENTIRE CIRCUMFERENCE OF THE ASSEMBLY SHALL BE GROUTED WITH CEMENT TO SECURE IN PLACE.
- CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE THE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE ASSEMBLY. THE DIAMETER OF THE HOLE IN THE SEWER MAIN TO ACCEPT THE NEW LATERAL SHALL BE NO MORE THAN 1/8-INCH WIDER THAN THE PIPE TO BE INSERTED INTO THE SEWER.



SEWER CONNECTION DETAIL
FOR RESIDENTIAL DWELLING

NOT TO SCALE

WATER SERVICE CONNECTION



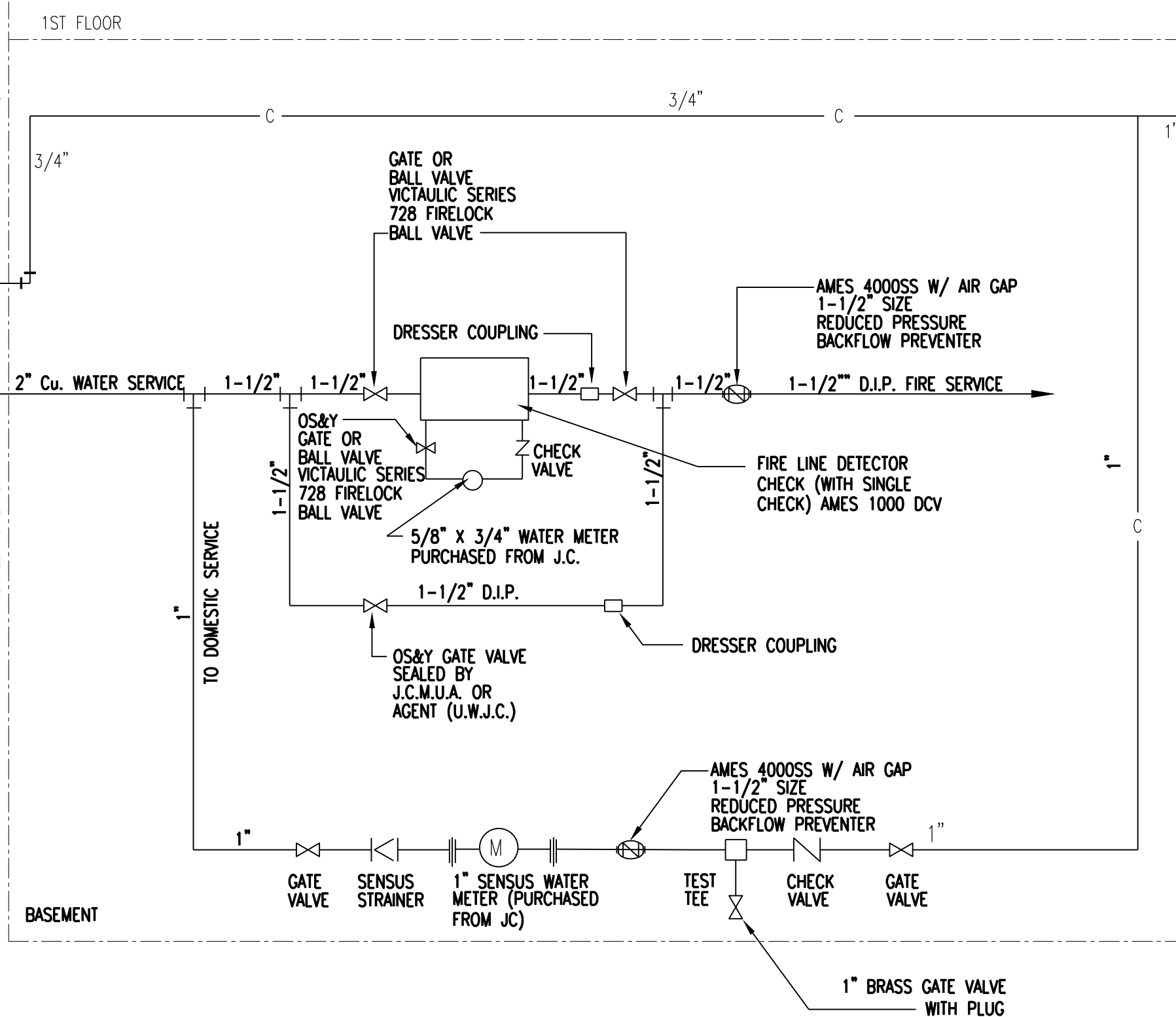
SANITARY SEWER LATERAL & CLEANOUT

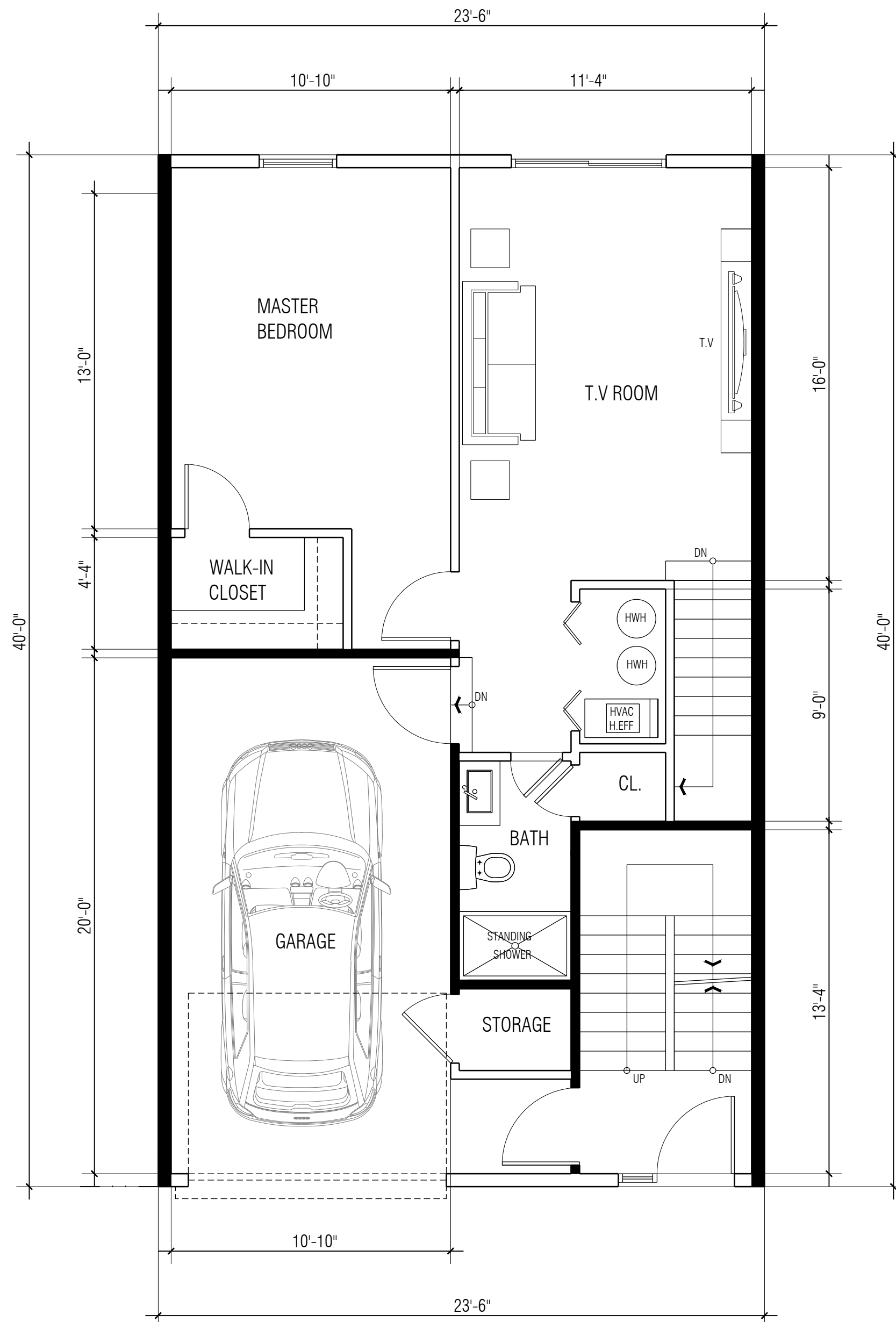
NOT TO SCALE

COMBINED DOMESTIC AND FIRE METERING SERVICE LAYOUT

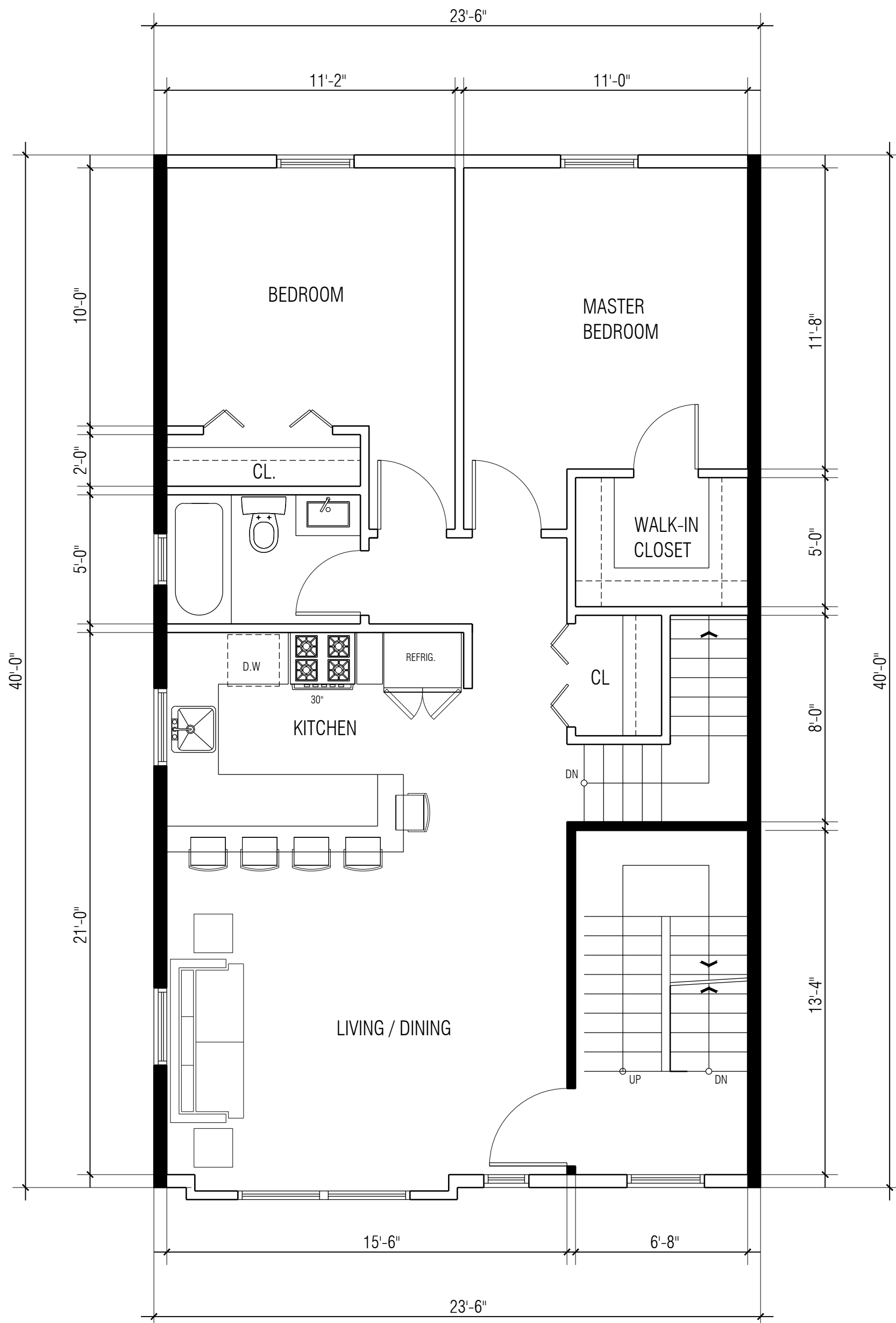
NOT TO SCALE

- DETECTOR CHECK TO BE AMES COMBINATION MODEL 5000SS RPPA
- RPZ VALVES TO BE AMES MODEL 4000SS DOUBLE CHECK ASSEMBLIES
- EQUIPMENT SHALL BE APPROVED BY JC WATER/UNITED WATER.

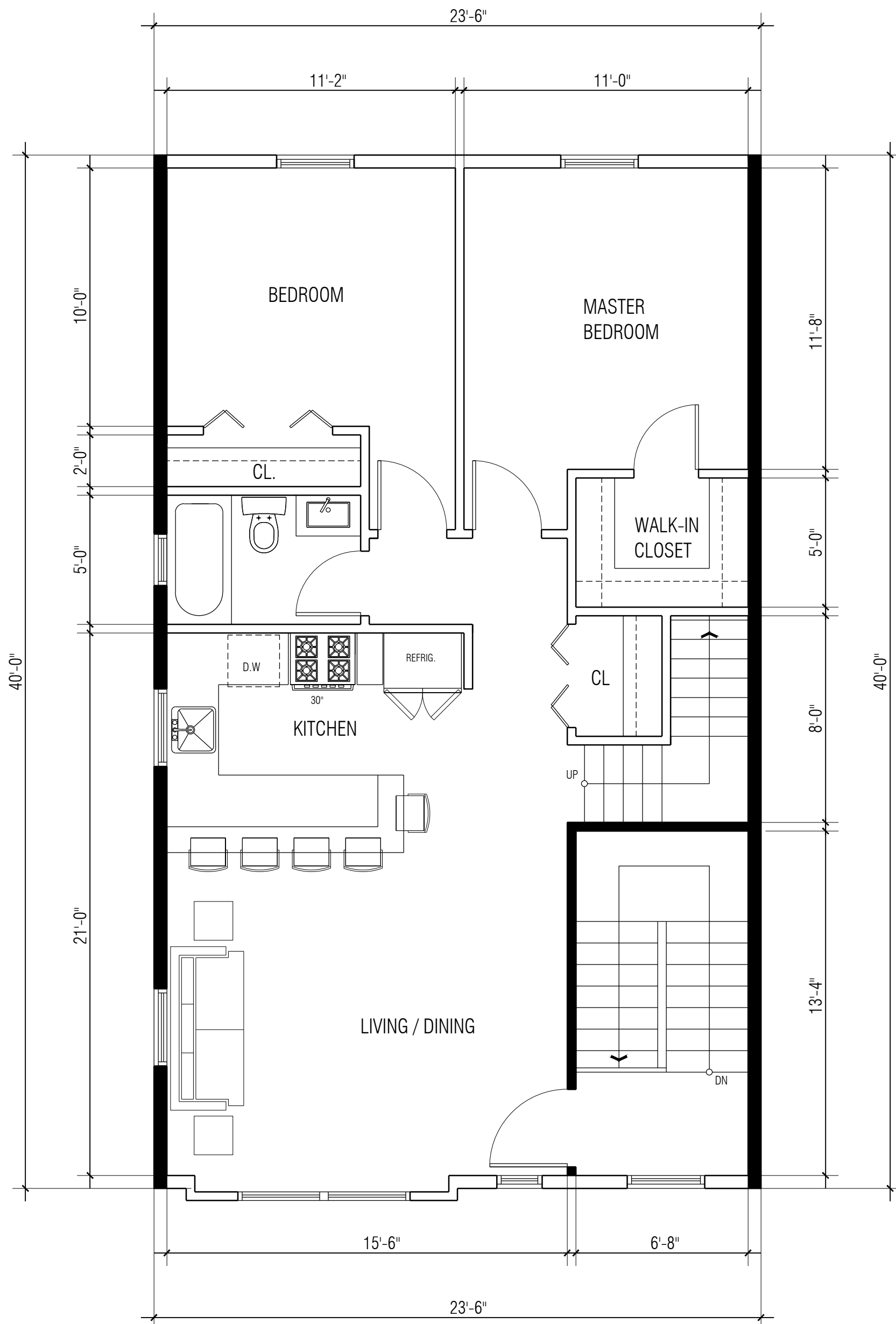




FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"
GROSS AREA : 940.0 SQ.FT



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"
GROSS AREA : 944.0 SQ.FT



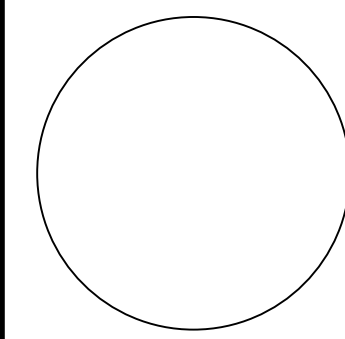
THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"
GROSS AREA : 944.0 SQ.FT

REVISIONS:

877 BROAD STREET
NEWARK, NJ 07102
TEL: (973) 824-0022
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ARTEK
STUDIO, LLC.

Daniel A. Roma, RA
Registered Architect
NJ License No. 17915
NY License No. 030082-1



LOT : 19
BLOCK: 6602

EDO A. MOLINA & FRANCISCA RODRIGUEZ
122 SALT PAUL AVENUE
JERSEY CITY, NJ
PROPOSED NEW TWO FAMILY DWELLING

DATE : 08-21-18

DRAWN BY : MP

CHECKED BY : DAR

PROJECT DRAWING

18034

3 OF 5

NOTE-VENT EXHAUST:
MINIMUM REQUIRED LOCAL EXHAUST RATES
FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED: EXHAUST RATES
Kitchens: 100 cfm intermittent or 25 cfm continuous
Bathrooms-Toilet Rooms: Mechanical exhaust capacity
of 50 cfm intermittent or 20 cfm continuous
For St: 1 cubic foot per minute = 0.0004719 m3/s.

MECH. NOTE:
HOT WATER HEATERS & HVAC UNITS TO BE 90% HIGH
EFFICIENCY APPLIANCES W/ 3" DIA. MIN. PVC EXHAUST
& FRESH AIR INTAKE PIPE (SEE MANUF. SPEC. FOR
INSTALLATION.

IBC 2015 Section 1203.1: General. Buildings shall be provided with natural ventilation in accordance with Section 1203.4, or mechanical ventilation in accordance with the International Mechanical Code.
Where the air infiltration rate in the dwelling unit is less than 5 air changes per hour when tested with the blower door at a pressure of 0.2 inch w.c. (50 Pa) in accordance with Section 402.4.1.2 of the International Energy Conservation Code-Residential Provisions, the dwelling unit shall be ventilated by mechanical means in accordance with Section 403 of the International Mechanical Code.

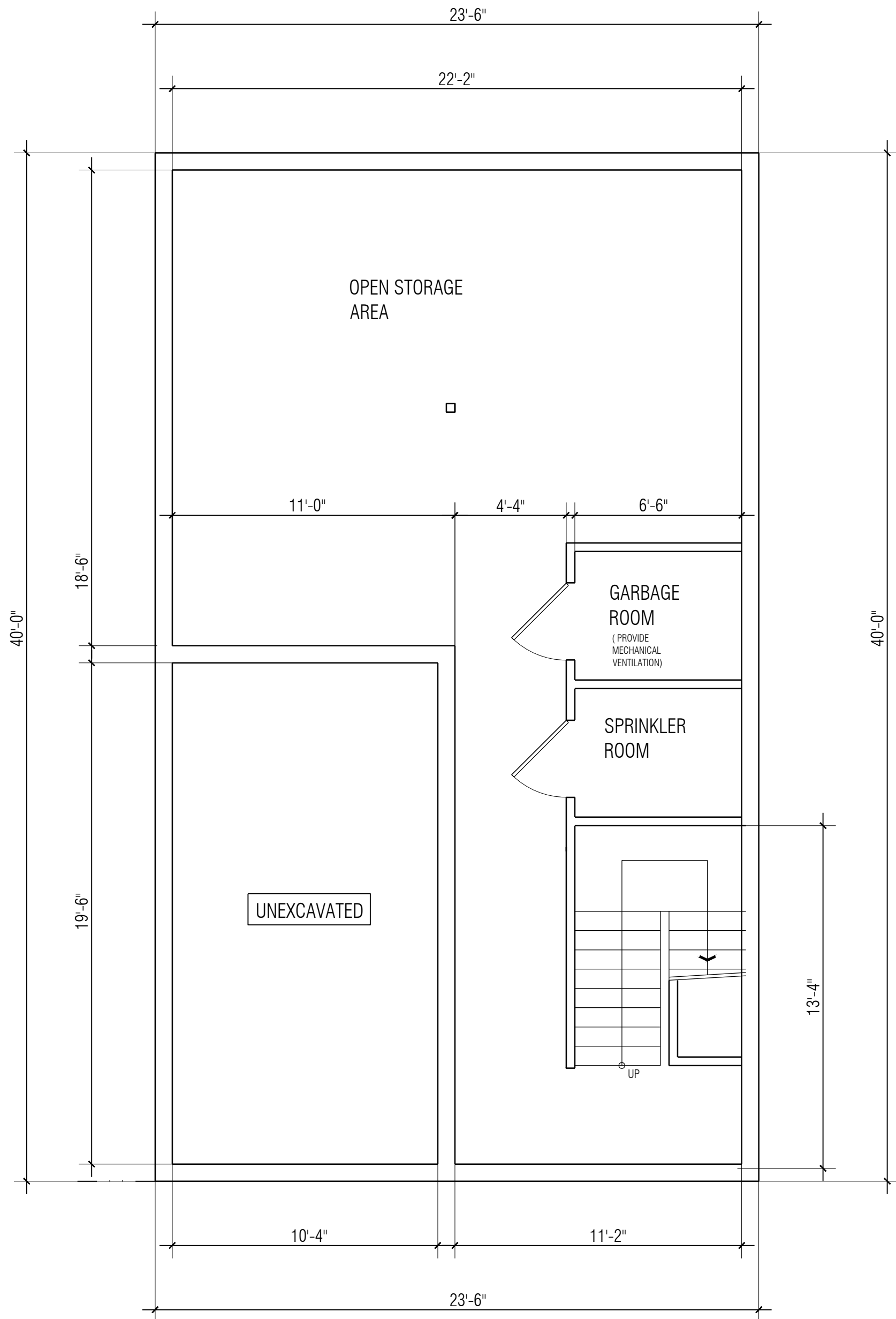
HVAC EQUIPMENT SCHEDULE							
UNIT	BRAND	MODEL	TONS	BTU - COOLING	BTU - HEATING NAT.GAS	CFM	SEER
1	LENNOX	XC14-036	3.0	36,000	66,000	1,200	UP TO 16
2	LENNOX	XC14-036	3.0	36,000	66,000	1,200	UP TO 16

KITCHEN AND BATHROOM GENERAL NOTES

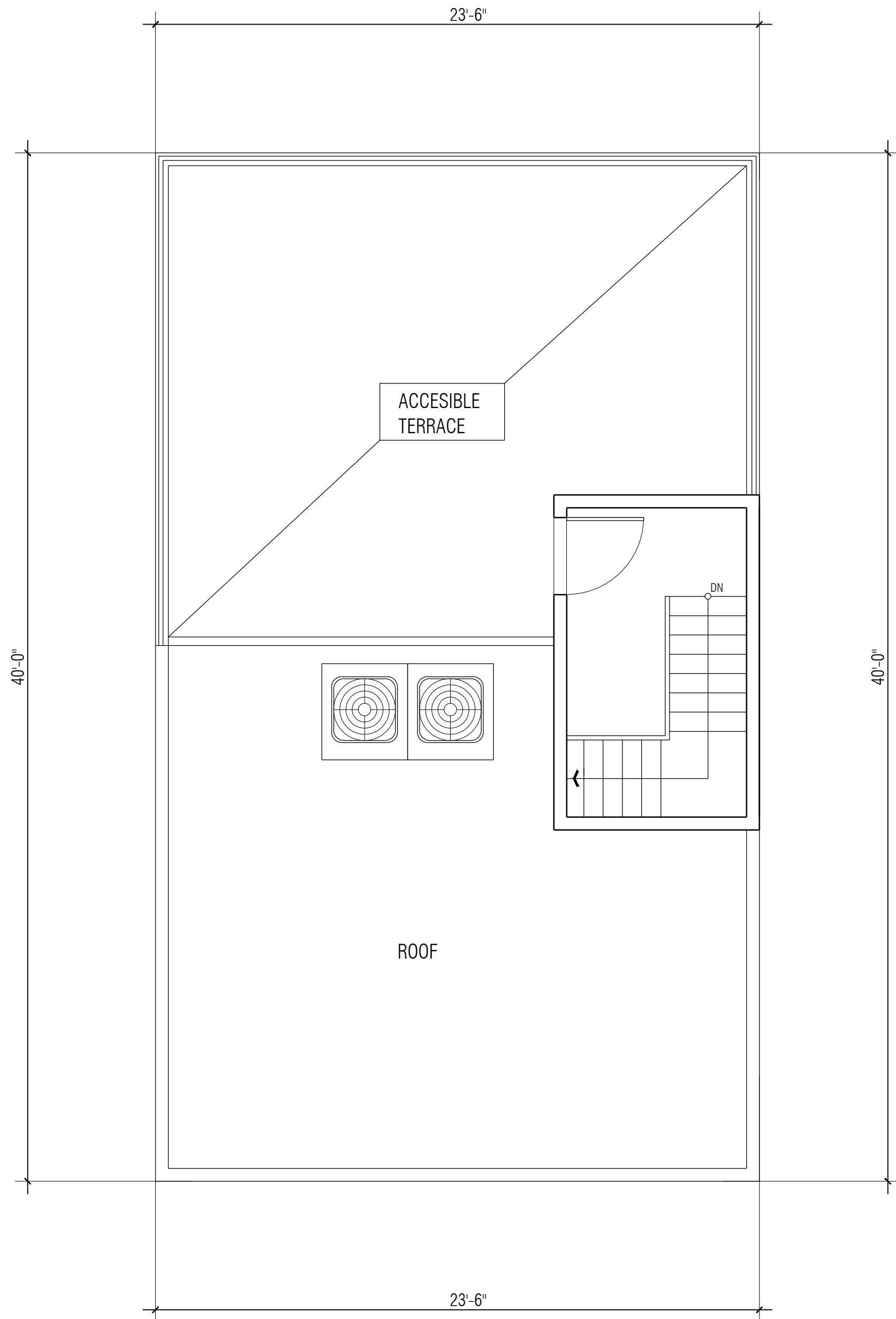
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH ALL CURRENT AND APPLICABLE CODES AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL KITCHENS AND BATHROOMS COMPLY TO THE BARRIER FREE SUBCODE NJAC 5:23-7 AND ANSI A117.1-2003.
- ALL DWELLING UNITS (100%) ARE REQUIRED TO BE ADAPTABLE.
- THERE MUST BE A 30 INCH LENGTH OF COUNTER THAT IS EITHER AT 34 INCHES OR THAT CAN BE ADJUSTED TO ACCESSIBLE HEIGHT; THIS SECTION OF COUNTERTOP DOES NOT HAVE TO BE PRE-CUT BUT MUST BE REPLACEABLE AS A UNIT. THIS LENGTH OF COUNTERTOP SHOULD INCLUDE THE SINK WHICH SHOULD ALSO BE LOWERED TO ALLOW FOR ADAPTABILITY.
- KITCHEN CABINETS ARE TO BE INSTALLED AT STANDARD HEIGHT AS SHOWN BUT BLOCKING MUST BE PROVIDED TO ALLOW THE CABINETS TO BE LOWERED WITHOUT DAMAGING THE WALL.
- GRAB BARS DO NOT HAVE TO BE INSTALLED WITHIN THE DWELLING UNITS; BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN BATHROOMS MUST BE INSTALLED.
- BATHROOM VANITIES MUST BE CONSTRUCTED AND INSTALLED TO ALLOW BASE TO BE REMOVED INDEPENDENTLY OF THE SINK AND COUNTERTOP.
- ALL ROUGH-IN PLUMBING MUST BE INSTALLED TO ALLOW CONNECTIONS OF DRAIN AND SUPPLY PIPING FOR SINKS AT A MOUNTING HEIGHT OF 29 INCHES.
- PROVIDE WALL HUNG SINK AND TOILET IN PUBLIC BATH.

KITCHEN AND BATHROOM FINISH NOTES

- KITCHEN CABINETS TO BE ARMSTRONG THERMAFOIL MAYFAIR CABINETS WHITE COLOR W/ ARMSTRONG CONTEMPORARY PULLS (BP19010-SS).
- KITCHEN COUNTERTOPS TO BE WILSONART LAMINATE W/ CASCADE EDGE COLOR TBD.
- BATHROOM VANITY TO BE CUSTOM FLAT PANEL THERMAFOIL CABINETS WHITE COLOR W/ ARMSTRONG CONTEMPORARY PULLS (BP19010-SS).
- BATHROOM COUNTERTOPS TO BE WILSONART LAMINATE W/ CASCADE EDGE COLOR TBD.



BASEMENT PLAN
SCALE: 1/4"=1'-0"
GROSS AREA : 718.0 SQ.FT



ROOF PLAN
SCALE: 1/4"=1'-0"

REVISIONS:

ARTEK
STUDIO, LLC.

Daniel A. Rona RA
Registered Architect
NJ License No. 17915
NY License No. 030082-1

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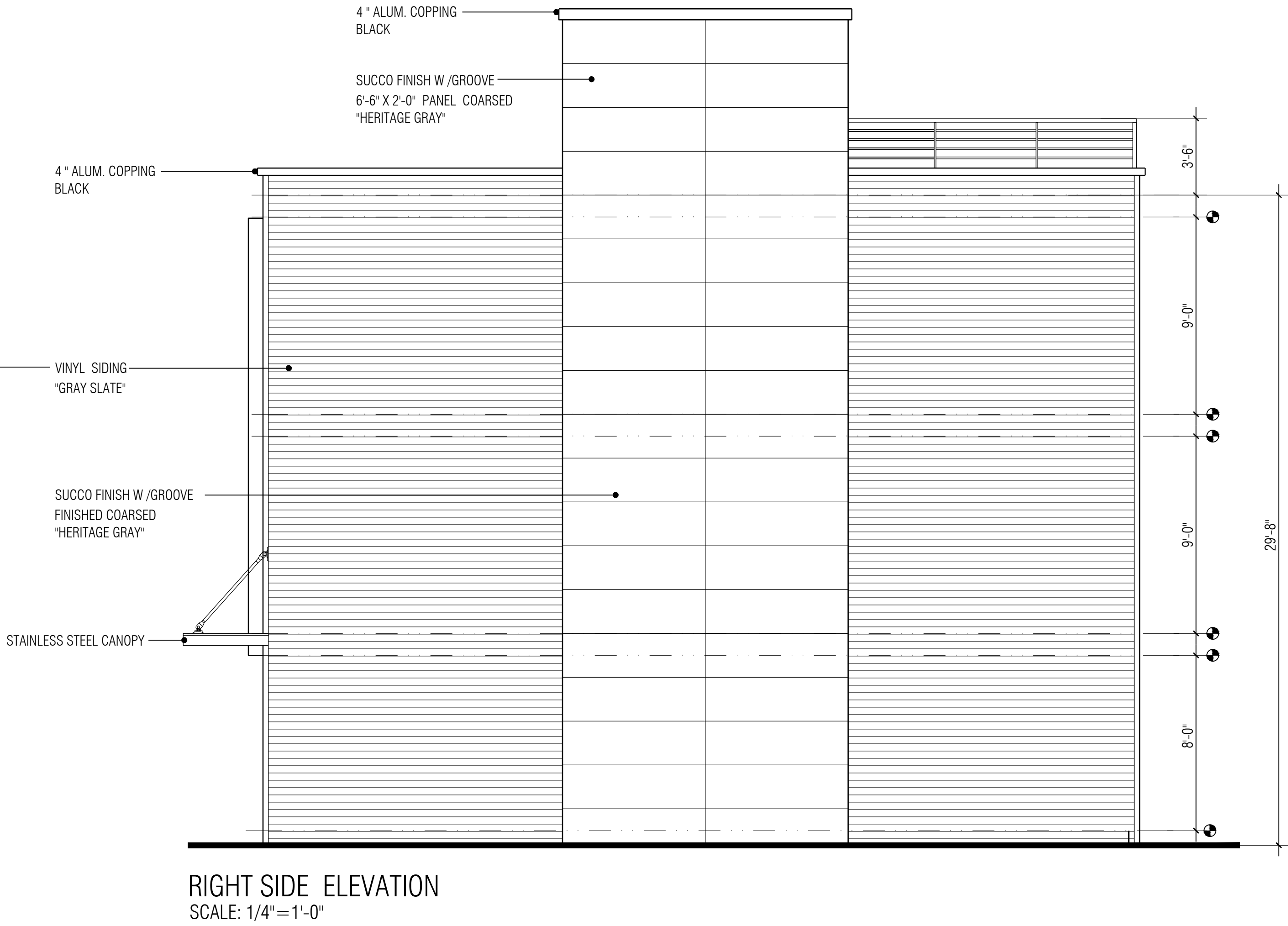
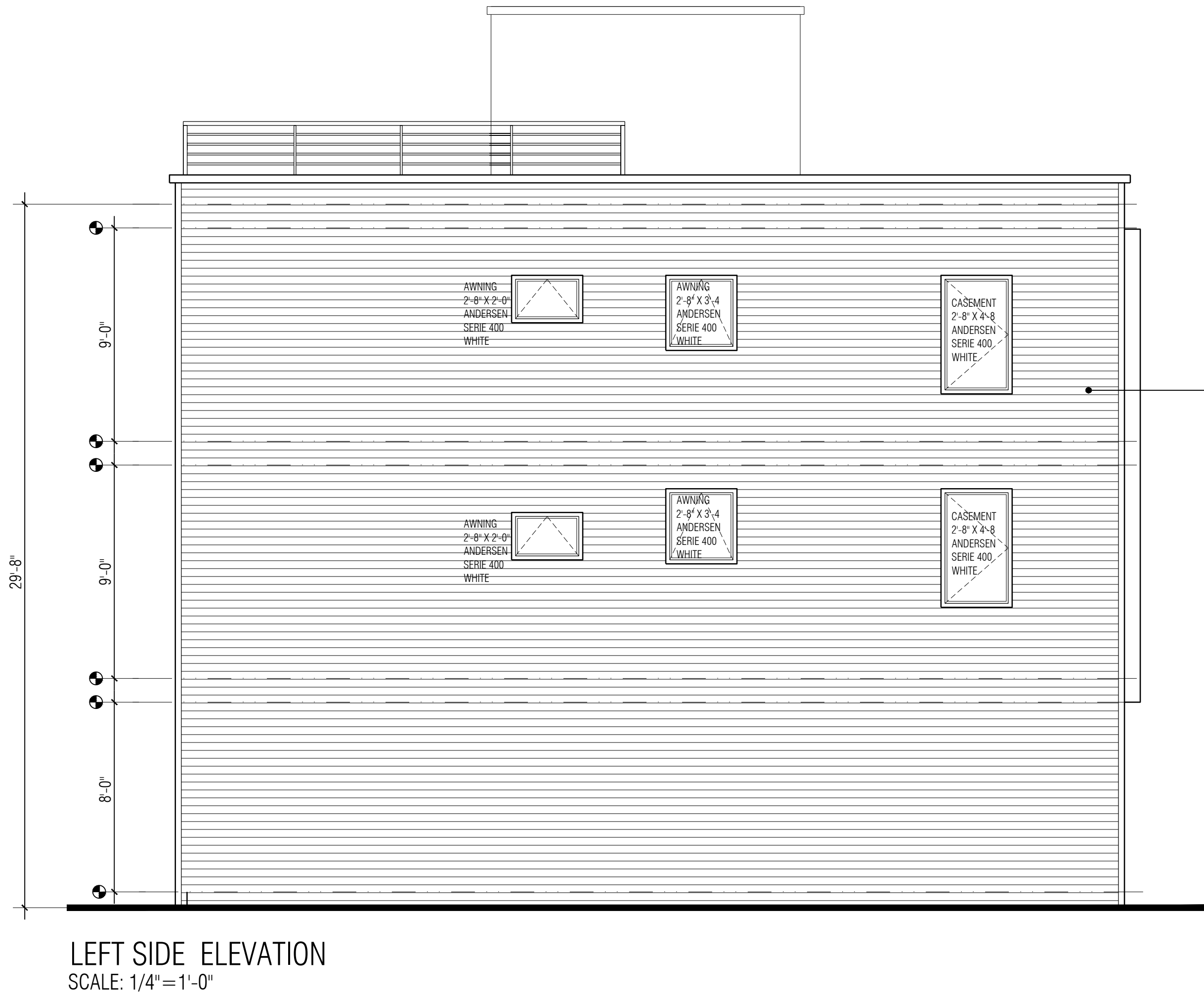
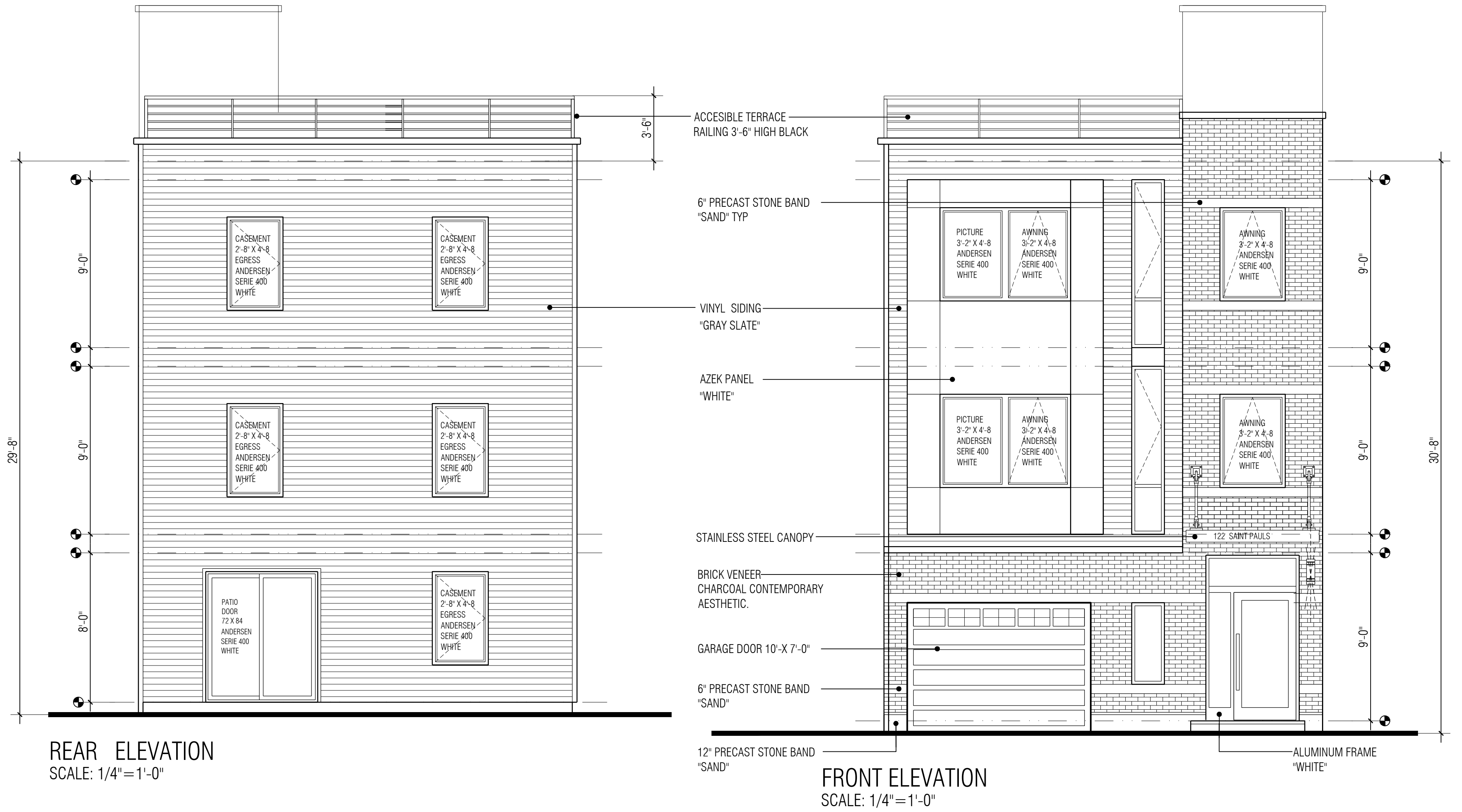
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DATE : 08-21-18
DRAWN BY : MP
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18034	4 OF 5



EXISTING STREET VIEW



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PROJECT DRAWING

18034

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PROPOSED NEW TWO FAMILY DWELLING